		PRELIMIN	JAF	<b>X</b> Y
		NEW	COI	NS
		RESI	DEN	<b>VT</b>
				С(
PARKING I RESIDENT	REQUIREMENTS	<u>(GRP):</u>		
HOUSING	1.0	O PER NEW UNIT		
COMMERC	CIAL			
RETAIL (L	EASABLE) 1 F	PER 500 SF GSFA*		
OFFICES	1 6	PER 1,000 SF PS**	<b>C2</b>	
GSFA*: GI PS**: PRC	ROSS SALES FL )FESSIONAL SPA	CE		
PROPOSE	D PARKING			
CARS		56		
ADA — C	AR ACCESSIBL			
ADA – V	AN ACCESSIBL	Ξ 1		
ELECTRIC	VEHICLE (EV)	9	Ø    🗽 /.	
TOTAL		56		
PROPOSED	USE BREAKD	<u>DWN:</u>		
1. СОММ 2. ONE—	BEDROOM RES	IDENTIAL UNITS: 10 UNITS		
3. TWO-	BEDROOM RES	IDENTIAL UNITS: 28 UNITS		
4. THREE	E-BEDROOM R	ESIDENTIAL UNITS: 13 UNITS		
			72	
		SCALE:	1"=500'	
AREA, YARD, AN	ND BULK REQU	JIREMENTS FOR THE UNDERLYING R-2 RESIDENTIAL ZONE R NEIGHBORHOOD COMMERCIAL ZONES PER CATEWAY RE	E AND R-2 ME	DIUM-DENSIT
REFERENCE	TYPE		REQUIRED	PROPOSED
GRP**		MINIMUM LOT AREA PER UNIT OR SITE AREA (SQ. FT.)	1,000	~30,837
870-56		MAXIMUM LOT AREA PER UNIT OR SITE AREA (SQ. FT.)	8,000	~30,837
GRP**		MINIMUM LOT WIDTH (FEET)	20	~35
870-56		MINIMUM LOT DEPTH (FEET)	100	~200
870-56		MINIMUM HEIGHT (FEET)	2 STORIES, OR 30 FT.	4 STORIFS
GRP**	MIXED-USE	MAXIMUM HEIGHT (FEET)	3/4 STORIES, OR 35/45 FT.	45 FT.
870-56 C		MINIMUM DEPTH OF FRONT YARD (FEET)	AVG. OF	0
870-56	KESIDENTIAL	MINIMUM AGGREGATE WIDTH OF SIDE YARDS (FFFT)	N/A	0
GRP**		MINIMUM WIDTH OF EACH SIDE YARD (FEET)	, N/A	0
GRP**		MINIMUM DEPTH OF REAR YARD (FEET)	30	N/A
GRP**		MAXIMUM LOT BUILDING COVERAGE - RESIDENTIAL	60%	73%
		MAXIMUM LOT BUILDING COVERAGE - COMMERCIAL	80%	73%
870-56		MAXIMUM LOT IMPERVIOUS COVERAGE	60%	100%
GRP**		MAXIMUM DENSITY OF GARDEN APARTMENTS	29 UNITS/ACRE	51 UNITS/0. ACRE
C: CONFORMANC	E		GRP**: GATEWA	REDEVELOP

V: VARIANCE UV: USE VARIANCE

# MAJOR SITE PLAN APPLICATION TRUCTION OF FOUR-STORY 'IAL/COMMERCIAL BUILDING FOR ONIFER REALTY, LLC 1301 HADDON AVENUE CITY OF CAMDEN, NEW JERSEY, 08104





ZONING MAP (DISTRICT GRP  $R-2 \mid C-R$ )

Υ	
)	STATUS*
	С
	V
	С
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5	С
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	V
.7	UV
PME	ENT PLAN

	DRAWING INDEX			
SHEET	TITLE	REVISION		
1	TITLE			
2	INDEX/DEMOLITION PLAN			
3	SITE PLAN			
4	GRADING & UTILITIES PLAN			
5	LANDSCAPE PLAN			
6	DETAILS – 1			
7	DETAILS – 2			
8	DETAILS – 3			
ES1	E&S PLAN			
ES2	E&S NOTES			
ES3	E&S DETAILS			

ALTA/NSPS LAND TITLE SURVEY PREPARED BY TRISTATE ENGINEERING & SURVEYING

CITY APPROVALS

APPROVED BY THE ZONING BOARD OF ADJUSTMENTS OF THE CITY OF CAMDEN THIS DAY OF

\_\_\_

THIS	DAY OF, 20
BOARD CHAIRMAN_	
ZONING BOARD SE	CRETARY
ZONING BOARD EN	IGINEER
ZONING OFFICER	ADMINISTRATIVE OFFICER

LIST	OF	UTILITIES	AND

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY NEW JERSEY ONE CALL AT 1-800-272-1000 OR THE COMMON GROUND ALLIANCE NATIONAL ONE CALL AT 811 PRIOR TO THE START OF CONSTRUCTION. CALL FOR MARKOUTS THREE (3) FULL BUSINESS DAYS IN ADVANCE AND BEGIN EXCAVATION WITHIN 10 DAYS. ALL CONTRACTORS ON-SITE MUST HAVE THEIR OWN MARKOUT.

