



November 18, 2024
Via Hand Delivery

Dr. Edward C. Williams, PP, AICP, CSI
Planning Director/Zoning Officer
Department of Planning and Development
520 Market Street
City Hall, Room 224
Camden, NJ 08101

**RE: PUBLIC SERVICE ELECTRIC AND GAS COMPANY (PSE&G)
PSE&G LOCUST STREET NEW BREAKER STATION & SUBSTATION EXPANSION
900 LOCUST STREET; BLOCK 237, LOT 55 (NEW BREAKER STATION)
942 LOCUST STREET; BLOCK 243, LOT 1 (EXISTING SUBSTATION)
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY
APPLICATION FOR CONDITIONAL USE AUTHORIZATION, PRELIMINARY &
FINAL SITE PLAN AND VARIANCE RELIEF**

Dear Dr. Williams:

Public Service Electric and Gas Company (PSE&G) submits this application to the City of Camden Zoning Board of Adjustment for Conditional Use Authorization, Preliminary and Final Site Plan and (d) and (c) variance relief approval to support the construction of a new Breaker Station at 900 Locust Street, and the expansion of PSE&G's existing Locust Street Substation located at 942 Locust Street in the City of Camden. The Breaker Station property is identified as Block 237, Lot 55 and the Substation Property is identified as Block 243, Lot 1 on the City of Camden Tax Map. The two properties are located in the City's R2 – Residential Zoning District. Per Article V for the R-2 Residential Zone, §870-55 Conditional Uses, public utilities are a permitted conditional use, subject to the requirements of §870-191.

Project Background and Project Scope

This project will convert the existing 69kV straight bus at Locust Street Substation into a 69kV ring bus by constructing the new Locust Street 69kV Breaker Station. This is part of a program to increase service reliability to our 6,000+ customers during various contingencies identified in the 2022 Series 2027 Summer Regional Transmission Expansion Planning (RTEP) Study.

The property for the proposed breaker station currently and for the last five years has been a storage yard in support of construction activities at PSE&G's M&R Station located across Locust Street. There are various types of material and equipment spread throughout the property, three vehicle entrances, and crushed stone/gravel surfacing and sections of pavement covering the entire parcel. The existing site has a chain-link fence around the perimeter of the property. The area surrounding

the site consists of industrial land uses to the south and west and parking lots and a church to the north. PSE&G's Camden Gas Metering and Regulating Station (M&R) is located to the west of the site across Locust Street, and the existing PSE&G Locust Street Substation is located south of the site across the vacated Cherry Street right-of-way. Vacant City-owned lots to the east are planned to be used for temporary construction laydown for this project, pursuant to a lease with the City. The temporary laydown area site plan is a separate application that was submitted on October 3, 2024 to the City's Department of Planning and Development, Application No. 303976230.1, which it is anticipated that both applications will be heard by the Zoning Board at the same hearing.

The new breaker station proposed for Block 237, Lot 55 will include a 26' x 42' Control House, six (6) 69kV circuit breakers, equipment with associated overhead transmission lines, two (2) 51-foot high lightning masts, four (4) 72-foot high 69kV transmission poles, one (1) 51-foot high H-frame, a stormwater collection/conveyance system and a small-scale bioretention system. The proposed breaker station yard will be surfaced with gravel and macadam access driveways and enclosed by an 8'-8" high security fence around the site perimeter. The security fence will not have any barbed wire, nor be angled in/out at the top.

The completed breaker station will include three vehicular access points. The existing paved driveway entrance from Locust Street on the west will be reconstructed slightly south of the existing location. The existing paved driveway entrance from Spruce Street on the north side of the site will be reused in its existing location. The Cherry Street access point at the southwest corner of the site is intended as emergency/maintenance access only and will be surfaced with substation crushed rock. The on-site area of disturbance for the construction of the breaker station is approximately 1.48 acres.

At the Locust Street Substation on Block 243, Lot 1, some existing equipment will be removed, including one transformer, and new equipment installed to enable the new ring-bus breaker station to tie into the existing substation. The existing macadam access road will be slightly modified. Existing wood poles, as well as landscaping within the substation yard will be removed. Four (4) 72-foot high 69kV transmission poles and two (2) 27-foot high 13kV transmission poles will be installed. The new 13kV transmission poles will replace existing 27-foot high 13kV transmission poles to reconfigure the overhead conductors. The existing chain link fence around the substation will be replaced with the same 8'-8" high security fence proposed around the breaker station. It too will not have any barbed wire, nor be angled in/out at the top. A new 22-foot-high free-standing isolation wall will be installed on the east side of the existing transformers to provide added protection to the transformers. There are no changes proposed to the stormwater management systems at the Locust Street Substation as no additional impervious surfacing or grading changes are proposed.

The construction cost of the project is approximated at \$45.5 million. Work on the demolition of the existing station and construction of the new Locust Street Substation is scheduled to begin in the Summer 2025 and be completed in December 2027.

In support of our application for Conditional Use Authorization, Preliminary and Final Site Plan Approval and Variance Relief, enclosed please find the following for completeness review:

1. PSE&G check #101901548, dated November 5, 2024 in the amount of \$803.40 for the Preliminary Site Plan Application Fee;
2. PSE&G check #1018800012, dated October 10, 2024 in the amount of \$334.18 for the Final Site Plan Application Fee;
3. PSE&G check #4000494075, dated October 9, 2024 in the amount of \$2,408.82 for the Preliminary Site Plan Engineering Review Escrow Fee;
4. PSE&G check #4000494046, dated October 8, 2024 in the amount of \$1,204.41 for the Final Site Plan Engineering Review Escrow Fee;
5. PSE&G check #101901547, dated November 5, 2024 in the amount of \$87.30 for the Zoning Permit Application;
6. One (1) signed W9 Form;
7. One (1) copy of Proof of Taxes, water and sewer paid, signed by the City Tax Collector on October 7, 2024, and the Water and Sewer Department October 8, 2024.
8. One (1) completed Escrow Deposit Agreement;
9. One (1) Certificate of Ownership
10. One (1) copy of the certified list of property owners within 200 feet, dated June 14, 2024
11. One (1) copy of deeds for the property:
12. One (1) will-serve letter from the City Engineer for the provision of water and sanitary sewer service to the new Control House dated August 7, 2024:
13. One (1) copy of the prior Planning and Zoning Board approvals from 2011:
 - a. Planning Board Resolution, granting Preliminary and Final Major Site Plan Approval to PSE&G for North East Intersection of Locust Street and Walnut Street, Block 237, Lot 55 and Block 243, Lot 1, adopted December 8, 2011;
 - b. Zoning Board Resolution, granting Use Variance to PSE&G for Locust Street Substation (Spruce to Cherry and Walnut Streets), Block 237, Lot 55 and Block 234, Lot 1, adopted December 5, 2011;
14. Three (3) copies of the Stormwater Management Plan prepared by Burns & McDonnell, dated October 16, 2024;
15. Three (3) copies of the Stormwater Management Measures Maintenance Plan & Field Manuals, dated February 23, 2024;
16. Three (3) copies of an Environmental Impact Statement prepared by E2 Project Management LLC, dated October 11, 2024;
17. Three (3) copies of a Visual Impact Assessment prepared by E2 Project Management LLC, dated October 11, 2024;

18. Three (3) copies of a Traffic Impact Statement prepared by Burns & McDonnell, dated October 24, 2024;
19. Three (3) copies of an Acoustical Report prepared by Ostergaard Acoustical Associates dated October 1, 2024;
20. Fifteen (15) copies of the Zoning Permit Application;
21. Fifteen (15) copies of the Site Plan Application and Submission Item Package;
22. Fifteen (15) copies of the Preliminary Site Plan Checklist;
23. Fifteen (15) copies of the Final Site Plan Checklist;
24. Fifteen (15) sets of color photographs of the existing substation, equipment and surrounding neighborhood;
25. Fifteen (15) copies of a Land Development Ordinance & Site Plan Checklist Compliance Statement;
26. Fifteen (15) copies of the Locust Street Substation Boundary & Topographic Survey prepared by PSEG Services Corporation, Surveys and Mapping, last revised 2/29/2024;
27. Fifteen (15) copies of the Locust Street Substation Site Plan prepared by PSEG Services Corporation, Surveys and Mapping, dated 11/13/2024; and
28. Fifteen (15) sets of the following drawings prepared by Burns & McDonnell:

Drawing #	Plan Description	Latest Revision Dated
799476A-0R	69/13kV Breaker Station & 69/13kV Substation Removal Plan	10/18/2024
708745A-0R	69/13kV Breaker Station & 69/13kV Substation Civil Site Plan	10/18/2024
799477A-0R	69/13kV Breaker Station & 69/13kV Substation Grading & Drainage Plan	10/18/2024
799478A-0R	69/13kV Breaker Station & 69/13kV Substation Utility Plan	10/18/2024
799479A-0R	69/13kV Breaker Station & 69/13kV Substation Storm Drain Profiles	10/18/2024
799480A-0R	69/13kV Breaker Station & 69/13kV Station Soil Erosion & Sediment Control Plan	10/18/2024
799481A-0R	69kV Substation Soil Erosion & Sediment Control Notes & Details – Sheet 1	10/18/2024
799482A-0R	69kV Substation Soil Erosion & Sediment Control Notes & Details – Sheet 2	10/18/2024
799483A-0R	60kV Substation Civil Details - Sheet 1	10/18/2024
799484A-0R	60kV Substation Civil Details - Sheet 2	10/18/2024
799485A-0R	60kV Substation Civil Details - Sheet 3	10/18/2024
799486A-0R	69/13 kV Breaker and Substation Civil Details - Sheet 4	10/18/2024
799526A-0R	69/13 kV Breaker and Substation Civil Details - Sheet 5	10/18/2024
798280A-0Per	Breaker Station and Substation Electrical Plan	10/18/2024

798283A-0Per	69kV Breaker Station Sections A-A, B-B, C-C, D-D – Sheet 1	10/18/2024
798284A-0Per	69kV Breaker Station Sections E-E – Sheet 2	10/18/2024
799544A-0Per	Temporary Electrical Plan and Laydown Area	10/18/2024
798290A-0Per	69kV Breaker Station Ultimate Lighting Distribution Plan	10/18/2024
323530A-6Per	69/13kV Lighting Distribution Plan	10/18/2024
798297A-0Per	69kV Breaker Station Lighting Details	10/18/2024

As noted above, a separate application for the adjacent Laydown Area was submitted on October 3, 2024, Application No. 303976230.1 and recently deemed complete for Zoning Board review. We request that both applications are scheduled for the same hearing due to the direct relation of the two projects.

Consideration of this request by the City’s Zoning Board of Adjustment at its earliest convenience would be greatly appreciated. Should you require anything further, please contact me at (732) 804-5478, or email at Katherine.Hering@pseg.com.

Sincerely,



Kathy Hering, P.E., P.P., C.M.E
Licensing Project Manager – PSE&G
Electric Transmission & Distribution – Projects & Construction

ENCLOSURES

cc: Dena Moore Johnson, P.E., C.M.E., Remington & Vernick Engineers, Inc.
(w/ enclosures via mail and email)
Warren Reichle, PSE&G
Chris Wilson, P.E., B&McD
Thomas Letizia, Esq, Troutman Pepper

HOLD TO LIGHT TO VIEW FINE WATERMARK IN PAPER HEAT SENSITIVE RED LOCK DISAPPEARS WHEN HEATED

101901548

Bank of America



PSE&G DELIVERY, PROJECT & CONSTRUCTION - L & P

4000 HADLEY RD
SOUTH PLAINFIELD, NJ 07080

55-33/212

11/5/2024

PAY TO THE
ORDER OF City Of Camden

\$ **803.40

Eight Hundred Three and 40/100*****

DOLLARS

520 Market Street
City Hall Room 403
Camden, NJ 08101



David C. H.
AUTHORIZED SIGNATURE

Security features. Details on back.

MEMO

Locust St Breaker Station Preliminary Site Plan Appl.

⑈ 10 190 1548 ⑈ ⑆ 021200339⑆ 381032828306 ⑈

PSE&G DELIVERY, PROJECT & CONSTRUCTION - L & P

101901548

PSE&G DELIVERY, PROJECT & CONSTRUCTION - L & P

101901548



HOLD TO LIGHT TO VIEW TRUE WATERMARK IN PAPER. HEAT-SENSITIVE RED LOCK DEVICE APPEARS WHEN HEATED.



1018 00012

PSE&G DELIVERY, PROJECTS & CONSTRUCTION

4000 HADLEY ROAD
SOUTH PLAINFIELD, NJ 07080

BANK OF AMERICA
55-33/212

10/10/2024

PAY TO THE
ORDER OF City Of Camden

\$ **334.18

Three Hundred Thirty-Four and 18/100*****

DOLLARS

MEMO

Final Site Plan Application Fee Locust Street Sub.



Michelle Peters
AUTHORIZED SIGNATURE

Security features. Details on back.

⑈ 101800012⑈ ⑆021200339⑆ 381032828306⑈

PSE&G DELIVERY, PROJECTS & CONSTRUCTION

City Of Camden
C.92302.1.B.1.2

10/10/2024

1018 00012

334.18



Public Service Electric and Gas Company
 P.O. Box 1868
 Newark NJ 07101

4000494075

Page 1 of 1

Further Inquiry call:
 973-430-5440

DATE 10/09/2024



Vendor No. 118029 CITY OF CAMDEN

Invoice Date	Description	Document No.	PO Number	Gross Amount	Discount	Net Amount
10/04/2024	HWC HWC Glory Stover MC 430 101901524	1300011711		2,408.82	.00	2,408.82
Total:				2,408.82	.00	2,408.82

FOR SECURITY PURPOSES, THE BACK OF THIS DOCUMENT CONTAINS AN ARTIFICIAL WATERMARK



Public Service Electric and Gas Company
 P.O. Box 1868
 Newark NJ 07101

Wachovia Bank N.A.