SERVICES WITHIN THE AREA OF CONSTRUCTION. AMERICAN WATER

1 WATER STREET, CAMDEN, NJ 08102, 1-866-269-2837

CAMDEN COUNTY MUNICIPAL UTILITIES AUTHORITY 1645 FERRY AVENUE, CAMDEN, NJ 08104, 856-541-3700

COMCAST CABLE 1250 HADDONFIELD-BERLIN ROAD, CHERRY HILL, NJ 08054, 856-258-0096

VERIZON NEW JERSEY, INC. 10 TANSBORO ROAD, 2ND FLOOR, BERLIN, NJ 08055, 856-306-8590

PSE&G - GAS & ELECTRIC DIVISIONS 2 RIVERSIDE DRIVE, SUITE #110, CAMDEN, NJ 08103, 800-436-7734



THE CONTRACTOR SHALL LOCATE, BOTH IN PLAN AND ELEVATION, ALL EXISTING UTILITIES AND

OWNER/APPLICANT CONIFER REALTY, LLC 1000 UNIVERSITY AVENUE, SUITE 500 ROCHESTER, NY 14607 CONTACT: ROGER PINE, VP PHONE: 631.997.0014 EMAIL: RPINE@CONIFERLLC.COM

ARCHITECT CLARKE CATON HINTZ 100 BARRACK STREET TRENTON, NJ 08608 CONTACT: GEORGE M. HIBBS, AIA PHONE: 609.883.8383, EXT 305 EMAIL: GHIBBS@CCHNJ.COM

LAND-USE ATTORNEY PARKER MCCAY P.A. 2 COOPER STREET, SUITE 1901 CAMDEN, NJ 08102 CONTACT: KEVIN SHEEHAN, ESQUIRE PHONE: 609.685.5473 EMAIL: KSHEEHAN@PARKERMCCAY.COM



<u>GE</u>	NERAL NOTES:		EQUAL" MUST BE A RESPONSIBILITY TO
1.	PROPERTY IS CURRENTLY OWNED BY PARKSIDE RENEW, LLC. AS RECORDED IN CAMDEN COUNTY CLERK/REGISTER'S OFFICE IN DEED BOOK 08537 ON PAGE 1260 AND INDEXED AS TAX BLOCK 1322, TAX LOT 55.	40.	SUBSTITUTION IS THE ENGINEER AS TOPOGRAPHIC MAR
2.	BOUNDARY AND TOPOGRAPHIC SURVEY, RIGHT-OF-WAY, AND EASEMENT INFORMATION ARE BASED ON SURVEY PREPARED BY TRISTATE ENGINEERING & SURVEYING DATED 07/09/2024 AND INDEXED AS	41.	APPLICANT WILL C OF MAPS AND OT
3.	HORIZONTAL CONTROL IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAD83) (NEW JERSEY STATE PLANE COORDINATE SYSTEM)	42.	THE PLANS SHOU THE STANDARDS (
4.	VERTICAL CONTROL IS BASED UPON NAVD 1988.	DIS	CLAIMER:
5.	NAVD88 + 1.10' = NGVD29.	KELL	ER ENGINEERS OF
6. -	THE PROPERTY CONSISTS OF 0.71 ACRES.	CON	AINED FROM OTHERS STRUCTION. ANY DIS
7. 8	THE DEVELOPMENT IS ZONED R-2 RESIDENTIAL DISTRICT PER THE CITY OF CAMDEN ORDINANCE.	LING	
9.	BUILDING SETBACK DISTANCES:		EXIS
	FRONT = AVERAGE OF ADJACENT LOTS SIDE = $N/A$ AGGREGATE SIDE YARDS = $N/A$ PEAR = $N/A$		
10.	MAXIMUM ALLOWABLE BUILDING HEIGHT = 3 STORIES OR 35'		— — — — — — — — — — — — — — — — — — —
11.	PROPOSED BUILDING HEIGHT = 45 FT		G ·
12.	PARKING GENERATION:		<i>TEC</i>
	TOTAL SPACES REQUIRED = 54 SPACES TOTAL SPACES PROVIDED ON-SITE = 56 SPACES		
	TOTAL SPACES PROVIDED (OFF-SITE ALTERNATE PARKING) = 0 SPACES HANDICAP ACCESSIBLE PARKING = 2 SPACE		BC BOTT CB CURE
	ELECTRICAL VEHICLE PARKING = 9 SPACE TOTAL SPACES PROVIDED = 65 SPACE		CMP CORF CO CLEA
13.	DENSITY CALCULATIONS:		DIP DUCI DS DOWI
	OPEN SPACE         30,850 S.F. (100%)           PAVEMENT         22,621 S.F. (73.30%)		EM ELEC FFE 1ST
	BUILDING 8,600 S.F. (45.14%) TOTAL IMPERVIOUS 30,850 S.F. (100%)		FH FIRE GM GAS
	TOTAL LOT SIZE 0.71 ACRES		GV GAS UGS UNDE
14.	THE UNDERGROUND MUST BE INVESTIGATED FOR FOUNDATION REMNANTS FROM PREVIOUS BUILDING.		HDPE HIGH LF LINEA
15.	ALL AREAS NOT COVERED BY IMPERVIOUS SHALL BE CONSIDERED AS LAWN AREAS.		LP LIGH <sup>-</sup> MAX MAXII
16.	SOILS ON THE SITE ARE URBAN LAND (UR).		MH MANH MIN MININ
17.	MUNICIPAL UTILITIES AUTHORITY.		PVC POLY R RADI
18.	SEWERAGE SERVICE IS SUPPLIED BY, AND SHALL MEET THE REQUIREMENTS OF CAMDEN COUNTY MUNICIPAL UTILITIES AUTHORITY.		RCP REIN SWPP SMOO TBM TEMF TO TOP
19.	PROPOSED TELEPHONE, ELECTRIC, AND CABLE SERVICE TO BE CONSTRUCTED UNDERGROUND, CONTRACTOR TO COORDINATE LOCATION WITH RESPECTIVE UTILITY COMPANY.		TCP TERR UP UTILI
20.	ALL EXTERIOR LIGHTS TO BE FITTED WITH SHIELDS TO PREVENT GLARE ON ADJACENT PROPERTIES.		WV WATE
21.	ALL UTILITY TRENCHES TO BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.		
22.	LOCATION, GRADES, DIMENSIONS, AND ELEVATIONS OF THE WORK RECESSANT TO ESTABLISH LINES, THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES AS SHOWN ON THIS DRAWING. THE		
24	CONTRACTOR SHALL PERFORM ALL EXCAVATION TO THE DEPTHS INDICATED. ALL EXCAVATED MATERIAL NOT REQUIRED OR UNSUITABLE FOR FILL SHALL BE REMOVED AND WASTED OFF-PROPERTY.		<u></u>
24.	PROPERTY. IF DAMAGE OCCURS, DAMAGED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.		 <del>1400</del> ××
25.	ALL DISTURBED AREAS EXCEEDING THE LIMITS OF WORK TO BE RESTORED TO EXISTING CONDITIONS AT THE FULL EXPENSE OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.		G
26.	UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED ON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND FOR A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. A FIELD MARKOUT MAY BE REQUESTED BY CALLING NJ ONE CALL AT (800) 272–1000.		TEC W · CFS
27.	THE OFFICE OF THE CITY ENGINEER AND COUNTY ENGINEER ARE TO BE NOTIFIED IN ADVANCE OF CONSTRUCTION OF ANY IMPROVEMENTS UNDER IT'S JURISDICTION.		
28.	THE CONTRACTOR SHALL PROVIDE SUCH TEMPORARY DRAINAGE, SOIL EROSION, AND DUST CONTROL MEASURES AS MAY BE DIRECTED BY THE CITY ENGINEER OTHER AGENCIES TO SATISFY ENVIRONMENTAL CONCERNS.		
29.	CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING DEPARTMENT APPROVAL.		
30.	IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION, DEPTH, SIZE, ALIGNMENT, ETC. OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK. IN THE EVENT CONFLICTS ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER.		~ M T
31.	ALL TRAFFIC STRIPING AND/OR MARKING, WHETHER CIRCULATION, DIRECTIONAL OR PARKING, SHALL BE PERFORMED IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AS AMENDED.		
32.	THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN THE PLANS.		€3 ▲
33.	EXISTING SIGNS WITHIN AREAS AFFECTED BY THE CONSTRUCTION SHOWN HEREIN SHALL BE RESET AS REQUIRED BY THE CONTRACTOR.		(11)
34.	THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF PROPER AND SUFFICIENT CONSTRUCTION WARNINGS SIGNS AS INDICATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," AS AMENDED, FOR WORK ALONG EXISTING OR PROPOSED TRAVELWAYS. SIGNAGE, AS APPROPRIATE, SHALL BE INSTALLED TO DIRECT CONSTRUCTION TRAFFIC AND TO PROTECT PEDESTRIANS AND MOTORISTS FROM CONSTRUCTION TRAFFIC.		<b>`</b>
35.	LOCATION OF EXISTING INLETS, CATCH BASINS AND MANHOLES MUST BE FIELD VERIFIED BEFORE WORK MAY COMMENCE. ANY CONFLICTING INFORMATION FROM THAT SHOWN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.		
36.	CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE LOCATIONS OF UNDERGROUND IMPROVEMENTS INSTALLED DURING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A SET OF "RECORD" DRAWINGS. DRAWINGS SHALL BE NEATLY DRAWN AND CLEARLY DEPICT UTILITY SIZE AND LOCATION (BOTH HORIZONTAL AND VERTICAL).		
37.	UNLESS SPECIFICALLY SHOWN HEREIN, THE ENGINEER HAS NOT CONDUCTED INVESTIGATION OR PROVIDED DATA ON THE NATURE OF, OR STRUCTURAL SUITABILITY OF ANY SUBSURFACE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY UNUSUAL SOIL OR ROCK CONDITIONS ENCOUNTERED.		
38.	ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.		
39.	SUBSTITUTIONS OF PROPRIETARY MATERIAL AND / OR PRODUCT SPECIFICATIONS THAT NOTE "OR		