4000494075
 62-22/311

DATE
 10/09/2024

NET AMOUNT
 \$ 2,408.82

PAY EXACTLY Two Thousand Four Hundred Eight And 82/100 Dollars

TO THE ORDER OF CITY OF CAMDEN
 DEPT OF DEVELOPMENT AND PLANNING
 520 MARKET STREET, ROOM 224
 CAMDEN, NJ 08101

3

L. Stephenson

[Signature]

AUTHORIZED SIGNATURE

SIGNATURE HAS A BLUE-GREEN BACKGROUNDED BORDER CONTAINS MICROPRINTING: MP

⑈4000494075⑈ ⑆031100225⑆ 2079950016490⑈

EX95 - EXN1 289P - 000125 - 001 OF 001



Public Service Electric and Gas Company
P.O. Box 1868
Newark NJ 07101

Further Inquiry call:
973-430-5440

4000494046

Page 1 of 1

DATE 10/08/2024



Vendor No. 118029 CITY OF CAMDEN

Invoice Date	Description	Document No.	PO Number	Gross Amount	Discount	Net Amount
10/04/2024	HWC Glory Stover 101901523	1300012901		1,204.41	.00	1,204.41
Total:				1,204.41	.00	1,204.41

FOR SECURITY PURPOSES, THE BACK OF THIS DOCUMENT CONTAINS AN ARTIFICIAL WATERMARK



Public Service Electric and Gas Company
P.O. Box 1868
Newark NJ 07101

Wachovia Bank N.A.

4000494046
62-22/311

DATE
10/08/2024

NET AMOUNT
\$ 1,204.41

PAY EXACTLY One Thousand Two Hundred Four And 41/100 Dollars

TO THE ORDER OF CITY OF CAMDEN
DEPT OF DEVELOPMENT AND PLANNING
520 MARKET STREET, ROOM 224
CAMDEN, NJ 08101

L. Stephenson

[Signature]

AUTHORIZED SIGNATURE

SIGNATURE HAS A BLUE-GREEN BACKGROUND. BORDER CONTAINS MICROPRINTING MP

⑈4000494046⑈ ⑆031100225⑆ 2079950016490⑈

HOLD TO LIGHT TO VIEW TIME WATERMARK MARKER. HEAT SENSITIVE RED INK LOGO DISAPPEARS WHEN HEATED.

101901547

Bank of America



PSE&G DELIVERY, PROJECT & CONSTRUCTION - L & P

4000 HADLEY RD
SOUTH PLAINFIELD, NJ 07080

55-33/212

11/5/2024

PAY TO THE
ORDER OF City Of Camden

\$ **87.30

Eighty-Seven and 30/100*****

DOLLARS

520 Market Street
City Hall Room 403
Camden, NJ 08101



David A. [Signature]
AUTHORIZED SIGNATURE

MEMO

Locust St Breaker Station Zoning Permit Application

⑈ 10 190 1547 ⑈ ⑆ 02 1 200339⑆ 38 103 28 28 306 ⑈

PSE&G DELIVERY, PROJECT & CONSTRUCTION - L & P

101901547

PSE&G DELIVERY, PROJECT & CONSTRUCTION - L & P

101901547



Request for Taxpayer Identification Number and Certification

Go to www.irs.gov/FormW9 for instructions and the latest information.

**Give form to the
requester. Do not
send to the IRS.**

Before you begin. For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

Print or type. See Specific Instructions on page 3.	1 Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.) Public Service Electric and Gas Company (PSE&G)		
	2 Business name/disregarded entity name, if different from above.		
	3a Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only one of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor <input checked="" type="checkbox"/> C corporation <input type="checkbox"/> S corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input type="checkbox"/> LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) _____ Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions) _____		
	3b If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions <input type="checkbox"/>		
	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from Foreign Account Tax Compliance Act (FATCA) reporting code (if any) _____ <i>(Applies to accounts maintained outside the United States.)</i>		
	5 Address (number, street, and apt. or suite no.). See instructions. 4000 Hadley Road, Mail Code 430	Requester's name and address (optional) Kathy Hering, PSE&G, Permitting Specialist IV 4000 Hadley Road, Mail Code 430 South Plainfield, NJ 07080	
	6 City, state, and ZIP code South Plainfield, NJ 07080		
7 List account number(s) here (optional)			

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Social security number									
or									
Employer identification number									
2	2	-	1	2	1	2	8	0	0

Note: If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person		Date	11/15/2024
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

What's New

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they

PLEASE READ

ASSESSMENT CERTIFICATION

Section A: Applicant shall complete

SECTION A

OWNER

Name of OWNER of Property Public Service Electric & Gas Company (PSE&G)

Address: 4000 Hadley Road, South Plainfield, NJ 07080

SEARCH Address: 900 Locust Street, City of Camden

Block: 237 Lot: 55 Account: 3693

Section B: Applicant shall take this form to the City of Camden Tax Office, Room 117 (1st floor) for completion to indicate whether taxes are paid up to date. Applicant must also go to the PNC Bank (Broadway & Market St) for water and sewer to make sure water/sewer is paid up to date.

Upon completion, this form shall be submitted with original application. **NO APPLICATIONS WILL BE ACCEPTED -if any money is owed for Taxes or Water/Sewer, no permit can be issued until accounts are paid in full-proof of payment must be brought back before turning application in.**

Section C: TAX OFFICE & PNC BANK

An application for Zoning/Sign permit has been submitted to the Division of Planning. Please check your records to be certain that the account is current

I HEREBY CERTIFY THAT THE PROPERTY ASSESSMENT ARE:

Account Type	Qtr.	Due date	Amount Owed	Other
(Taxes/W&S/Other)	_____	_____	<u>-0-</u>	<u>Am 107.24</u>
(Taxes/W&S/Other)	_____	_____	_____	_____
(Taxes/W&S/Other)	_____	_____	_____	_____
(Taxes/W&S/Other)	_____	_____	_____	_____

COMMENTS: _____

DATED: _____

PREPARED BY: _____

PLEASE READ

ASSESSMENT CERTIFICATION

Section A: Applicant shall complete

SECTION A

OWNER

Name of OWNER of Property Public Service Electric & Gas Company (PSE&G)

Address: 4000 Hadley Road, South Plainfield, NJ 07080

SEARCH Address: 942 Locust Street, City of Camden

Block: 243 Lot: 1 Account: 3783

Section B: Applicant shall take this form to the City of Camden Tax Office, Room 117 (1st floor) for completion to indicate whether taxes are paid up to date. Applicant must also go to the PNC Bank (Broadway & Market St) for water and sewer to make sure water/sewer is paid up to date.

Upon completion, this form shall be submitted with original application. **NO APPLICATIONS WILL BE ACCEPTED –if any money is owed for Taxes or Water/Sewer, no permit can be issued until accounts are paid in full-proof of payment must be brought back before turning application in.**

Section C: TAX OFFICE & PNC BANK

An application for Zoning/Sign permit has been submitted to the Division of Planning. Please check your records to be certain that the account is current

I HEREBY CERTIFY THAT THE PROPERTY ASSESSMENT ARE:

Account Type	Qtr.	Due date	Amount Owed	Other
<u>(Taxes/W&S/Other)</u>	_____	_____	<u>0 -</u>	<u>Am 10.1.24</u>
(Taxes/W&S/Other)	_____	_____	_____	_____
(Taxes/W&S/Other)	_____	_____	_____	_____
(Taxes/W&S/Other)	_____	_____	_____	_____

COMMENTS: _____

DATED: _____

PREPARED BY: _____

PLEASE READ

ASSESSMENT CERTIFICATION

Section A: Applicant shall complete

SECTION A OWNER

Name of OWNER of Property Public Service Electric & Gas Company (PSE&G)

Address: 4000 Hadley Road, South Plainfield, NJ 07080

SEARCH Address: 900 Locust Street, City of Camden

Block: 237

Lot: 55

Account: 3693

Section B: Applicant shall take this form to the City of Camden Tax Office, Room 117 (1st floor) for completion to indicate whether taxes are paid up to date. Applicant must also go to the PNC Bank (Broadway & Market St) for water and sewer to make sure water/sewer is paid up to date.

Upon completion, this form shall be submitted with original application. **NO APPLICATIONS WILL BE ACCEPTED -if any money is owed for Taxes or Water/Sewer, no permit can be issued until accounts are paid in full-proof of payment must be brought back before turning application in.**

Section C: TAX OFFICE & PNC BANK

An application for Zoning/Sign permit has been submitted to the Division of Planning. Please check your records to be certain that the account is current

I HEREBY CERTIFY THAT THE PROPERTY ASSESSMENT ARE:

Account Type	Qty	Due date	Amount Owed	Other
(Taxes/W&S/Other)	City of Camden Water Camden Office		0-	AM 10724
(Taxes/W&S/Other)	Date	10/18/24	zero balance	10/18/24
(Taxes/W&S/Other)	Rep	gc		
(Taxes/W&S/Other)				
(Taxes/W&S/Other)				

COMMENTS: _____

DATED: _____

PREPARED BY: _____

PLEASE READ

ASSESSMENT CERTIFICATION

Section A: Applicant shall complete

SECTION A

OWNER

Name of OWNER of Property Public Service Electric & Gas Company (PSE&G)

Address: 4000 Hadley Road, South Plainfield, NJ 07080

SEARCH Address: 942 Locust Street, City of Camden

Block: 243

Lot: 1

Account: 3783

Section B: Applicant shall take this form to the City of Camden Tax Office, Room 117 (1st floor) for completion to indicate whether taxes are paid up to date. Applicant must also go to the PNC Bank (Broadway & Market St) for water and sewer to make sure water/sewer is paid up to date.

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Section C: TAX OFFICE & PNC BANK

An application for Zoning/Sign permit has been submitted to the Division of Planning. Please check your records to be certain that the account is current

I HEREBY CERTIFY THAT THE PROPERTY ASSESSMENT ARE:

Account Type	Qtr.	Due date	Amount Owed	Other
(Taxes/W&S/Other)	_____	_____	<u>0-</u>	<u>Am 10.1.24</u>
(Taxes/W&S/Other)	_____	<u>Not billing</u>	<u>qe</u>	<u>10/8/24</u>
(Taxes/W&S/Other)	_____	_____	_____	_____
(Taxes/W&S/Other)	_____	_____	_____	_____

COMMENTS: _____

DATED: _____

PREPARED BY: _____

ESCROW DEPOSIT AGREEMENT BETWEEN THE CITY OF CAMDEN AND

DEPOSITOR Public Service Electric & Gas Company (PSE&G)

Address 4000 Hadley Road

South Plainfield, NJ 07080

c/o Kathy Hering, PSE&G Permitting Specialist IV

Telephone No. 732-804-5478

Check No. 40000494075
40000494046

Two thousand, four hundred, eight and 82/100 dollars

Depositor herewith deposits the sum of One thousand, two hundred, four and 41/100 dollars

dollars (\$ ^{2,408.82}_{1,204.41}) with the City of Camden in accordance with an subject to the provisions of the City of Camden Ordinance No. MC-2304, being incorporated by reference and made a part hereof, and agrees to the following:

1. Depositor's payment of said deposit is made in connection with an application for:
Preliminary and Final Site Plan application for the construction of the Locust Street Breaker
Station and expansion of existing Locust Street Substation

At (provide address with block and lot number): 900 Locust Street; Block 243, Lot 1
942 Locust Street; Block 237, Lot 55

2. The Treasure of the City of Camden shall be authorized to disburse to the City Engineer from the funds deposited, those fees required to be paid for the technical and professional review by the Zoning Board of Adjustment and/or Planning Board pursuant to the terms of Ordinance MC-2304.
3. All fees shall be disbursed upon reconciliation of the Engineer & Insurance Escrow Accounts by Ordinance MC-2304.
4. If there are insufficient funds in the depositor's escrow account to pay all pending bill attribute to the aforementioned project, depositor shall be notified by the appropriate agency and requested to make an additional deposit into the escrow account.
5. Depositor understands that if he/she fails to make any additional deposit required, depositor's application shall be denied.
6. Any additional deposits shall be made to the Treasure, City of Camden, by way of the Division of Planning, in accordance with the terms set forth herein unless otherwise agreed to by the depositor and the approving agency.
7. The City of Camden shall not be required to pay interest on any sums held pursuant to this agreement.

IN WITNESS WHEREOF the undersigned hereby accepts the terms and conditions of this agreement.

11/15/2024

DATE:

Katherine L. Hering
Applicant or Authorized Signature

CERTIFICATE OF OWNERSHIP

AS REQUIRED BY THE MUNICIPAL LAND USE LAW N.J.S.A. 40:55d-48.1

1. Public Service Electric and Gas Company is a wholly owned subsidiary of Public Service Enterprise Group Incorporated, with its principal office located at 80 Park Plaza, Newark, NJ 07102
2. PSEG Power LLC is a wholly owned subsidiary of Public Service Enterprise Group Incorporated, with its principal office located at 80 Park Plaza, Newark, NJ 07102.
3. Listed below are the names and addresses of all owners of ten percent (10%) or more of the common stock issued by Public Service Enterprise Group Incorporated or of any class of preferred stock issued by Public Service Electric and Gas Company or PSEG Power LLC:

Name

Address

Vanguard Group, Inc.

100 Vanguard Boulevard, Malvern, PA 19355

BlackRock, Inc.

50 Hudson Yards, New York, NY 10001



BY:

Robert Pollock, Director Environmental Projects & Permitting
Public Service Electric and Gas Company
4000 Hadley Road
South Plainfield, New Jersey 07080



CITY OF CAMDEN
OFFICE OF ASSESSMENTS
520 Market Street, Room 329
P.O. Box 95120
Camden, New Jersey 08101-5120
PHONE (856) 757-7017 FAX (856) 968-4721
assessor@ci.camden.nj.us

Abrina Carson, CTA
Tax Assessor

Victor Carstarphen
Mayor

MEMORANDUM

To: Applicant – 200' List
From: Camden City Assessor's Office
Date: June 14, 2024
Re: 200' Certified List
Block 237, Lot 55

Attached please find the Certified List of Property Owners within 200' of the above referenced property.

In order to comply with Chapter 245, P.L. 1991, notice of hearings shall be given to the public utility, cable television company, or local utility which possesses a right-of-way or easement within the municipality and which has registered with the municipality to receive notice. The following list includes the companies that serve the City of Camden:

CAMDEN COUNTY M.U.A.
1645 Ferry Avenue
Camden, NJ 08104

AMERICAN WATER
PO Box 52747
Phoenix, AZ 85072

PUBLIC SERVICE ELECTRIC & GAS
PO Box 790
Cranford, NJ 07016-0790

NEW JERSEY AMERICAN WATER
PO Box 578
Alton, IL 62002
(Servicing East Camden & Cramer Hill)

VERIZON
540 Broad Street
Newark, NJ 07101

COMCAST CABLEVISION
1250 Haddonfield-Berlin Road
Cherry Hill, NJ 08034-0404

The Certified List reflects the property ownership in the tax records as of June 14, 2024.