ITION IS EQUAL.

- AND OTHER DOCUMENTS IN A DIGITAL FORMAT".
- S SHOULD NOTE THAT ALL SITE WORK CONSTRUCTION AND DETAILS MUST CONFORM TO DARDS OF THE CITY OF CAMDEN.

ERS OF NEW JERSEY, LLC. MAKES NO CLAIM AS TO THE ACCURACY OF INFORMATION OTHERS. ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT TIME OF ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE DESIGN AND CITY

	EXISTING FEATURES LEGEND
	PROPERTY / INF
	RIGHT-OF-WAY / INF
	EASEMENT / INF
	$-14 \theta CONTOUR INF$
	FENCE / INF
· · ·	Gas / INF
	- S - SEWER LINE
	COMBINED WATER &
	- TELEPHONE. ELECTRIC
	W WATER LINE
	ABBREVIATIONS
BC	BOTTOM OF CURB
CB	CURB BOX
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
EM	ELECTRIC METER
FFE	1ST FLOOR ELEVATION
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
UGS	UNDERGROUND STORAGE TANK
HDPE	HIGH DENSITY POLY-ETHYLENE
LF	LINEAR FEET
LP	LIGHT POLE
MAX	MAXIMUM
ΜΗ	MANHOLE
MIN	MINIMUM
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
SWPP	SMOOTH WALL POLY-ETHYLENE PIPE
ТВМ	TEMPORARY BENCHMARK
TC	TOP OF CURB
TCP	TERRACOTTA PIPE
UP	UTILITY POLE
WM	WATER METER
WV	WATER VALVE
WWF	WELDED WIRE FABRIC

PROPOSED FEAT	URES LEGEND
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
1400	CONTOUR LINE
	FENCE LINE
	EDGE OF MACADAM
G	GAS LINE
S	SEWER LINE
	STORM SEWER
TEC	TELEPHONE, ELECTRIC, (
w	WATER LINE
	NPDES PERMIT BOUNDAR
	LIMIT OF DISTURBANCE
CFS	COMPOST FILTER SOCK

SYM	BOLS
▣	FIRE HYDRANT
*	LIGHT POST
	LIGHTING
9         	UTILITY POLE VALVE REDUCER SIGN
$\bigoplus$	DECIDUOUS TREE
X	PINE TREE
È	SHRUB
←	TRAFFIC FLOW DIRECTION (REPRESENTATION ONLY- NOT TO BE PAINTED)
(11)	PARKING SPACES PER ROW
0	INLET FILTER BAG
	MACADAM (HEAVY DUTY)
	CONCRETE

AREA OF DEMOLITION

## JST BE APPROVED BY THE DESIGN ENGINEER. IT SHALL BE THE CONTRACTOR'S IBILITY TO DEMONSTRATE TO THE SATISFACTION OF THE DESIGN ENGINEER THAT THE

INEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THE PHIC MAPPING, BOUNDARY SURVEY OR ENVIRONMENTAL CONDITIONS ON THE PROPERTY.

WILL COMPLY WITH CITY'S "ORDINANCE ESTABLISHING STANDARDS FOR THE SUBMISSION





RIC, CABLE

NDARY





SYMBOL	KEY	QUANTITY	BOTANICAL NAME COMMON NAME
45			
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	CR	27	GRAY DOGWOOD CORNUS RACEMOSA
	AC	27	CATAWBA RHODODENDRON RHODODENDRON CATAWBIENSE
	VA	18	MAPLELEAF VIBURNUM VIBURNUM ACERIFOLIUM
	RM	19	KOREAN RHODODENDRON RHODODENDRON MUCRONULATUM















CONCRETE ADA RAMP N.T.S

OF NEW JERSEY, LLC         35 Kings Highway East, Suite 120         35 Kings Highway East, Suite 120         Haddonfield, NJ 08033         P:(856) 536-3169         www.kellerengineersofnj.com         OF NEW JERSEY, LLC
CATE OF NEW CAPTER D. NO. CAPTER D. NO. CAPTER D. NO. CONTACTER CO
REVISION DESCRIPTION
DATE & INITIALS
DETAILS - 3 NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC 1301 HADDON AVENUE BLOCK 1322, LOTS 55 CITY OF CAMDEN, CAMDEN, COUNT, NEW JERSEY
KELLER ENGINEERS, EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS CONTAINED IN THESE PLANS AND DESIGNS. THEY ARE NOT TO BE REPRODUCED, CHANGED, ALTERED OR CONTED IN ANY FORM OR MANNER, NOR ARE THEY TO BE ASSIGNED WITHOUT WRITTEN PERMISSION AND KFILLER FNGINFERS.
T NO.: 4774–1 ME: 06 DETALS.DWG 07/15/2024 D BY: SAA/AA D BY: SAA/AA D BY: SAA/AA D BY: SDM



EROSION AND SEDIMENT CONTROL NOTES	4.3.1. PEG AN SURFACE EVI MULCH. SECI
GENERAL 1. TOTAL SITE ACREAGE = 0.71 ACRES / TOTAL DISTURBANCE = 0.71 ACRES 2. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE	CRISS-CROS ROUND TURN 4 3 2 MILICH
DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.	USE A DEGR 4.3.3. CRIMPEI
IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.	HARROW, ESI 3 TO 4 INCH
3. CONSTRUCTION SHALL NOT COMMENCE UNTIL THE COUNTY CONSERVATION DISTRICT HAS APPROVED THE EROSION AND SEDIMENT CONTROL PLAN. 4. IMMEDIATELY, LIPON, DISCOVERING, LINEORESEEN, CIRCUMSTANCES, DOSING, THE POTENTIAL FOR ACCELERATED	CONTOUR OF ADHESIVE AG
EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL	4.4. WOOD-FIBER BY A HYOROSEE
CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT. 5. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTUBBANCE POLINIARIES SHOWN ON THE PLAN MARK THESE AREAS MUST BE CLEARLY MARKED AND	SPRING AND FAL
FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. 6. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE	TEMPORARY SEE
DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. 7. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM	REDUCE SOIL EROSION
OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES.	QUALITI MAT BE SUBS
CAMDEN COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY	100%
GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES. 2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN	OR 44 POUNDS/ ACRI
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.	SUMMER SEEDING SHA GERMINATION.
4. THE CONTRACTÓR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND REPUENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE	PERMANENT VE
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION	1. SITE PREPARATIO 1.1. GRADE AS N
IN ACCORDANCE WITH THE <u>NEW JERSEY STANDARDS</u> AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALE HAY OR FOUNDALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (J.E. BEC AND	PREPARATION, SE 1.2. INSTALL NEEL STABILIZATION ST
TWINE, MULCH NETTING OR LIQUID MULCH BINDER). 6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER	2. SEEDBED PREPA
AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE COUNTY SOIL CONSERVATION DISTRICT. 7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH	2.1. APPLY LIMES PER ACRE OR II
STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.	(EQUIVALENT TO SOIL TEXTURE
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. 9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER	CLAY, CLAY LOAN ORGANIC SOIL
EVERY STORM EVENT. 10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS.	SANDY LOAM, LO
THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS. 11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 ½" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT	PULVERIZED DOLOI BRUNSWICK-TRENTO
CONSTRUCTION. 12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.	2.2. WORK LIME
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN. 14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.	WITH A DISC, SH DISCING OPERATI UNIFORM SEEDBE
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL) THE BASIN MUST BE	ROLLED TO FIRM 2.3. REMOVE FRO
DEWATERED TO NORMAL POOL WITHIN TO DAYS OF THE DESIGN STORM. 16. NJSA 4:24–39, <u>ET SEQ.</u> REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR	OTHER DEBRIS, S UNSUITABLE MAT
PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY	2.4. INSPECT SEE MUST BE RETILLI
17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.	3. SEEDING 3.1. SEE PERMAN
18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR. 19 A COPY OF THE CERTIFIED SOIL FROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE	3.2. APPLY SEED CULTIPACKER SE
PROJECT SITE DURING CONSTRUCTION. 20. THE COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND	WITH SEED, EXCL INTO THE SOIL.
DISTURBANCE. 21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.	3.3. AFTER SEEDI
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL PILE	4. MULCHING
ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH	MULCHING IS REQUIRE 4.1. MULCH MATE
A SEDIMENT BARRIER. 23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL BLAN TO THE COUNTY SOIL CONSERVATION DISTRICT. THE REVISED SOIL EROSION AND	TO BE APPLIED FEET), EXCEPT T
ACCORDANCE WITH THE CURRENT <u>NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.</u> 24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE	ADHESIVE AGENT CHOPPER-BLOWE 4.2 SPREAD LINE
STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS. 25 TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY	SURFACE WILL B APPROXIMATELY
STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE <u>NEW</u> JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).	SECTION. 4.3. MULCH ANCH WIND OR WATER
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT. 27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS	OF THE AREA, S 4.3.1. PEG AN
AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER. 28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE	SURFACE EVI MULCH. SECI
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE. 30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR	4.3.2. MULCH USE A DEGR
NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMEN AND IN ACCORDANCE WITH THE <u>NEW</u> JERSEY STANDARDS. 31 NATURAL VEGETATION AND SPECIES SHALL BE BETAINED WHERE SPECIEIED ON THE LANDSCARE PLAN	4.3.3. CRIMPEI HARROW, ESI
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.	TO 4 INCHES TECHNIQUE I
TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION	ADHESIVE AG
<ol> <li>SITE PREPARATION</li> <li>1.1. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION SEEDING MULCH APPLICATION AND MULCH ANCHORING</li> </ol>	BY A HYOROSEEI SPRING AND FAL
1.2. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS.	5. IRRIGATION
2. SEEDBED PREPARATION	5.1. IF SOIL MOIS INCH TWICE A DA ARE DEDEORMED
2.1. APPLY LIMESTONENE AND FERTILIZER. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. APPLY LIMESTONE	6. TOP DRESSING*
(EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS.	AT 400 POUNDS OCTOBER 15.
CLAY, CLAY LOAM, AND HIGH 3 135	6.2. FALL SEEDING 6.3. MIXTURES DO
SANDY LOAM, LOAM, SILT LOAM 2 90	* IF SLOW-RELEASE SUGGESTED FERTILIZ
LOAMY SAND, SAND 1 45	
TRENTON LINE.	THIS SEEDING MIXT MAINTENANCE. THE
WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY	MANUFACTURED BY QUALITY MAY BE SU
UNIFORM SEEDBED IS PREPARED. 2.3. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AS ABOVE	<u> </u>
2.4. SOILS HIGH ON SULFIDES OR HAVING A pH OF 4 OR LESS SHOULD BE MULCHED ONLY.	20% 15%
3. SEEDING 3.1. SEE TEMPORARY SEED MIXTURE FOR SPECIES AND APPLICATION RATES.	10% 5%
3.2. APPLY SEED UNIFORMLY BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HYDRO SEEDER TANK	5% THE MINIMUM APPLICA
WITH SEED. SEED SHALL BE INCORPORATED INTO THE SOIL BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE $I/4$ INCH DEEPER ON COURSE TEXTURED SOIL.	RECOMMENDED SEEDIN SUMMER SEEDING SHA GERMINATION.
3.3. AFTER SEEDING, FIRMING THE SOIL SHALL BE PERFORMED WITH A CORRUGATED ROLLER TO ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE.	PERMANENT SE
4. MULCHING	THIS SEEDING MIXT MAINTENANCE. THE I
4.1. MULCH MATERIALS SHOULD BE UNROTTED. SMALL GRAIN STRAW HAY, FREE OF SEEDS, OR SALT HAY, TO BE APPLIED AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1.000 SQUARF	QUALITY MAY BE SU
FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH BINDER (TACKIFYNG OR ADHESIVE AGENT), THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH	<u> </u>
CHUPPER-BLOWERS MUST NUT GRIND THE MATERIAL. 4.2. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL SURFACE WILL BE COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULTURE AREA INTO	10% 10%
APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.	5% 5%
4.3. MULCH ANCHORING SHOULID BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA. STEEPNESS OF SLOPES AND COSTS	THE MINIMUM APPLICA RECOMMENDED SEEDIN SUMMER SEEDING SHA
	OLLDING JIA

S AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE

- RADABLE NETTING IN AREAS TO BE MOWED.
- SENT IS REQUIRED.

# EDING MIXTURE

E IS COMPOSED OF A SINGLE SPECIES WHICH GERMINATES QUICKLY IN ORDER TO UNTIL A PERMANENT VEGETATIVE COVER CAN BE ESTABLISHED. A MIXTURE OF EQUAL STITUTED IF APPROVED BY OUR OFFICE. COMMON NAME BOTANICAL NAME PERENNIAL RYE GRASS LOLIUM PENENNE

ATION RATE FOR THIS SEEDING MIXTURE SHALL BE ONE (1) POUND/1000 SQUARE FEET RE. RECOMMENDED SEEDING PERIODS ARE MARCH 1-MAY 15 AND AUGUST 15-OCTOBER 1 ALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL

# GETATIVE COVER FOR SOIL STABILAZATION

- SEEDING, MULCH APPLICATION, AND MAINTENANCE.
- RATION 50% CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS: TONS/ACRE
- M, AND HIGH OAM, SILT LOAM SAND OMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW ON LINE.
- THE SEEDBED WHEREVER FEASIBLE.
- LED AND FIRMED AS ABOVE.
- BE 1/4 INCH DEEPER ON COURSE TEXTURED SOIL.
- ED ON ALL SEEDING
- ERS MUST NOT GRIND THE MATERIAL
- STEEPNESS OF SLOPES, AND COSTS.
- RADABLE NETTING IN AREAS TO BE MOWED. GENT IS REQUIRED.