Be advised that this record may contain information governed by L. 2015, c. 226 and L. 2020, c. 125, which include civil and criminal penalties for improper disclosure.

Certified by:

/s/ Abrina Carson
Abrina Carson, CTA
Tax Assessor

OWNER & ADDRESS REPORT

CAMDEN CITY

06/14/24 Page 1 of 4

LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 237 LOT 55

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
224	2		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	208-214 RAMONA GONZALEZ S	
224	3		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	829 LOCUST ST	
224	8		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	839 LOCUST ST	
224	9		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	841 LOCUST ST	
224	10		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	843 LOCUST ST	
224	11		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	845 LOCUST ST	
224	12		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	847 LOCUST ST	
224	13		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	225 SPRUCE ST	
224	14		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	223 SPRUCE ST	
224	15		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	221 SPRUCE ST	
224	16		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	219 SPRUCE ST	
224	17		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	217 SPRUCE ST	
224	18		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	215 SPRUCE ST	
224	42		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	203 SPRUCE ST	43,44,45,46,47
232	26		4B	PUBLIC SERVICE ELECTRIC & GAS CO 80 PARK PLAZA, T6B NEWARK, NJ 07102	900 SO 2ND ST	
232	58		1	NEW JERSEY PROPERTIES, INC 80 PARK PLAZA, T-6 NEWARK, NJ 07102	SW LOCUST & SPRUCE STS	
235	1		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	SE RAMONA GONZALEZ/LOCUST	
235	15		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	268 RAMONA GONZALEZ ST	
235	16		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	270 RAMONA GONZALEZ ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

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LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 237 LOT 55

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
235	17		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	272-274 RAMONA GONZALEZ S	
235	21		15D	MACEDONIA A M E CHURCH 261-265 SPRUCE STREET CAMDEN, NJ 08103	849 SO 3RD ST	
235	25		15D	MACEDONIA A M E CHURCH 261-265 SPRUCE STREET CAMDEN, NJ 08103	265 SPRUCE ST	
235	27		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	263 SPRUCE ST	
235	37		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	235-237 SPRUCE ST	
235	45		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	848 LOCUST ST	
235	46		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	846 LOCUST ST	
235	47		15F	SOUTH JERSEY PORT CORPORATION 101 JOSEPH A BALZANO BLVD CAMDEN, NJ 08103	844 LOCUST ST	
235	49		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	836 LOCUST ST	
235	52		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	830 LOCUST ST	
235	112		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	276 RAMONA GONZALEZ ST	
235	118		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	255 SPRUCE ST	
237	55		4A	PUBLIC SERVICE ELECTRIC & GAS 80 PARK PLAZA, T-6 NEWARK, NJ 07102	900 LOCUST ST	
237	62		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	260-266 SPRUCE ST	
237	64		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	258 SPRUCE ST	
237	69		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	268 SPRUCE ST	
237	70		4A	FIRST UNITED DISPOSAL SERVICES, LLC 1211 COLLINGS AVENUE HADDON TOWNSHIP, NJ 08107	901-909 SO 3RD ST	
237	74		1	HARGROVE, ROBERT 114 AVONDALE AVENUE HADDONFIELD, NJ 08033	911 SO 3RD ST	
237	75		1	HARGROVE, ROBERT 114 AVONDALE AVENUE HADDONFIELD, NJ 08033	913 SO 3RD ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

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LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 237 LOT 55

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
237	76		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	915-917 SO 3RD ST	
237	77		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	919 SO 3RD ST	
237	78		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	267 CHERRY ST	
237	79		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	265 CHERRY ST	
237	80		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	263 CHERRY ST	
237	82		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	259-261 CHERRY ST	
237	84		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	257 CHERRY ST	
237	117		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	923 SO 3RD ST	
243	1		4A	PUBLIC SERVICE ELECTRIC & GAS CO 80 PARK PLAZA, MC T-6B NEWARK, NJ 07102	942 LOCUST ST	
243	2		4A	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	286-292 CHERRY ST	
243	4		2	LIPSCOMB, GINA 1238 DAYTON STREET CAMDEN, NJ 08104	925 SO 3RD ST	
243	5		2	MEDINA, VICTOR & HENAO, PAULA 1003 SOMERDALE RD VOORHEES, NJ 08043	927 SO 3RD ST	
243	6		2	REAL PORTFOLIO B, LLC 216 HADDON AVENUE, #503 HADDON TWP, NJ 08108	929 SO 3RD ST	
243	7		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	931 SO 3RD ST	
243	8		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	933 SO 3RD ST	
243	9		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	935 SO 3RD ST	
243	10		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	937 SO 3RD ST	
243	11		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	939 SO 3RD ST	
243	12		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	941 SO 3RD ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 237 LOT 55

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BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
243	13		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	943 SO 3RD ST	
243	14		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	945 SO 3RD ST	
243	16		2	MCNEIL, ALBERT ALEXANDER 283 WALNUT STREET CAMDEN, NJ 08103	283 WALNUT ST	
243	18		2	ANR INVESTMENTS, LLC PO BOX 1601 MOUNT LAUREL, NJ 08054	281 WALNUT ST	
243	19		2	CABA-VALDEZ, RAMON 336 SUMMIT STREET CAMDEN, NJ 08102	279 WALNUT ST	
243	20		2	TURNER, ANNA M 86 EARNSHAW LANE WILLINGBORO, NJ 08046	277 WALNUT ST	
243	21		1	ALBERTO, JOHN & ANGELINA 275 WALNUT STREET CAMDEN, NJ 08103	275 WALNUT ST	
243	72		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	947 SO 3RD ST	



CITY OF CAMDEN
OFFICE OF ASSESSMENTS
520 Market Street, Room 329
P.O. Box 95120
Camden, New Jersey 08101-5120
PHONE (856) 757-7017 FAX (856) 968-4721
assessor@ci.camden.nj.us

Abrina Carson, CTA
Tax Assessor

Victor Carstarphen
Mayor

MEMORANDUM

To: Applicant – 200' List
From: Camden City Assessor's Office
Date: June 14, 2024
Re: 200' Certified List
Block 243, Lot 1

Attached please find the Certified List of Property Owners within 200' of the above referenced property.

In order to comply with Chapter 245, P.L. 1991, notice of hearings shall be given to the public utility, cable television company, or local utility which possesses a right-of-way or easement within the municipality and which has registered with the municipality to receive notice. The following list includes the companies that serve the City of Camden:

CAMDEN COUNTY M.U.A.
1645 Ferry Avenue
Camden, NJ 08104

AMERICAN WATER
PO Box 52747
Phoenix, AZ 85072

PUBLIC SERVICE ELECTRIC & GAS
PO Box 790
Cranford, NJ 07016-0790

NEW JERSEY AMERICAN WATER
PO Box 578
Alton, IL 62002
(Servicing East Camden & Cramer Hill)

VERIZON
540 Broad Street
Newark, NJ 07101

COMCAST CABLEVISION
1250 Haddonfield-Berlin Road
Cherry Hill, NJ 08034-0404

The Certified List reflects the property ownership in the tax records as of June 14, 2024.

Be advised that this record may contain information governed by L. 2015, c. 226 and L. 2020, c. 125, which include civil and criminal penalties for improper disclosure.

Certified by:

/s/ Abrina Carson
Abrina Carson, CTA
Tax Assessor

OWNER & ADDRESS REPORT

CAMDEN CITY

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LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 243 LOT 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
232	26		4B	PUBLIC SERVICE ELECTRIC & GAS CO 80 PARK PLAZA, T6B NEWARK, NJ 07102	900 SO 2ND ST	
232	58		1	NEW JERSEY PROPERTIES, INC 80 PARK PLAZA, T-6 NEWARK, NJ 07102	SW LOCUST & SPRUCE STS	
237	55		4A	PUBLIC SERVICE ELECTRIC & GAS 80 PARK PLAZA, T-6 NEWARK, NJ 07102	900 LOCUST ST	
237	62		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	260-266 SPRUCE ST	
237	64		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	258 SPRUCE ST	
237	69		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	268 SPRUCE ST	
237	70		4A	FIRST UNITED DISPOSAL SERVICES, LLC 1211 COLLINGS AVENUE HADDON TOWNSHIP, NJ 08107	901-909 SO 3RD ST	
237	74		1	HARGROVE, ROBERT 114 AVONDALE AVENUE HADDONFIELD, NJ 08033	911 SO 3RD ST	
237	75		1	HARGROVE, ROBERT 114 AVONDALE AVENUE HADDONFIELD, NJ 08033	913 SO 3RD ST	
237	76		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	915-917 SO 3RD ST	
237	77		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	919 SO 3RD ST	
237	78		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	267 CHERRY ST	
237	79		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	265 CHERRY ST	
237	80		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	263 CHERRY ST	
237	82		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	259-261 CHERRY ST	
237	84		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	257 CHERRY ST	
237	117		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	923 SO 3RD ST	
239	107		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	920-922 SO 3RD ST	
239	108		1	BRIGHT STAR CHRISTIAN CENTER, INC 513 SPRUCE STREET CAMDEN, NJ 08103	918 SO 3RD ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

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LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 243 LOT 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
241	12		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	SW COR WALNUT & LOCUST ST	
243	1		4A	PUBLIC SERVICE ELECTRIC & GAS CO 80 PARK PLAZA, MC T-6B NEWARK, NJ 07102	942 LOCUST ST	
243	2		4A	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	286-292 CHERRY ST	
243	4		2	LIPSCOMB, GINA 1238 DAYTON STREET CAMDEN, NJ 08104	925 SO 3RD ST	
243	5		2	MEDINA, VICTOR & HENAO, PAULA 1003 SOMERDALE RD VOORHEES, NJ 08043	927 SO 3RD ST	
243	6		2	REAL PORTFOLIO 8, LLC 216 HADDON AVENUE, #503 HADDON TWP, NJ 08108	929 SO 3RD ST	
243	7		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	931 SO 3RD ST	
243	8		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	933 SO 3RD ST	
243	9		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	935 SO 3RD ST	
243	10		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	937 SO 3RD ST	
243	11		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	939 SO 3RD ST	
243	12		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	941 SO 3RD ST	
243	13		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	943 SO 3RD ST	
243	14		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	945 SO 3RD ST	
243	16		2	MCNEIL, ALBERT ALEXANDER 283 WALNUT STREET CAMDEN, NJ 08103	283 WALNUT ST	
243	18		2	ANR INVESTMENTS, LLC PO BOX 1601 MOUNT LAUREL, NJ 08054	281 WALNUT ST	
243	19		2	CABA-VALDEZ, RAMON 336 SUMMIT STREET CAMDEN, NJ 08102	279 WALNUT ST	
243	20		2	TURNER, ANNA M 86 EARNSHAW LANE WILLINGBORO, NJ 08046	277 WALNUT ST	
243	21		1	ALBERTO, JOHN & ANGELINA 275 WALNUT STREET CAMDEN, NJ 08103	275 WALNUT ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

06/14/24 Page 3 of 5

LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 243 LOT 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
243	72		1	1475 HADDON AVENUE, LLC PO BOX 445 CAMDEN, NJ 08101	947 SO 3RD ST	
243	73		1	MORINI, ANNA M & SISTINA 120 HICKSTOWN ROAD SICKLERVILLE, NJ 08081	949 SO 3RD ST	
243	74		2	ANR II INVESTMENTS, LLC PO BOX 1601 MOUNT LAUREL, NJ 08054	951 SO 3RD ST	
244	1		1	L G ENTERPRISES, INC 932 SO 3RD STREET CAMDEN, NJ 08103	SE 3RD & CHERRY STS	
244	2		1	L G ENTERPRISES, INC 932 SO 3RD STREET CAMDEN, NJ 08103	932-934 SO 3RD ST	
244	50		1	VELEZ, NELSON 313 WALNUT STREET CAMDEN, NJ 08103	NE 3RD & WALNUT STS	
245	27		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	244 WALNUT ST	
245	28		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	246 WALNUT ST	
245	29		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	248 WALNUT ST	
245	30		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	250 WALNUT ST	
245	31		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	252 WALNUT ST	
245	32		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	254 WALNUT ST	
245	33		15C	CAMDEN REDEVELOPMENT AGENCY 520 MARKET ST, 13TH FL CAMDEN, NJ 08102	256 WALNUT ST	
245	34		15C	CAMDEN REDEVELOPMENT AGENCY 520 MARKET ST, 13TH FL CAMDEN, NJ 08102	258 WALNUT ST	
245	35		2	GOD'S ILLUSIONS 260 WALNUT STREET CAMDEN, NJ 08103	260 WALNUT ST	
245	36		2	SCOTT, DAVID & DAISY - EST OF 262 WALNUT STREET CAMDEN, NJ 08103	262 WALNUT ST	
245	37		2	ANDERSON, EDWARD 316 CARLTON AVENUE HILLVILLE, NJ 08332	264 WALNUT ST	
245	38		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	266 WALNUT ST	
245	39		1	DOTO, JOHN & GRACE 115 E PALMER AVENUE COLLINGSWOOD, NJ 08108	268 WALNUT ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