- DOMINATED BY WEEPING LOVEGRASS OR LEGUMES MAY NOT NEED TOP DRESSING.
- IZER, THIS FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.
- EDING MIXTURE (DRY)



COMMON NAME CLEMFINE TALL FESCUE WEEPING LOVEGRASS RELIANT HARD FESCUE JAMESTOWN CHEWINGS FESCUE PALMER PERENNIAL RYE WHITE CLOVER BLACKWELL SWITCHGRASS

ATION RATE FOR THIS SEEDING MIXTURE SHALL BE SIX (6) POUNDS/1000 SQUARE FEET. NG PERIODS ARE APRIL 1-MAY 31 AND AUGUST 16-OCTOBER 15. IALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL

EEDING MIXTURE (MOIST) XTURE IS COMPOSED OF MOISTURE-TOLERANT SPECIES WHICH CAN THRIVE WITH LOW PROPRIETARY NAME OF THE MIXTURE IS RECLAIM CONSERVATION MIX-MOIST FORMULA AS Y LOFTS, INC., BOUND BROOK, N.J. 08805, (800) 526–3890. A MIXTURE OF EQUAL SUBSTITUED IF APPROVED BY OUR OFFICE.

COMMON NAME CLEMFINE TALL FESCUE NASSAU KENTUCKY BLUEGRASS PALMER PERENNIAL RYE LASER POA TRIVIALIS STREAKER REDTOP REED CANARY GRASS

ATION RATE FOR THIS SEEDING MIX TURE SHALL BE SIX (6) POUNDS/1000 SQUARE FEET. NG PERIODS ARE APRIL 1 - MAY 31 AND AUGUST 16-OCTOBER 15. IALL BE PERFORMED ONLY IF ADEQUATE IRRIGATION IS PROVIDED TO ENSURE SUCCESSFUL

### ID TWINE- DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL /ERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING URE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A

NETTING- STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE.

ER (MULCH ANCHORING TOOL)— A TRACTOR—DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC PECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH HES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE THE SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR

OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED EDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN

NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED

EDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE TRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATER WAYS.

STONE AND FERTILIZER. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. APPLY LIMESTONE

> LBS/1000 SF 180 135 90

AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWNG OR

TION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COURSE SANDS SHOULD BE

OM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER

EDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED; THE AREA

NENT SEED MIXTURE FOR SPECIES AND APPLICATION RATES.

UNIFORMLY BY HAND, CYCLONE(CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL EEDER, OR HYDROSEEDER. MULCH SHALL NOT BE INCLUDED IN A HIDRO SEEDER TANK EPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDING, SHALL BE INCORPORATED TO A DEPTH OF 1 /4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED

DING, FIRMING THE SOIL SHALL BE PERFORMED WITH A CORRUGATED ROLLER TO ASSURE -SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE.

ERIALS SHOULD BE UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH BINDER (TACKIFYNG OR T), THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH

FORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH

HORING SHOULID BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE

ND TWINE- DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL YERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING URE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS. NETTING- STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTING TO THE SOIL SURFACE.

R (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC PECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR

OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED EDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN

ISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

EDING WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEBER 1 AND

NG WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.

NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO

TURE IS COMPOSED OF DROUGHT-TOLERANT SPECIES WHICH CAN THRIVE WITH LOW PROPRIETARY NAME OF THE MIXTURE IS RECLAIM CONSERVATION MIX-DRY FORMULA AS LOFTS, INC., BOUND BROOK, N.J. 08805, (800)526–3890. A MIXTURE OF EQUAL JBSTITUTED IF APPROVED BY OUR OFFICE.

> BOTANICAL NAME FESTUCA ARUNDINACEA "CLEMFINE" ERAGRASTIS CURVULA FESTUCA LONGIFOLIA "RELIANT" FESTUCA RUBRA VAR. COMMUTATA "JAMESTOWN" LOLIUM PERENNE "PALMER"

TRIFOLIUM REPENS PANICUM VIRGATUM "BLACKWELL"

BOTANICAL NAME FESTUCA ARUNDINACEA "CLEMFINE" POA PRATENSIS "NASSAU' LOLIUM PERENNE "PALMER" POA TRIVIALIS "LASER" AGROSTIS ALBA "STREAKER" PHLARIS ARUNDINACEA

GERMINATION.