06/14/24 Page 4 of 5

LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 243 LOT 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
245	40		2	FRONTANEZ, MARIA 270 WALNUT STREET CAMDEN, NJ 08103	270 WALNUT ST	
245	41		1	THOMAS, SHEENA 272 WALNUT STREET CAMDEN, NJ 08103	272 WALNUT ST	
245	42		2	DELYONS, LAWRENCE 274 WALNUT STREET CAMDEN, NJ 08103	274 WALNUT ST	
245	46		15A	CAMDEN BOARD OF EDUCATION 1033 CAMBRIDGE STREET CAMDEN, NJ 08105	SW 3RD & WALNUT STS	
245	49		1	CAMDEN LAND, LLC 50 WEST 47TH ST, #1101 NEW YORK, NY 10036	271 MT VERNON ST	
245	50		1	CAMDEN LAND, LLC 50 WEST 47TH ST, #1101 NEW YORK, NY 10036	267-269 MT VERNON ST	
245	51		2	DON LEY GROUP, LLC 6428 BROWNING ROAD PENNSAUKEN, NJ 08109	265 MT VERNON ST	
245	52		15C	CAMDEN CITY PO BOX 95120 CAMDEN, NJ 08101	263 MT VERNON ST	
245	53		1	RIVERA, JOSE SR 253 MT VERNON STREET CAMDEN, NJ 08103	261 MT VERNON ST	
245	54		1	RIVERA, JOSE SR 253 MT VERNON STREET CAMDEN, NJ 08103	259 MT VERNON ST	
245	55		1	RIVERA, JOSE SR 253 MT VERNON STREET CAMDEN, NJ 08103	257 MT VERNON ST	
245	56		2	RIVERA, JOSE SR 253 MT VERNON STREET CAMDEN, NJ 08103	253 MT VERNON ST	
245	57		2	BALLESTEROS, JOSSELIN 251 MOUNT VERNON STREET CAMDEN, NJ 08103	251 MT VERNON ST	
245	58		1	BERGEN SQ COMMUNITY DEV COALITION PO BOX 445 CAMDEN, NJ 08101	249 MT VERNON ST	
245	59		2	BROADWAY ASSOCIATES 2010, LLC 832 GERMANTOWN PIKE, #5 PLYMOUTH MEETING, PA 19462	247 MT VERNON ST	
245	60		2	GUERRERO, ABEL & SULIVERA, MARIA H 430 VISTA CT BRICK, NJ 08724	245 MT VERNON ST	
245	61		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	243 MT VERNON ST	
245	62		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	241 MT VERNON ST	
245	63		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	239 MT VERNON ST	

OWNER & ADDRESS REPORT

CAMDEN CITY

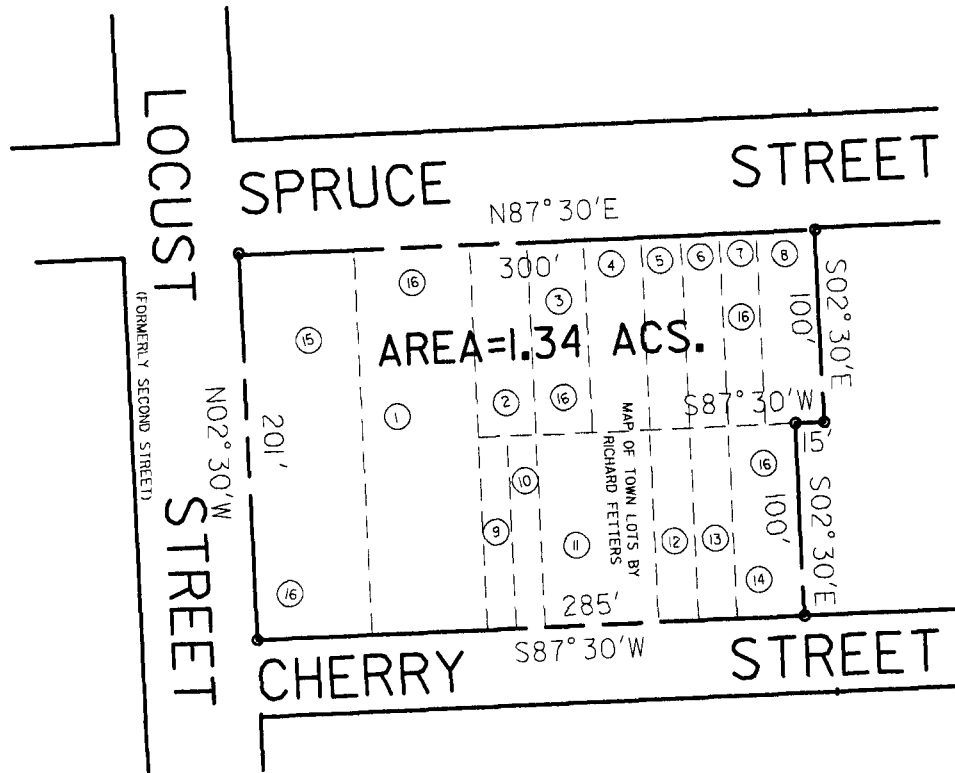
06/14/24 Page 5 of 5

LOCUST STREET SUBSTATION & BREAKER STATION
BLOCK 243 LOT 1

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
245	64		1	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1016 LOCUST ST	
245	65		1	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1014 LOCUST ST	
245	66		1	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1012 LOCUST ST	
245	67		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1010 LOCUST ST	
245	68		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1008 LOCUST ST	
245	69		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1006 LOCUST ST	
245	70		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1004 LOCUST ST	
245	71		4A	1054 ASSOCIATES 1054 SO 2ND STREET CAMDEN, NJ 08103	1002 LOCUST ST	
246	51		4A	UNIVERSAL KEY MANAGEMENT, LLC 2325 46TH STREET PENNSAUKEN, NJ 08110	302 WALNUT ST	

NO.	GRANTOR	GRANTEE	DATE	R.E.F.	REMARKS
1	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2045	
2	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2046	
3	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2047	
4	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2048	
5	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2049	
6	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2050	
7	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2051	
8	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2052	
9	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2053	
10	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2054	
11	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2055	
12	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2056	
13	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2057	
14	THE HOLLAND CO.	P.S.E. & G.CO.	10-21-1924	D-2058	
15	THE HOLLAND CO.	P.S.E. & G.CO.	12-1-1927	D-2342	
16	GAS DEPARTMENT.	ELECTRIC DEPARTMENT	3-25-1977	D-2045	

E



LOCUST STREET SUBSTATION
 MAP OF PROPERTY
 SITUATED IN THE
 CITY OF CAMDEN CAMDEN COUNTY, N.J.
 SCALE: 1" = 100' 11-6-1983



CAMDEN COUNTY, NJ
 CAMDEN COUNTY CLERK'S OFFICE
 VACATION-OR BOOK 11176/594
 RECORDED 07/24/2019 14:37:23
 FILE NUMBER 2019049724
 RCPT #: 2184816; RECD BY: RL15
 RECORDING FEES \$33.00
 MARGINAL NOTATION \$0.00
 TOTAL TAX \$0.00



**Camden County
 Document Summary Sheet**

CAMDEN COUNTY CLERK 520 MARKET ST CAMDEN NJ 08102	Return Name and Address Office of the Municipal Clerk City Hall, Room #105 Po Box 95120 Camden, NJ 08101
---	---

Official Use Only

Submitting Company	City of Camden
Document Date (mm/dd/yyyy)	6/11/19
Document Type	Street vacation Ordinance (MC-5203)
No. of Pages of the Original Signed Document (Including the cover sheet)	10 X
Consideration Amount (If applicable)	

	Name(s) <small>(Last Name First Name Middle Initial Suffix) (or Company Name as written)</small>	Address (Optional)
First Party <small>(Grantor or Mortgagor or Assignor)</small> <small>(Enter up to five names)</small>	PSE → G	

	Name(s) <small>(Last Name First Name Middle Initial Suffix) (or Company Name as written)</small>	Address (Optional)
Second Party <small>(Grantee or Mortgagee or Assignee)</small> <small>(Enter up to five names)</small>		

Parcel Information <small>(Enter up to three entries)</small>	Municipality	Block	Lot	Qualifier	Property Address

Reference Information <small>(Enter up to three entries)</small>	Book Type	Book	Beginning Page	Instrument No.	Recorded/File Date

***DO NOT REMOVE THIS PAGE.**

DOCUMENT SUMMARY SHEET (COVER SHEET) IS PART OF CAMDEN COUNTY FILING RECORD. RETAIN THIS PAGE FOR FUTURE REFERENCE.

2019049724

ORDINANCE MC- 5203
On Motion Of: Marilyn Torres
APPROVED: May 14th, 2019
ADOPTED: June 11th, 2019

0-7

MBS:dh
05-14-19

ORDINANCE AUTHORIZING THE VACATION OF CERTAIN PORTIONS OF CHERRY STREET BETWEEN BLOCK 237, LOT 55 AND BLOCK 243, LOT 1 FOR PUBLIC SERVICE ELECTRIC AND GAS ("PSE&G") AS MORE PARTICULARLY SET FORTH IN THE ATTACHED METES AND BOUNDS DESCRIPTIONS PURSUANT TO AND IN ACCORDANCE WITH N.J.S.A. 40:67-1, ET SEQ.

WHEREAS, PSE&G has requested to vacate portions of Cherry Street as more particularly set forth in the metes and bounds descriptions attached hereto as Exhibits "A," and "B;" and

WHEREAS, no reservations or objections have been made; and

WHEREAS, the matter has been referred to the City Engineer, who has recommended that the City proceed with the vacation; and

WHEREAS, it appears to the City that the public will not be adversely affected by the vacating of the public right in these areas; and

WHEREAS, the City is desirous of retaining a utility easement over the portions being vacated; now, therefore

BE IT ORDAINED, by the City Council of the City of Camden that:

SECTION 1. The rights of the public and the City of Camden in and to the portions of Cherry Street as more particularly set forth in the attached metes and bounds descriptions are hereby extinguished and vacated, with the exception of the retention of a maintenance and utility easement. The vacation shall comply with all conditions of the vacation approval that the applicant is responsible for as per the City Engineer. Please see Exhibit "A" for the detailed legal descriptions of the portions of Cherry Street being vacated.

SECTION 2. All municipal public utilities and cable television lines and facilities, if any, existing in, on or under the vacated streets as described in the legal descriptions shall remain the property of the City of Camden, applicable public utility or cable television company. The City of Camden expressly reserves an easement in, on or under those portions of the streets to be vacated. The party or parties, who become owners of the vacated streets under this ordinance, and their successors in title, shall not have the right to close, remove, relocate, erect any structure upon, or block access to any municipal or public utility or cable television lines or facilities existing in, on or under the vacated streets. They shall have the right to contract with the City of Camden or applicable public utility or cable television company to close, remove, relocate, detour or operate and maintain any such municipal public utility or cable television company lines and facilities. The party or parties who become owners of the vacated streets must maintain fire access to the vacated streets at all times.

SECTION 3. The street vacations are subject to the rights of the City of Camden and of public utilities to enter the vacated streets in a reasonable manner for the purpose of inspecting, maintaining, repairing, replacing, closing or removing any municipal public utility or cable television lines and/or facilities remaining in, on or under the vacated streets, unless the City of Camden or public utility or cable television company waives such right by contract or agreement under Section 2 above.

SECTION 4. The Municipal Clerk shall have this ordinance published once, not less than (10) days instead of one (1) week prior to the second reading.

SECTION 5. Any portion of this ordinance not herein amended and supplemented shall remain in full force and effect.

SECTION 6. All ordinances or parts of ordinances inconsistent with the provisions of this ordinance are hereby repealed as to such inconsistencies only.

SECTION 7. This ordinance shall take effect twenty (20) days after final passage and publication as provided by law.

SECTION 8. The Municipal Clerk shall, within sixty (60) days after this ordinance becomes effective, file a certified copy of this ordinance, together with a copy of the proof of publication, in the Office of the Camden County Clerk/Register of Deeds with instructions that

I, LUIS PASTORIZA, MUNICIPAL CLERK OF THE CITY OF CAMDEN, DO HEREBY CERTIFY that the foregoing is a true copy of an ordinance entitled "ORDINANCE AUTHORIZING THE VACATION OF CERTAIN PORTIONS OF CHERRY STREET BETWEEN BLOCK 237, LOT 55 AND BLOCK 243, LOT 1 FOR PUBLIC SERVICE ELECTRIC AND GAS (PSE&G) AS MORE PARTICULARLY SET FORTH IN THE ATTACHED METES AND BOUNDS DESCRIPTIONS PURSUANT TO AND IN ACCORDANCE WITH N.J.S.A. 40:67-1, ET SEQ." adopted by the Council of the City of Camden, New Jersey, the 11th day of June, 2019, as taken from and compared with the original now on file in my office.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed seal of the City of Camden, at this 10th day of July, 2019




Luis PastORIZA, Municipal Clerk

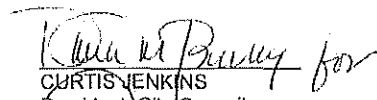
the certified copy of this ordinance be recorded and properly indexed in the street vacation book.


BE IT FURTHER ORDAINED, that pursuant to N.J.S.A. 52:27BBB-23 and N.J.S.A. 40:69A-41, a true copy of this Ordinance shall be forwarded to the Mayor, who shall have ten (10) days from the receipt thereof to approve or veto this ordinance. Additionally, pursuant to N.J.S.A. 52:27BBB-23, a true copy of this ordinance shall be forwarded to the State Commissioner of Community Affairs, who shall have ten (10) days from the receipt thereof to veto this ordinance, and the action by the Commissioner regarding this ordinance shall supersede any action by the Mayor on the same ordinance. All notices of approval and/or veto shall be filed in the Office of the Municipal Clerk.

Date of Introduction: May 14, 2019

The above has been reviewed
and approved as to form.


MICHELLE BANKS-SPEARMAN
City Attorney


CURTIS JENKINS
President, City Council


FRANCISCO MORAN
Mayor

ATTEST: 
LUIS PASTORIZA
Municipal Clerk

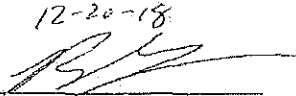
VACATION OF CHERRY STREET
TOWNSHIP OF CAMDEN, CAMDEN COUNTY, NJ

BEGINNING at a point in the easterly sideline of Locust Street (60' wide) where it intersects the southerly line of Cherry Street (40' wide), said point also being the northwesterly corner of lands of Public Service Electric and Gas Co. as described in Deed Book 9327, Page 6704, Tax Lot 1, Block 243 marked by an iron bar set, said point being 200.83' from the northerly line of Walnut Street (60' wide); said point also having New Jersey State Plane Coordinates (NAD1983) of North 401,454.33, East 316,618.51, from said **Beginning Point** running on the ground; thence

1. Along the new easterly sideline of Locust Street, N 04°35'52"W, a distance of 40.00 feet to a point in easterly sideline of Locust Street where it intersects the northerly line of Cherry Street, also being the southwesterly corner of lands of Public Service Electric and Gas Co., Tax Lot 55, Block 237; thence
2. Along the northerly line of Cherry Street, N85°24'08"E, a distance of 285.00 feet to a point in the same being the southeasterly corner of lands of Public Service Electric and Gas Co., Tax Lot 55, Block 237; thence
3. On a new line, through and across Cherry Street (40' wide), S04°35'52"E, a distance of 20.00 feet to a point in the same; thence
4. On a new line in the same, N85°24'08"E, a distance of 35.00 feet to a point in the same; thence
5. On a new line in the same, S04°35'52"E, a distance of 20.00 feet to a point in the southerly line of Cherry Street being the northeasterly corner of lands of Public Service Electric and Gas Co. as described in Deed Book 9327, Page 6704, Tax Lot 1, Block 243, being marked by an iron bar set; thence
6. Along the southerly line of Cherry Street, S85°24'08"W a distance of 320.00 feet to the **Point and Place of Beginning**.

Containing ± 0.278 acre (12,100 sq. ft.) of land.

THE HEREIN ABOVE description was prepared in accordance with a plan entitled "Exhibit, Cherry Street Vacation", Prepared by PSEG Services Corporation, Surveys & Mapping, Newark, NJ, and Dated December 7, 2018.

12-20-18

Brian S. Gregis
NJ Professional Land Surveyor
No. GS043298



Curtis Jenkins
President
Councilperson at Large

Sheila Davis
Councilperson at Large

Angel Escobar
Councilperson at Large



MUNICIPAL CLERK
CITY OF CAMDEN
NEW JERSEY

PO Box 95120
Room 105, City Hall
Camden, NJ 08109
Tele: (856) 757-7223 / Fax: (856) 757-7220
Email: clerk@ci.camden.nj.us Website: www.ci.camden.nj.us

Doris M. Burley
Vice-President
Councilperson, 1st Ward

Brian K. Coleman
Councilperson, 2nd Ward

Martha Torres
Councilperson, 3rd Ward

Fabiana Reyes-Morron
Councilperson, 4th Ward

Dennis G. Kille, Esq.
Council, Tax Council

Luis Pastoriza, B.M.C.
Municipal Clerk

MEMORANDUM

DATE: June 18, 2019
TO: Francisco "Frank" Moran, Mayor
FROM: Luis Pastoriza, Municipal Clerk
RE: Ordinance Final Passage - (MC-5203)

ORDINANCE AUTHORIZING THE VACATION OF CERTAIN PORTIONS OF CHERRY STREET BETWEEN BLOCK 237, LOT 55 AND BLOCK 243, LOT 1 FOR PUBLIC SERVICE ELECTRIC AND GAS (PSE&G) AS MORE PARTICULARLY SET FORTH IN THE ATTACHED METES AND BOUNDS DESCRIPTIONS PURSUANT TO AND IN ACCORDANCE WITH N.J.S.A. 40:67-1, ET SEQ.

In accordance with Rule XIX of the Administrative Code of the City of Camden (Rules of Procedure governing the City Council), I am delivering to you the attached ordinance adopted by City Council at a Regular meeting held on 6-11-19. Said article provides that "each ordinance shall be returned by the Mayor to the Municipal Clerk after the Mayor has affixed his /her signature thereto or after the expiration of ten (10) days from the date of its delivery to the Mayor in any event."

OFFICE OF THE MAYOR	
Received by: <u>Maria Coura</u>	Date: <u>6/18/19</u>
Date of Approval: _____	<u>6/20/19</u>

AFFIDAVIT OF PUBLICATION

Publisher's Fee \$124.08 Affidavit \$30.00

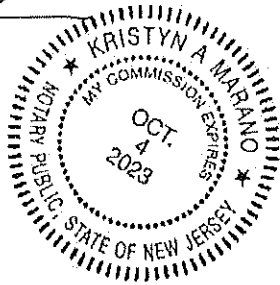
**State of New Jersey } SS.
Camden County**

Personally appeared *Diana Figueroa*

Of the **Courier Post**, a newspaper printed in Cherry Hill, New Jersey and published in Cherry Hill, in said County and State, and of general circulation in said county, who being duly sworn, depose and saith that the advertisement of which the annexed is a true copy, has been published in the said newspaper 1 times, once in each issue as follows:

05/28/19 A.D 2019

K. Marano
Notary Public of New Jersey



RECEIVED
2019 JUN - 6 A 10:18
MUNICIPAL CLERK OFFICE
CAMDEN, N.J.

Ad Number: 0003589481

CITY OF CAMDEN

The following ordinance was introduced and passed at first reading by the City Council of the City of Camden at a Regular meeting held on Tuesday, 5-14-19 and is before the City Council of the City of Camden for further consideration for final passage at a Regular meeting to be held on, 6-11-19 at 5:00 p.m. at City Council Chambers, City Hall, Camden NJ 08101

The purpose of the following ordinance is set forth in the whereas and/or ordained clauses contained within said ordinance, which are incorporated in this statement by reference thereto as if fully set forth herein. A copy of the ordinance can be obtained by the public without cost from the Municipal Clerk's Office, 520 Market Street City Hall, Room 105, Camden, NJ, during the City's regular business hours of 8:30 a.m. to 4:30 p.m., Monday thru Friday, except on City holidays.

Luis Pastoriza
Municipal Clerk
City of Camden

POC# 12052

MBS:dh
05-14-19

ORDINANCE AUTHORIZING THE VACATION OF CERTAIN PORTIONS OF CHERRY STREET BETWEEN BLOCK 237, LOT 55 AND BLOCK 243, LOT 1 FOR PUBLIC SERVICE ELECTRIC AND GAS ("PSE&G") AS MORE PARTICULARLY SET FORTH IN THE ATTACHED METES AND BOUNDS DESCRIPTIONS PURSUANT TO AND IN ACCORDANCE WITH N.J.S.A. 40:67-1, ET SEQ.

WHEREAS, PSE&G has requested to vacate portions of Cherry Street as more particularly set forth in the metes and bounds descriptions attached hereto as Exhibits "A," and "B;" and

WHEREAS, no reservations or objections have been made; and

WHEREAS, the matter has been referred to the City Engineer, who has recommended that the City proceed with the vacation; and

WHEREAS, it appears to the City that the public will not be adversely affected by the vacating of the public right in these areas; and

WHEREAS, the City is desirous of retaining a utility easement over the portions being vacated; now, therefore

BE IT ORDAINED, by the City Council of the City of Camden that:

SECTION 1. The rights of the public and the City of Camden in and to the portions of Cherry Street as more particularly set forth in the attached metes and bounds descriptions are hereby extinguished and vacated, with the exception of the retention of a maintenance and utility easement. The vacation shall comply with all conditions of the vacation approval that the applicant is responsible for as per the City Engineer. Please see Exhibit "A" for the detailed legal descriptions of the portions of Cherry Street being vacated.

SECTION 2. All municipal public utilities and cable television lines and facilities, if any, existing in, on or under the vacated streets as described in the legal descriptions shall remain the property of the City of Camden, applicable public utility or cable television company. The City of Camden expressly reserves an easement in, on or under those portions of the streets to be vacated. The party or parties, who become owners of the vacated streets under this ordinance, and their successors in title, shall not have the right to close, remove, relocate, erect any structure upon, or block access to any municipal or public utility or cable television lines or facilities existing in, on or under the vacated streets. They shall have the right to contract with the City of Camden or applicable public utility or cable television company to close, remove, relocate, detour or operate and maintain any such municipal public utility or cable television company lines and facilities. The party or parties who become owners of the vacated streets must maintain fire access to the vacated streets at all times.

SECTION 3. The street vacations are subject to the rights of the City of Camden and of public utilities to enter the vacated streets in a reasonable manner for the purpose of inspecting, maintaining, repairing, replacing, closing or removing any municipal public utility or cable television lines and/or facilities remaining in, on or under the vacated streets, unless the City of Camden or public utility or cable television company waives such right by contract or agreement under Section 2 above.

SECTION 4. The Municipal Clerk shall have this ordinance published once, not less than (10) days instead of one (1) week prior to the second reading.

SECTION 5. Any portion of this ordinance not herein amended and supplemented shall remain in full force and effect.

SECTION 6. All ordinances or parts of ordinances inconsistent with the provisions of this ordinance are hereby repealed as to such inconsistencies only.

SECTION 7. This ordinance shall take effect twenty (20) days after final passage and publication as provided by law.

SECTION 8. The Municipal Clerk shall, within sixty (60) days after this ordinance becomes effective, file a certified copy of this ordinance, together with a copy of the proof of publication, in the Office of the Camden County Clerk/Register of Deeds with instructions that the certified copy of this ordinance be recorded and properly indexed in the street vacation book.

BE IT FURTHER ORDAINED, that pursuant to N.J.S.A. 52:27BBB-23 and N.J.S.A. 40:69A-41, a true copy of this Ordinance shall be forwarded to the Mayor, who shall have ten (10) days from the receipt thereof to approve or veto this ordinance. Additionally, pursuant to N.J.S.A. 52:27BBB-23, a true copy of this ordinance shall be forwarded to the State Commissioner of Community Affairs, who shall have ten (10) days from the receipt thereof to veto this ordinance, and the action by the Commissioner regarding this ordinance shall supersede any action by the Mayor on the same ordinance. All notices of approval and/or veto shall be filed in the Office of the Municipal Clerk.

Date of Introduction: May 14, 2019

The above has been reviewed
and approved as to form.

MICHELLE BANKS-SPEARMAN
City Attorney

CURTIS JENKINS
President, City Council

FRANCISCO MORAN
Mayor

ATTEST: _____
LUIS PASTORIZA
Municipal Clerk
(124.08)

AFFIDAVIT OF PUBLICATION

Publisher's Fee \$19.36 Affidavit \$30.00

State of New Jersey } SS.

Camden County

Personally appeared *Syana Figueroa*

Of the **Courier Post**, a newspaper printed in Cherry Hill, New Jersey and published in Cherry Hill, in said County and State, and of general circulation in said county, who being duly sworn, depose and saith that the advertisement of which the annexed is a true copy, has been published in the said newspaper 1 times, once in each issue as follows:

06/22/19 A.D 2019

K. Marano
Notary Public of New Jersey

Ad Number: 0003642314



RECEIVED
2019 JUL -2 A 10:55
MUNICIPAL CLERK OFFICE
CAMDEN, N.J.

Ad Number: 0003642314

Run Dates: 06/22/19

CITY OF CAMDEN

NOTICE is hereby given that the following entitled ordinance was passed, after a public hearing and second reading, at a Regular meeting of the Council of the City of Camden on TUESDAY the 11th day of June 2019.

Luis Pastoriza
Municipal Clerk

Curtis Jenkins
President, City Council

Francisco "Frank" Moran
MAYOR

POC#12052

MC-5203

ORDINANCE AUTHORIZING THE VACATION OF CERTAIN PORTION:
OF CHERRY STREET BETWEEN BLOCK 237, LOT 55 AND BLOCK 24
LOT 1 FOR PUBLIC SERVICE ELECTRIC AND GAS ("PSE&G") AS MO
PARTICULARLY SET FORTH IN THE ATTACHED METES AND BOUND
DESCRIPTIONS PURSUANT TO AND IN ACCORDANCE WITH N.J.S./
40:67-1, ET SEQ.

(19.36)

0003642314-01

SAMUEL DENBO - THE HOLLAND COMPANY
COUNTY OF CAMDEN

2342

HOLLAND Co.

2342

Purged
12-29-77

April 28, 1977

Files: D-2045, D-2046, D-2047
D-2048, D-2049, D-2050
D-2051, D-2052, D-2053
D-2054, D-2055, D-2056
D-2057, D-2058, D-2342

To the General Manager - Electric
Transmission and Distribution

I am enclosing five prints showing outlined in yellow a
parcel of land situate between Spruce and Cherry Streets
on the east side of Locust Street in the City of Camden,
allocated by the Gas Department to the Electric Department.

R. B. Fitzsimmons
General Manager -
Real Estate

ENM:caa

Encs.

April 28, 1977

Files: D-2045, D-2046, D-2047,
D-2048, D-2049, D-2050,
D-2051, D-2052, D-2053,
D-2054, D-2055, D-2056,
D-2057, D-2058, D-2342

To the Vice President and Comptroller

ATTENTION: MR. C. BARTHOLOMAE
MANAGER - PLANT ACCOUNTING

I am enclosing five prints showing outlined in yellow a
parcel of land situate between Spruce and Cherry Streets
on the east side of Locust Street in the City of Camden,
allocated by the Gas Department to the Electric Department.

R. B. Fitzsimmons
General Manager -
Real Estate

ENM:caa

Encs.

April 28, 1977

Files: D-2045, D-2046, D-2047,
D-2048, D-2049, D-2050,
D-2051, D-2052, D-2053,
D-2054, D-2055, D-2056,
D-2057, D-2058, D-2342

To the Manager - Taxes & Insurance

I am enclosing five prints showing outlined in yellow a
parcel of land situate between Spruce and Cherry Streets
on the east side of Locust Street in the City of Camden,
allocated by the Gas Department to the Electric Department.

R. B. Fitzsimmons
General Manager -
Real Estate

ENM:caa

Encs.

April 28, 1977

Files: D-2045, D-2046, D-2047
D-2048, D-2049, D-2050
D-2051, D-2052, D-2053
D-2054, D-2055, D-2056
D-2057, D-2058, D-2342

To the General Manager - Gas
Transmission and Distribution

I am enclosing five prints showing outlined in yellow a
parcel of land situate between Spruce and Cherry Streets
on the east side of Locust Street in the City of Camden,
allocated by the Gas Department to the Electric Department.

R. B. Fitzsimmons
General Manager -
Real Estate

ENM:caa

Encs.

April 28, 1977

Files: D-2045, D-2046, D-2047
D-2048, D-2049, D-2050
D-2051, D-2052, D-2053
D-2054, D-2055, D-2056
D-2057, D-2058, D-2342

To the Engineer - Real Estate

Attached are the above numbered files which are affected by the allocation of lands from the Gas Department to Electric Department. Please mark your records accordingly.