- TOP SOILING 1. MATERIALS
- 1.1. TOPSOIL SHOULD BE FRIABLE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES. AND CONTAIN NO TOXIC SUBSTANCE THAT MAY BE HARMFUL TO PLANT GROWTH. A PH RANGE OF 5.0-7.5 IS ACCEPTABLE. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER). TOPSOIL HAULED IN FROM OFF SITE SHOULD HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
- 2. SITE PREPARATION
- 2.1. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. 2.2. SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE
- APPLIED TO BRING SOIL pH TO 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES. 2.3. IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL.
- 2.4. EMPLOY NEEDED EROSION CONTROL PRACTICES SUGH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS.
- 3. APPLYING TOPSOIL
- 3.1. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE; IE., LESS THAN FIELD CAPACITY.
- 3.2. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A pH OF 5.0 OR MORE.

SPECIAL NOTES

TEMPORARY STABILIZATION - ALL EXPOSED AREAS NOT BE CONSTRUCTED UPON WITHIN 30 DAYS SHOULD RECEIVE TEMPORARY STABILIZATION, ACCORDING TO THE TEMPORARY VEGTATIVE COVER SPECIFICATIONS. 2. PERMANENT STABILATION - ALL EXPOSED AREA WHICH ARE TO BE PERMANENTLY VEGETATED SHOULD BE SEEDED WITHIN 10 DAYS OF FINAL GRADING, ACCORDING TO THE PERMANENT SEEDING SPECIFICATIONS.

STANDARD FOR DUST CONTROL

**DEFINITION** THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

WHERE APPLICABLE THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON- AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

PLANNING CRITERI THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST; MULCHES: SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (P.3.3.1). VEGETATIVE COVER: SEE STANDARDS FOR: TEMPORARY VEGETATIVE COVER (P.3.1.1), PERMANENT VEGETATIVE COVER (P.3.2.1), AND PERMANENT STABILIZATION WITH SOD (P.3.6. 1.). SPRAY ON ADHESIVES: ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER	TYPE OF	APPLY
	DILUTION	NOZZLE	GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

TILLAGE: TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS: SOLID BOARD FENCES, SNOW FENCE, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE: SHALL BE IN THE FORM OF LOOSE, DRY GRANULAR OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMUILATION AROUND PLANTS.

STONE: COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL **PROJECT CONSTUCTION SEQUENCE:** 

- 1. DEMOLITION & REMOVE ANY REMNANTS AS PER INDEX & DEMOLITION PLAN.
- 2. INSTALL SOIL EROSION AND SEDIMENT MEASURES FOR THE NEW CONSTRUCTION.
- 3. CLEAR AND GRUB AREA OF CONSTRUCTION. 4. ROUGH GRADE SITE.
- 5. CONSTRUCT THE FOUNDATION FOR THE NEW BUILDING AND SLAB ON GRADE IF ANY.
- 6. CONSTRUCT THE PROPOSED BUILDING.
- 7. CONSTRUCT UTILITIES, CURB, AND SIDEWALK. 8. CONSTRUCT SUBBASE COURSE FOR CONCRETE APRONS, PARKING LOT, AND BUILDING.
- 9. FINE GRADE PAVEMENT AREAS AND CONSTRUCT CONCRETE APRONS AND PARKING LOT WEARING COURSE.
- 10. STABILIZE SITE WITH PERMANENT VEGETATIVE COVER, CONSTRUCT FENCE, AND INSTALL LANDSCAPING.
- 11. REMOVE EROSION AND SEDIMENT CONTROL MEASURES.

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			REVISION DESCRIPTION		
			DATE & INITIALS		
EROSION AND SEDIMENTATION	CONTROL PLAN	NEW CONSTRUCTION OF FOUR-STORY	RESIDENTIAL/COMMERCIAL		CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY
KELLER ENGINEERS, EXPRESSLY RESERVES ITS	COMMON LAW COPYRIGHT AND OTHER RIGHTS	CONTAINED IN THESE PLAN AND DESIGNS. THEY ARE NOT TO BE REDRODUCED	CHANGED, ALTERED OR COPIED IN ANY FORM OR	MANNER, NOR ARE THEY IC BE ASSIGNED WITHOUT WRITTEN PERMISSION AND	CONSENT OF KELLER ENGINEERS.
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REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

> STANDARD CONSTRUCTION DETAIL ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



CONCRETE WASHOUT NOT TO SCALE



# NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

do not use on major paved roadways where ponding may cause traffic hazards.
<u>STANDARD CONSTRUCTION DETAIL</u> FILTER BAG INLET PROTECTION NOT TO SCALE

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						REVISION DESCRIPTION		
						DATE & INITIALS		
EROSION AND SEDIMENTATION CONTROL PLAN NEW CONSTRUCTION OF FOUR-STORY RESIDENTIAL/COMMERCIAL BUILDING FOR CONIFER REALTY, LLC 1301 HADDON AVENUE BLOCK 1322, LOTS 55 CITY OF CAMDEN, COUNTY, NEW JERSEY								
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