E. W. Madejewski

ENH:caa

Attachments



Public Service Electric and Gas Company 80 Park Place Newark, N.J. 07101 Phone 201/822-7000

GENERAL MANAGER

1977 MAR 30 AM 10:10

REF: *WEM EMM*

March 25, 1977

FILE NO. _____

To the General Manager - Real Estate

REALLOCATION OF GAS DEPARTMENT PROPERTY
LOCUST STREET, CITY OF CAMDEN

- Asst To Mgr. _____
- Supr. _____
- Rep. _____
- Eng.
- Conv. _____
- Ch. Clk. _____
- Contl. _____
- File

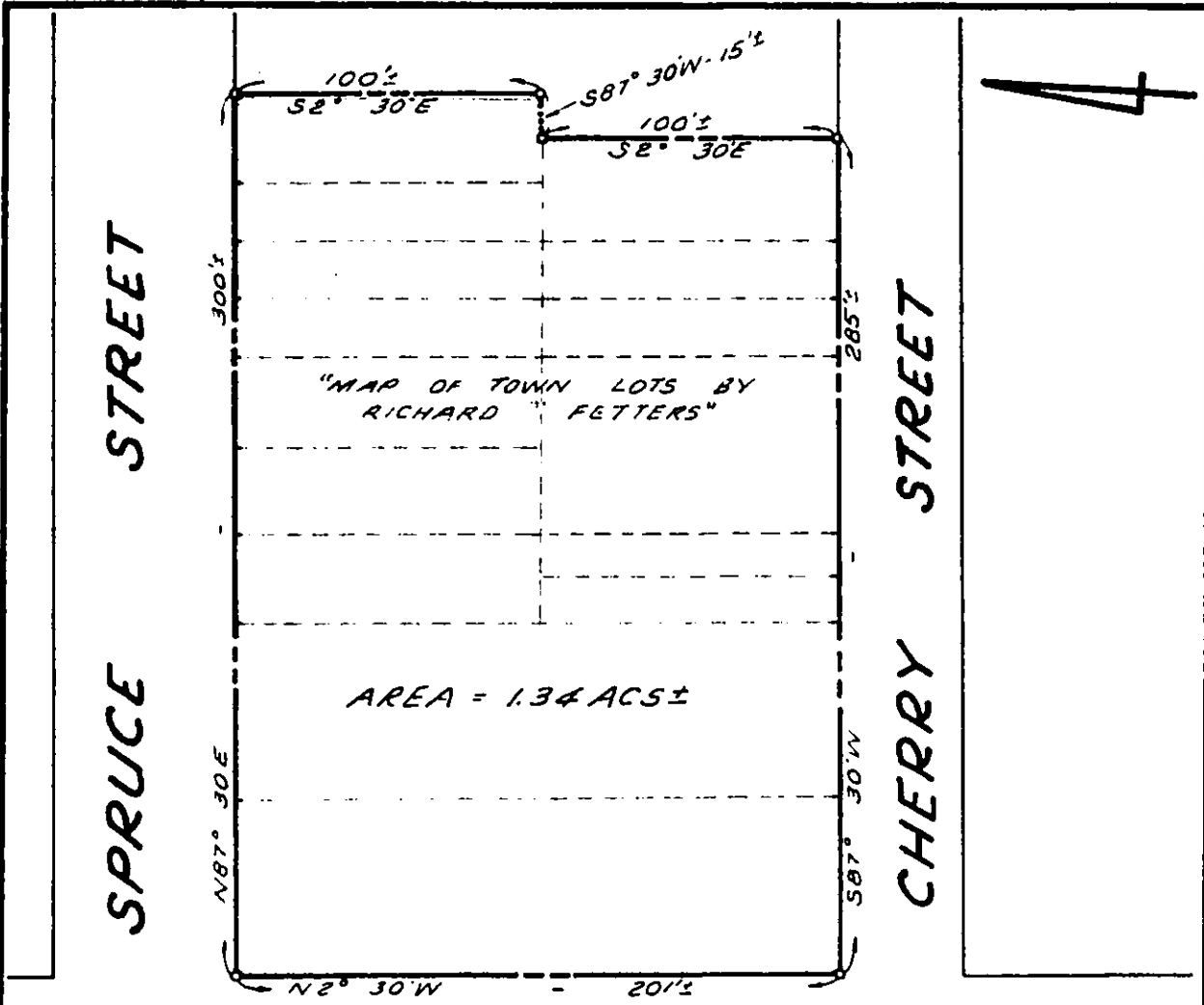
We have reviewed the tracing forwarded with your letter of March 21, 1977 relating to the transfer of property to the Electric Department. The tracing is approved and has been signed accordingly.

W. E. Mange
General Manager - Electric
Transmission and Distribution
By *C. S. Crow*

WPW:av

The Energy People


HAM.
CIRCLES
MA
CITY



LOCUST STREET
(FORMERLY SECOND STREET)

APPROVED
[Signature]
 GENERAL MANAGER
 GAS PRODUCTION

APPROVED
[Signature]
 GENERAL MANAGER
 ELECTRIC TRANSMISSION AND DISTRIBUTION

PUBLIC SERVICE ELECTRIC AND GAS COMPANY
 GAS DEPARTMENT
 MAP SHOWING
 LANDS TO BE ALLOCATED TO
 ELECTRIC DEPARTMENT
 SITUATED IN THE
CITY OF CAMDEN  **CAMDEN CO., N.J.**

REAL ESTATE DEPT. NEWARK, N.J.
 SCALE: 1" = 50' FEB. 15, 1977

7-383

March 21, 1977

Files: D-2045, D-2046, D-2047
D-2048, D-2049, D-2050
D-2051, D-2052, D-2053
D-2054, D-2055, D-2056
D-2057, D-2058, D-2342 ✓

To the General Manager - Electric
Transmission and Distribution

I am enclosing tracing covering the allocation to be made by
the Gas Department to the Electric Department of lands situate
between Spruce and Cherry Streets on the east side of Locust
Street in the City of Camden.

If the tracing meets with your approval, please have it signed
and return it to me.

R. B. Fitzsimmons
General Manager -
Real Estate

ENM:caa

Enc.

March 4, 1977

Files: D-2045, D-2046, D-2047
D-2048, D-2049, D-2050
D-2051, D-2052, D-2053
D-2054, D-2055, D-2056
D-2057, D-2058, D-2342

To the General Manager - Gas
Transmission and Distribution

I am enclosing tracing covering the allocation to be made by
the Gas Department to the Electric Department of lands situate
between Spruce and Cherry Streets on the east side of Locust
Street in the City of Camden.

From

If the tracing meets with your approval, please have it signed
and return it to me.

RBF
R. B. Fitzsimmons
General Manager -
Real Estate

ENM:caa

Enc.

COPY

February 24th, 1928.

Mr. Franklyn Haydecke,
General Auditor,

Dear Sir:

I am enclosing herewith for your information and files, copies of the following deeds:

Samuel Danbo and wife, to The Holland Company, dated April 14th, 1927.	900
John Ciccarelli and wife, to The Holland Company, dated March 30th, 1927	902
Francesco Rabino and wife, to The Holland Company, dated April 22nd, 1927.	904
Alfonso Diario and wife, to The Holland Company, dated April 11th, 1927.	906
Domenico Callante and wife, to The Holland Company, dated April 1st, 1927.	910
Louis Bantivoglio and wife, and others, to The Holland Company, dated April 1st, 1927.	908, 912 to 928
Domenico A. Loscalzo and wife, to The Holland Company, dated April 28th, 1927.	930-932
The Holland Company to Public Service Electric and Gas Company, dated December 1st, 1927.	900-932

The above deeds cover premises known as #900-932 Locust Street, Camden, N.J., a blue print of survey of the premises being also enclosed, which are to be used for an addition to the present Camden Gas Works property at the above location.

Yours very truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice-President.

TAN:ELN

Public Service Electric and Gas Company

GEORGE BARKER
VICE-PRESIDENT IN CHARGE OF
REAL ESTATE AND PURCHASES

H. K. FORD
REAL ESTATE ASSISTANT
TO THE VICE-PRESIDENT

PUBLIC SERVICE TERMINAL
80 PARK PLACE, NEWARK, N. J.

February 23rd, 1928.

Mr. Charles M. Breder,
Secretary

Dear Sir:

I am enclosing herewith, for your files, the following documents:

DEED from John Ciccarelli and wife to The Holland Company, dated March 30th, 1927.

DEED from Domenico Callante and wife to The Holland Company, dated April 1st, 1927.

DEED from Louis Bantivoglio and wife, to The Holland Company, dated April 1st, 1927.

DEED from Alfonso Diario and wife, to The Holland Company, dated April 11th, 1927.

DEED from Samuel Denbo and wife, to The Holland Company, dated April 14th, 1927.

DEED from Francesco Rubino and wife to The Holland Company, dated April 22nd, 1927

DEED from Domenico A. Loscalzo, and wife, to The Holland Company, dated April 28th, 1927.

DEED from The Holland Company to Public Service Electric and Gas Company, dated Dec. 1st, 1927.

WEST JERSEY TITLE AND GUARANTY COMPANY, Guaranty of Title No. 54280. *900 Record*

WEST JERSEY TITLE AND GUARANTY COMPANY, Guaranty of Title No. 54331. *900 Record*

WEST JERSEY TITLE AND GUARANTY COMPANY, Guaranty of Title #54567 *910 Record*

The above documents cover premises known as Nos. 900-932

OFFICE OF
SECRETARY

Received FEB 24 1928

Acknowledged

Referred to

Answered

156/45 G
RECORDED AND FILED UNDER

Newark, N.J.,
February 23rd, 1928.

Mr. Charles M. Breder,
Secretary,

#2.

Locust Street, Camden, N.J., purchased for use in connection
with the Camden Gas Works property at that location.

Yours very truly,

Harry K. Ford

(HARRY K. FORD)
Real Estate Assistant
to the Vice-president

TAH:WLH

156/459

COMPARED

FAH JCH

This Indenture, made this first day of December

in the year of our Lord one thousand nine hundred and twenty-seven
between THE HOLLAND COMPANY, a corporation of the State of New Jersey, of the first
part, and PUBLIC SERVICE ELECTRIC AND GAS COMPANY
also a corporation of said State, of the second part:

WITNESSETH, That the said party of the first part for a good and sufficient consideration to it thereunto moving, as well as the payment of One Dollar (\$1.00) lawful money of the United States of America by the said party of the second part to the said party of the first part paid, the receipt of which is hereby acknowledged, hath granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, enfeoff, release, convey, and confirm unto the said party of the second part, its successors and assigns:

Albeit certain tract or parcel of land and premises, hereinafter particularly described, lying and being in the City of Camden, County of Camden, and State of New Jersey

BEGINNING at the intersection of the easterly line of Locust Street with the southerly line of Spruce Street; and running thence (1) easterly along the said southerly line of Spruce Street sixty feet (60') to the westerly line of lands of Public Service Electric and Gas Company; thence (2) southerly along the said westerly line of lands of Public Service Electric and Gas Company, parallel with and sixty feet (60') east of the easterly line of Locust Street, two hundred one foot and twenty-two one-hundredths of a foot (201.22') to the northerly line of Cherry Street; thence (3) westerly along the said northerly line of Cherry Street sixty feet (60') to the easterly line of Locust Street; thence (4) northerly along the said easterly line of Locust Street two hundred one foot and fourteen one-hundredths of a foot (201.14') to the aforesaid southerly line of Spruce Street and the point and place of Beginning;

The above description being in accordance with a survey made by Joseph L. Grealy, Surveyor, June 23, 1927.

Said also known as Nos. 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930 and 932 Locust Street.

BEING the same premises conveyed to The Holland Company by seven (7) deeds, as follows:

One from Samuel Denbo, et ux, dated the fourteenth day of April, A. D., 1927

and recorded in the Register's Office of the County of Camden, N. J., on the
fourteenth day of April, A. D., 1927, in Book 653 of Deeds page 379, covers #900
Locust Street;

Another from John Ciccarelli, et ux, dated the thirtieth day of March, A. D.,
1927 and recorded in the Register's Office of the County of Camden, N. J., on the
first day of April, A. D., 1927 in Book 651 of Deeds, page 366 &c, covers #902
Locust Street;

Another from Francesco Rubino, et ux, dated the twenty-second day of April, A. D.,
1927 and recorded in the Register's Office of the County of Camden, N. J., on the
twenty-second day of April, A. D., 1927, in Book 656 of Deeds on page 162 &c, covers
#904 Locust Street;

Another from Alfonso Diario, et ux, dated the Eleventh day of April, A. D., 1927
and recorded in the Register's Office of the County of Camden, N. J., on the eleventh
day of April, A. D., 1927, in Book 651 of Deeds, page 440 &c, covers #906 Locust St.;

Another from Domenico Gallante, et ux, dated the first day of April, A. D., 1927
and recorded in the Register's Office of the County of Camden, N. J., on the first
day of April A. D., 1927, in Book 651 of Deeds, page 368 &c., covers #910 Locust
Street;

Another from Frank Bantivoglio, et ux, dated the first day of April, A. D., 1927
and recorded in the Register's Office of the County of Camden, N. J., on the first
day of April, A. D., 1927 in Book 651 of deeds page 369 &c, covers Nos. 908, 912,
914, 916, 918, 920, 922, 924, 926 and 928 Locust Street.

And the seventh from Domenico A. Loscalzo, et ux, dated the twenty-eighth day of
April, A. D., 1927, and recorded in the Register's Office of the County of Camden, N. J.
on the thirtieth day of April, A. D., 1927, in Book 656 of Deeds page 205 &c, covers
Nos. 930 and 932 Locust Street.

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof; AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity of the said party of the first part, of, in and to the said premises and every part thereof with the appurtenances.

TO HAVE AND TO HOLD the said premises above described and all and ~~singular~~^{singular} the hereditaments and appurtenances unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part, its successors and assigns forever.

AND the said party of the first part, for itself and its successors, doth by these presents covenant, grant and agree to and with the said party of the second part, its successors and assigns, that it, the said party of the first part and its successors, all and singular the hereditaments and appurtenances above described and granted or mentioned and intended so to be, with the appurtenances to the said party of the second part, its successors and assigns, and against it, the said party of the first part and its successors, and against all and every person or persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from, through or under it, them or any of them, shall and will warrant and forever defend.

In Witness Whereof, the said party of the first part hath hereunto set its corporate seal and caused these presents to be signed by its Vice-President and attested by its Secretary or Assistant Secretary; dated the day and year first above written.

THE HOLLAND COMPANY,

By

Vice-President.

Attest:

Secretary.

STATE OF NEW JERSEY }
COUNTY OF ESSEX } ss:

BE IT REMEMBERED that on this first day of December, in the year of our Lord one thousand nine hundred and twenty-seven, before me, a Notary Public of New Jersey, personally appeared GEORGE BARKER, who, I am satisfied is a Vice-President of THE HOLLAND COMPANY, the corporation in the foregoing deed or instrument named, and I having first made known to him the contents thereof, he acknowledged that he signed the same as such officer for and on behalf of said corporation, that the same was made by such corporation as its voluntary act and deed, and sealed with its corporate seal, by virtue of authority of its Board of Directors. All of which is hereby certified.

M. E. Shourds

Notary Public of New Jersey

(SEAL)

My Commission Expires May 11, 1928.

DEED
The Holland Company
to
Public Service Electric & Gas Co.

Dated:

RECEIVED in the Register's

Office of the County of Camden

on the 10th day of December

A. D., 19 27, at 8:30 o'clock, in the

fore noon and Recorded in Book

675 of DEEDS for said County,

on pages 33 &c

Joshua C. Holmes

RETURN TO: Register

HARRY K. FORD, REAL ESTATE ASST

PUBLIC SERVICE TERMINAL BUILDING

80 PARK PLACE, NEWARK, N. J.

THIS INSTRUMENT, made the twenty-eighth day of April, in the year of our Lord one thousand nine hundred and twenty-seven, between DOMENICO L. LOSCALZO and FILOMENA LOSCALZO, his wife, of the City and County of Camden, and State of New Jersey, parties of the first part, and THE HOLLAND COMPANY, a corporation of the second part:

WITNESSETH, that the said party of the first part, for and in consideration of the sum of One Dollar and other good and valuable consideration, lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the ensembling and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed, and by these presents do grant, bargain, sell, alien, enfeoff, release, convey and confirm, unto the said party of the second part, its successors and assigns,

ALL those certain tracts or parcels of land and premises herein-after particularly described, situate in the City and County of Camden, and State of New Jersey.

Tract No. 1. BEGINNING at the Northeast corner of Cherry and Locust Streets, thence (1) Eastward along the North line of Cherry Street, sixty feet to a corner; thence (2) Northward and parallel with Locust Street, ten feet to a point; thence (3) Westward and parallel with Cherry Street sixty feet to the East side of Locust Street; thence (4) Southward along the East line of Locust Street ten feet to the place of beginning.

Tract No. 2. BEGINNING on the East side of Locust Street, at a distance of ten feet North of the Northeast corner of Locust and Cherry Streets, thence (1) Eastward parallel with Cherry Street sixty feet to a corner; thence (2) Northward parallel with Locust Street, ten feet to a corner, thence (3) Westward, parallel with Cherry Street, sixty feet to the East Line of Locust Street, thence (4) Southward, along said East line ten feet to the place of beginning.

BEING premises known and designated as Nos. 930 and 932 Locust Street, Camden, New Jersey and the same premises which Samuel L. D. Barcklow and Eva B. Barcklow, his wife by deed dated January 19th, 1923, and of

record in the office of the REGISTER of DEEDS, Camden County, in Book 521 of Deeds, page 547 &c., granted and conveyed unto Domenico A. Loscalzo in fee.

TOGETHER with all and singular the improvements, woods, ways, rights liberties, privileges, hereditaments and appurtenances to the same belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof; AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described with all and singular the hereditaments and appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part, its successors and assigns forever.

AND the said party of the first part, for themselves, their heirs, executors, administrators and assigns, do by these presents covenant, grant and agree, to and with the said party of the second part, its successors and assigns, that they the said party of the first part, and their heirs and assigns, all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, its successors and assigns, against them the said party of the first part, and their heirs and assigns and against all and every person or persons whomsoever lawfully claiming or to claim the same or any part thereof, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals dated the day and year

first above written
Signed, sealed and delivered
in the presence of
Euseb Palese

Domenico A. Loscalzo (Seal)
Filomena (her mark) Loscalzo (Seal)
x

STATE OF NEW JERSEY)
 : ss.
COUNTY OF CAMDEN)

BE IT REMEMBERED, That on this 28th day of April in the year of our Lord one thousand nine hundred and twenty-seven before me, A Master in Chancery of New Jersey personally appeared Domenico A. Loscalzo and Filomena Loscalzo, his wife who, I am satisfied are the granters mentioned in the above deed or conveyance, and I having first made known to them the contents thereof they acknowledged that they signed sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

Rocco Palese

E. C. C. of N. J.

Received at Camden, N. J. April 30th, 1927 at 10:35 A. M. and recorded in Book No. 656 of DEEDS page 205 &c in the Office of the Register of Deeds, &c., of Camden County.

Joshua C. Haines

Register.

THIS INDENTURE, made the first day of April in the year of our Lord one thousand nine hundred and twenty-seven (1927).

BETWEEN LOUIS BANTIVOGLIO and THERESA, his wife, THOMAS BANTIVOGLIO and MARIE, his wife, FRANK BANTIVOGLIO and JOSEPHINE, his wife, and JOHN BANTIVOGLIO (single-man) all of the City and County of Camden and State of New Jersey, of the first part, and THE HOLLAND COMPANY, a corporation of the State of New Jersey, of the second part:

WITNESSETH, That the said party of the first part, for and in consideration of the sum of ONE DOLLAR, lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the ensealing and delivery of these presents, the receipt whereof is hereby acknowledged have granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed and by these presents do grant, bargain, sell, alien, enfeoff, release, convey and confirm, unto the said party of the second part, its successors and assigns, ALL those certain lots, tracts, or parcels of land and premises situate in the City and County of Camden and State of New Jersey, described as follows:

TRACT #1. BEGINNING at a point on the East side of Locust Street at the distance of 51 feet, $\frac{3}{4}$ of an inch, more or less South from the Southeast corner of Locust and Spruce Streets, said point being in the extended middle line of the party wall between premises Nos. 906 and 908 Locust Street, and running thence South along the East side of Locust Street, 12 feet, $\frac{1}{4}$ of an inch, more or less to a point in the extended middle line of the party wall between premises Nos. 908 and 910 Locust Street; thence East between parallel lines of that width or breadth, at right angles to Locust Street, the distance of 57 feet in length or depth to the West side of a three feet wide alley. Together with the free use and privilege in common with other owners bordering thereon of said alley forever. Being premises #908 Locust Street.

BEING the same premises which Lena Flamini, et vir., by deed dated August 2, 1926 and recorded in the Office of the Register of Deeds of Camden County in book 635 of Deeds, page 430, granted and conveyed unto the

said Louis Bantivoglio, Thomas Bantivoglio, Frank Bantivoglio and John Bantivoglio, in fee.

TRACT #2. BEGINNING at a point in the East line of Locust Street distant 75 feet South from the South line of Spruce Street, said point being in the middle line of party wall between premises Nos. 910 and 912 Locust Street; thence South in said East line of Locust Street, 105 feet to a point in the middle line of party wall between premises Nos 928 and 930 Locust Street; thence East along said middle line of party wall and extended middle line thereof, and parallel with Spruce Street 60 feet to corner; thence North and parallel with Locust Street, 105 feet to point in extended first mentioned middle line of party wall between premises Nos. 910 and 912 Locust Street; thence West along the middle line of party wall between premises Nos 910 and 912 Locust Street and extended middle line thereof, and parallel with Spruce Street, 60 feet to the place of beginning. Together with the free use and privilege in common with other owners bordering thereon of said alley forever. Being premises Nos. 912, 914, 916, 918, 920, 922, 924, 926, and 928 Locust Street.

BEING the same premises which Mayer Mackler, et ux., by deed dated September 4, 1923, and recorded in the Office of the Register of Deeds of Camden County in book 546 of Deeds, page 41, granted and conveyed unto the said Louis Bantivoglio, Thomas Bantivoglio, Frank Bantivoglio and John Bantivoglio, in fee.

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof; AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described, with all and singular the hereditaments and appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part its successors and

assigns forever.

AND the said party of the first part, for themselves, their heirs, do by these presents covenant, grant and agree, to and with the said party of the second part, its successors and assigns, that they the said party of the first part, and their heirs all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, its successors and assigns, against them the said party of the first part, and their heirs and against all and every person or persons whosoever lawfully claiming or to claim the same, or any part thereof, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals, dated the day and year first above written.

SIGNED, SEALED AND DELIVERED)	Louis Bantivoglio	(SEAL)
IN THE PRESENCE OF)	Theresa Bantivoglio	(SEAL)
Charles H. Stevens	Thomas Bantivoglio	(SEAL)
	Marie Bantivoglio	(SEAL)
	Frank Bantivoglio	(SEAL)
	Josephine Bantivoglio	(SEAL)
	John Bantivoglio	(SEAL)

STATE OF NEW JERSEY)
: ss.
COUNTY OF CALDEN)

BE IT REMEMBERED, That on this first day of April in the year of our Lord one thousand nine hundred and twenty-seven before me, An Attorney at Law of the State of New Jersey personally appeared Louis Bantivoglio and Theresa, his wife, Thomas Bantivoglio and Marie, his wife Frank Bantivoglio and Josephine, his wife, and John Bantivoglio, singleman, who, I am satisfied are the grantors mentioned in the above deed or conveyance, and I having first made known to them the contents thereof they acknowledged that they signed, sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

Charles H. Stevens.
Attorney at Law of New Jersey

Received at Camden, N. J. April 1st, 1927 at 3:25 P.M. and
Recorded in Book No. 651 of Deeds Page 369 & in the office of the
Register of Deeds, &c., of Camden County.

Joshua C. Haines

Register.

THIS INDENTURE, made the first day of April in the year of our Lord one thousand nine hundred and twenty-seven (1927).

BETWEEN DOMENICO GALLANTE AND SPERANZA GALLANTE, his wife, of the City and County of Camden and State of New Jersey, of the first part, and THE HOLLAND COMPANY, a corporation of the State of New Jersey, of the second part:

WITNESSETH, That the said party of the first part, for and in consideration of the sum of ONE DOLLAR, lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged have granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed and by these presents do grant, bargain, sell, alien, enfeoff, release, convey and confirm, unto the said party of the second part, its successors and assigns, ALL that certain tract or parcel of land and premises, situate in the City and County of Camden and State of New Jersey, bounded and described as follows:

BEGINNING at a point on the East side of Locust Street, at the distance of sixty-three feet and one inch, more or less South from the Southeast corner of Locust and Spruce Streets, said point being in the extended middle line of the party wall between premises Nos. 908 and 910 Locust Street, and running thence South along the East side of Locust Street, twelve feet more or less to a point in the extended middle line of the party wall between premises Nos. 910 and 912 Locust Street; thence East between parallel lines of that width or breadth at right angles to Locust Street, the distance of fifty-seven feet in length or depth to the West side of a three feet wide alley. Together with the free use and privilege in common with other owners bordering thereon of said alley forever. Being premises known as No. 910 Locust Street.

BEING the same premises which Giuseppe Di Marco and wife, by deed dated August 19, 1918, and recorded in the Office of the Register of Deeds of Camden County in book #432 of Deeds, page 397, granted and conveyed unto the said Domenico Gallante and wife, in fee

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof; AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described, with all and singular the hereditaments and appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part its successors and assigns forever.

AND the said party of the first part, for themselves, their heirs, do by these presents covenant, grant and agree, to and with the said party of the second part, its successors and assigns, that they the said party of the first part, and their heirs all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, its successors and assigns, against them the said party of the first part, and their heirs and against all and every person or persons whomsoever lawfully claiming or to claim the same, or any part thereof, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals, dated the day and year first above written.

SIGNED, SEALED AND DELIVERED)	<u>Domenico Gallante</u> (Seal)
IN THE PRESENCE OF)	<u>Domenico Gallante</u> (Seal)
H. K. Lafferty	her
	<u>Speranza (X) Gallante</u> (Seal)
	mark

STATE OF NEW JERSEY)
COUNTY OF CAMDEN) ss.

BE IT REMEMBERED, That on this first day of April in the year of our Lord one thousand nine hundred and twenty-seven before me, A Notary

Public of New Jersey personally appeared Domenico Gallante and Speranza Gallante, his wife, who I am satisfied are the grantors mentioned in the above deed or conveyance, and I having first made known to them the contents thereof they acknowledged that they signed, sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

H. K. Lafferty

A Notary Public of New Jersey

Received at CAMDEN, N. J. April 1st, 1927 at 3:25 P. M. and
Recorded in Book No. 651 of Deeds Page 368 &c in the Office of the Register
of Deeds, &c., of CAMDEN COUNTY.

Joshua C. Haines

Register

THIS INDENTURE, made the eleventh day of April in the year of our Lord one thousand nine hundred and twenty-seven (1927).

BETWEEN ALFONSO DIARIO and VINGENOZA, his wife, of the City and County of Camden and State of New Jersey, of the first part, and THE HOLLAND COMPANY, a corporation of the State of New Jersey, of the second part:

WITNESSETH, That the said party of the first part, for and in consideration of the sum of ONE DOLLAR AND OTHER VALUABLE CONSIDERATIONS, lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the ensembling and delivery of these presents, the receipt whereof is hereby acknowledged have granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed and by these presents do grant, bargain, sell, alien, enfeoff, release, convey and confirm, unto the said party of the second part, its successors and assigns, ALL that certain lot, tract, or parcel of land and premises, situate in the city and County of Camden and State of New Jersey, described as follows:

BEGINNING at a point in the East side of Locust Street, at the distance of 39 feet, $\frac{1}{4}$ of an inch South from the Southeast corner of Locust and Spruce Streets, which point is in extended middle line of party wall between premises Nos. 904 and 906 Locust Street; thence running South along the East side of Locust Street, 12 feet $\frac{1}{2}$ of an inch to a point in the extended middle line of party wall between premises Nos. 906 and 908 Locust Street; thence extending East, parallel with Spruce Street along said middle line of party wall 57 feet to the West line of a three feet wide alley; thence North along the West line of said alley, parallel with Locust Street, 12 feet $\frac{1}{2}$ of an inch to corner; thence West, parallel with Spruce Street through the middle of party wall, 57 feet to the East side of Locust Street and place of beginning. Being premises #906 Locust Street. Together with the free use and privilege in common with other owners bordering thereon of said alley forever.

BEING the same premises which the Kosciuszko Building & Loan Association, by deed dated March 17, 1926, and recorded in the Office of

the Register of Deeds of Camden County, in book 635 of Deeds, page 13, granted and conveyed unto the said Alfonso Diario, in fee.

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof; AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described, with all and singular the hereditaments and appurtenances unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part its successors and assigns forever,

AND the said party of the first part, for themselves, their do by these presents covenant, grant and agree, to and with the said party of the second part, its successors and assigns, that they the said party of the first part, and their heirs all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, its successors, and assigns, against them the said party of the first part, and their heirs and against all and every person or persons whomsoever lawfully claiming or to claim the same, or any part thereof, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals, dated the day and year first above written.

SIGNED, SEALED AND DELIVERED) Alfonso Diario (Seal)
in the presence of) Vincenza Diario (Seal)

Foster N. Parker

STATE OF NEW JERSEY)
) ss.
COUNTY OF CAMDEN)

BE IT REMEMBERED, that on this eleventh day of April in the year

of our Lord one thousand nine hundred and twenty-seven before me, An Attorney at Law of New Jersey, personally appeared Alfonso Diario and Vincenza, his wife, who, I am satisfied are the grantors mentioned in the above deed or conveyance, and I having first made known to them the contents thereof they acknowledged that they signed, sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

Charles H. Stevens

Attorney at Law of New Jersey

Received at CAMDEN, N. J. April 11th, 1927 at 3:55 P.M. and
Recorded in Book No. 651 of Deeds Page 440 &c in the Office of the Register of Deeds, &c., of CAMDEN COUNTY.

Joshua C. Haines

Register

THIS INDENTURE, made the 22nd day of April, in the year of our Lord one thousand nine hundred and twenty-seven (1927). BETWEEN FRANCESCO RUBINO AND BARTOLA RUBINO, his wife, of the City and County of Camden and State of New Jersey, of the first part, and THE HOLLAND COMPANY a corporation of the State of New Jersey, of the second part

WITNESSETH, That the said party of the first part, for and in consideration of the sum of One Dollar, lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the ensembling and delivery of these presents, the receipt whereof is hereby acknowledged have granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed and by these presents do grant, bargain, sell, alien, enfeoff, release, convey and confirm, unto the said party of the second part, its successors and assigns,

ALL that certain tract or parcel of land and premises, situated in the City and County of Camden and State of New Jersey, bounded and described as follows;

BEGINNING at a point on the East side of Locust Street at the distance of twenty-six feet eleven and three-quarter inches more or less South from the Southeast corner of Locust and Spruce Streets; said point being in the extended middle line of the party wall between premises Nos. 902 and 904 Locust Street; and running thence South along the East side of Locust Street, twelve feet and one-half inches more or less to a point in the extended middle line of the party wall between premises Nos. 904 and 906 Locust Street; thence East between parallel lines of that width or breadth at right angles to Locust Street, the distance of Fifty-seven feet in length or depth to the West side of a three feet wide alley. Together with the free use and privilege in common with other owners bordering thereon of said alley forever. Being premises #904 Locust Street.

BEING the same premises which Kosciusko B.&L. Association by deed dated October 25, 1916, and recorded in the Office of the Register of Deeds of Camden County in book 414 of Deeds, page 401, granted and con-

veyed unto the said Francesco Rabino, and wife, in fee.

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and of every part and parcel thereof; AND ALSO, all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described, with all and singular the hereditaments and appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part, its successors and assigns forever.

AND the said party of the first part, for themselves, their heirs do by these presents covenant, grant and agree, to and with the said party of the second part, its successors and assigns, that they the said party of the first part, and their heirs, all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, its successors and assigns, against them the said party of the first part, and their heirs and against all and every person or persons whomsoever lawfully claiming or to claim the same, or any part thereof, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals dated the day and year first above written.

Signed, Sealed and delivered)
in the presence of)

Herman Natal

his
Francesco x Rabino (Seal)
MARK

her
Bartola x Rabino (Seal)
MARK

STATE OF NEW JERSEY)
CAMDEN COUNTY)

BE IT REMEMBERED, That on this 22nd day of April, in the year of our Lord one thousand nine hundred and twenty-seven, before me, a Notary Public of New Jersey, personally appeared Francesco Rubino and Bartola Rubino, his wife, who, I am satisfied are the grantors mentioned in the above deed or conveyance, and I having first made known to them the contents thereof, they acknowledged that they signed, sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

Harry Frett,
Notary Public of New Jersey.

Received in the Register's Office of the County of Camden on April 22nd, 1927, at 3:56 P.M. and recorded in Book 655 of Deeds, page 162 &c.;

Joshua C. Haines,
Register.

THIS INDENTURE, made the Thirtieth day of March in the year of our Lord one thousand nine hundred and Twenty-seven.

BETWEEN JOHN CICCARELLI and MARY CICCARELLI, his wife, of the City and County of Camden and State of New Jersey, of the first part, and The Holland Company, A Corporation existing under and by virtue of the laws of the State of New Jersey, of the second part:

WITNESSETH, That the said party of the first part, for and in consideration of the sum of One Dollar and Other good and valuable consideration lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the ensenaling and delivery of these presents, the receipt whereof is hereby acknowledged have granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed and by these presents do grant, bargain, sell, alien, enfeoff, release, convey and confirm, unto the said party of the second part, itself, its successors and assigns, all That certain tract or parcel of land and premises, situate in the City and County of Camden and State of New Jersey, bounded and described as follows:-

BEGINNING IN the East line of Locust Street in the middle line of party wall between 900 and 902 Locust Street, 15 feet more or less South of Spruce Street; thence South along Locust Street to middle of party wall between 902 and 904 Locust Street, 12 feet more or less in front; thence East 57 feet to the West line of a 3 feet wide alley.

TOGETHER with the free and common use with others of said three feet wide alley.

BEING known as #902 Locust Street.

AND BEING the same land and premises which Gasparo Cifa et ux by indenture bearing date of the 24th day of February 1927 and of record in the office of the Register of Deeds of Camden County at Camden in Book No. of Deeds, Page ., granted and conveyed unto the said John Ciccarelli in fee.

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof; AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described, with all and singular the hereditaments and appurtenances, unto the said party of the second part, Itself, Its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part Itself, its successors and assigns forever.

AND the said party of the first part for themselves, their heirs do by these presents covenant, grant and agree, to and with the said party of the second part, Itself, Its successors and assigns, that They the said party of the first part, and their heirs all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, Its successors and assigns, against them the said party of the first part, and Their heirs and against all and every other person or persons whomsoever lawfully claiming or to claim the same, or any part thereof, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals dated the day and year first above written.

SIGNED, SEALED AND DELIVERED)	<u>John Ciccarelli</u>	(Seal)
IN THE PRESENCE OF :	<u>Mary Ciccarelli</u>	(Seal)
Nathan U. Yatz		

STATE OF NEW JERSEY)
) ss.
COUNTY OF CAMDEN)

BE IT REMEMBERED, That on this Thirtieth day of March in the year of our Lord one thousand nine hundred and Twenty-seven, before me, a Notary Public for and in the State of New Jersey, personally appeared John Ciccarelli and Mary Ciccarelli, his wife, who, I am satisfied are the grantors mentioned in the above deed or conveyance, and I having first made known to them the contents thereof they acknowledged that they signed, sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

Nathan U. Katz

Notary Public for New Jersey

Received at CAMDEN, N. J. April 1st, 1927 at 3:25 P.M. and
Recorded in Book No. 651 of Deeds Page 366 &c in the Office of the Register of Deeds, &c., of CAMDEN COUNTY.

Joshua C. Haines

Register

THIS INDENTURE, made the fourteenth day of April in the year of our Lord one thousand nine hundred and twenty-seven.

BETWEEN SAMUEL DENBO and ESTHER DENBO, his wife, of the City of Camden, County of Camden and State of New Jersey, of the first part, and THE HOLLAND COMPANY, a corporation under and by virtue of the laws of the State of New Jersey, of the second part:

WITNESSETH, That the said party of the first part, for and in consideration of the sum of ONE DOLLAR, and other good and valuable consideration lawful money of the United States of America, well and truly paid by the said party of the second part to the said party of the first part, at and before the ensembling and delivery of these presents, the receipt whereof is hereby acknowledged has granted, bargained, sold, aliened, enfeoffed, released, conveyed and confirmed and by these presents doth grant, bargain, sell alien, enfeoff, release, convey and confirm, unto the said party of the second part, its successors and assigns, ALL that certain tract or parcel of land and premises situate in the City of Camden, County of Camden and State of New Jersey, more particularly bounded and described as follows:

BEGINNING at the Southeast corner of Locust and Spruce Streets; thence South along the East line of Locust Street fifteen feet; thence East through the middle line of the party wall fifty-seven feet to the West line of a three feet wide alley; thence North fifteen feet to South line of Spruce Street; thence West fifty-seven feet along the South line of Spruce Street to the place of beginning.

BEING the same land and premises which Simon Goldberg and Jennie, his wife, by deed dated January 3, 1913 and recorded in the Register of Deeds Office of the County of Camden in Book 373 of Deeds, on page 212, granted and conveyed unto the said Samuel Denbo, in fee.

TOGETHER with all and singular the improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances to the same belonging or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues, and profits thereof, and of every part and parcel thereof;

AND ALSO all the estate, right, title, interest, property, possession, claim and demand whatsoever, both in law and equity, of the said party of the first part, of, in and to the said premises, and every part thereof, with the appurtenances:

TO HAVE AND TO HOLD the said premises above described, with all and singular the hereditaments and appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use benefit and behoof of the said party of the second part its successors and assigns forever.

AND the said party of the first part, for himself, his heirs and assigns, doth by these presents covenant, grant and agree, to and with the said party of the second part, its successors and assigns, that he the said party of the first part, and his heirs all and singular the hereditaments and premises above described and granted, or mentioned and intended so to be, with the appurtenances, unto the said party of the second part, its successors and assigns, against him the said party of the first part, and his heirs and assigns and against all and every other person or persons whomsoever lawfully claiming or to claim the same, or any part thereof, by, through, from or under, it, them or any of them, shall and will subject as aforesaid warrant and forever defend.

IN WITNESS WHEREOF, the said party of the first part to these presents hath hereunto set their hands and seals dated the day and year first above written.

SIGNED, SEALED AND DELIVERED)

Samuel Denbo

IN THE PRESENCE OF :

her

Esther X Denbo

mark

Elias E. Fulf

STATE OF NEW JERSEY,)

: ss.

County of Camden)

BE IT REMEMBERED, that on this fourteenth day of April, in the year of our Lord one thousand nine hundred and twenty-seven before me, An Attorney at Law of the State of New Jersey, personally appeared Samuel Denbo and Esther Denbo, his wife, who, I am satisfied, are the grantors mentioned in the above deed or conveyance, and I having first made known to them the contents thereof they acknowledged that they signed,

sealed and delivered the same as their voluntary act and deed. All of which is hereby certified.

Elfas E. Rulf

An Attorney at Law of New Jersey

Received at Camden, N. J. April 14, 1927, at 4:00 P.M. and recorded in Book No. 652 of Deeds Page 279 In the Office of the Register of Deeds, &c., of Camden County.

Joshua C. Haines

Register

George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephone: Bell 5770, Key. 35341

Geo. W. Jessup & Son
Real Estate and Insurance
Jessup Building, 531 & 533 Federal Street
Camden, N. J.

December 2, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

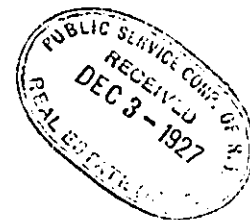
Dear Sir:-

I am enclosing a statement of all
rents received from properties Nos. 900 to
932 Locust St., Camden, N. J. from the
settlement dates up to the time they were
vacated.

Very truly yours,



Encls.
WWC/HES.



George W. Jessup & Son
Real Estate and Insurance Offices
Jessup Building
333 Federal Street, Camden, N. J.

\$3.10

Camden, N. J., April 22nd, 1927

Received from GEO. W. JESSUP & SON

Three

$\frac{10}{100}$ Dollars

District court costs on 216 Locust St., Camden, N. J.

E. W. Martin

Bell Phone 299
Keystone Phone 35341

George W. Jessup & Son

531-533 Federal St. and 530-532 Arch St.

Camden, N. J.
DEC 1 1927

PUBLIC SERVICE CORP
NEWARK N J
MR HARRY K FORD

The following is a statement of your account to date, which we will assume is correct, unless otherwise notified by you within the next ten days. Expressing our thanks for your continued patronage, we remain,

Respectfully yours,

GEORGE W. JESSUP & SON.

George W. Jessup

M. H. Chalmers

G. Carr Jessup

Real Estate
Conveyancing
Appraisements
Rents Collected
Mortgages Secured
Full Charge of Estates
Properties for Home or Investment

Insurance
Fire
Marine
Liability
Automobile
Employee Liability
Accident and Health

Date	No.	Street	Grant	Due	From	To	Rent Per Mo.	Charge	Credit	
4/11	928	LOCUST	EDW WHIPPER	APR 2	APR 2	MAY 2	20 00		20.00	
4/19	914	LOCUST	ROBERT COLLINS	APR 21	APR 21	MAY 21	18 00		18.00	
4/22	904	LOCUST	FRANCESCO RUBINO	APR 22	APR 22	MAY 22	10 00		10.00	
4/29	910	LOCUST	VENTURINO MELOGRANO	APR 25	APR 25	MAY 16	16 00		16.00	
Total Amount Received									64.00	
4/11	TO COMMISSION ON 20 00 @ 5%							1.00		
4/11	TO CHECK TO BALANCE THE ACCOUNT									
4/19	TO COMMISSION ON 18 00 @ 5%							.90		
4/22	TO COMMISSION ON 10 00 @ 5%							.50		
422	TO DISTRICT COURT SUMMONS ON 924 & 902 & 916 LOCUST STS @ 3 10 EACH							9.30		
4/29	TO COMMISSION ON 16 00 @ 5%							.80		
2/1	TO CHECK TO BALANCE THE ACCOUNT							5 15 00		
Total									64.00	

COPY

December 1st, 1927.

George W. Jessup & Son,
451 Federal Street,
Camden, N. J.

Mr. W. W. Chalmers

Dear Sir:

Will you kindly furnish me with a statement of the rents received by you in connection with the purchase of the properties Nos. 900 to 932 Locust Street, Camden.

You will remember at the time you forwarded to me the check for \$203.02, which was the balance of the adjustments received at the time of closing the various titles, you advised me you would hold the rents collected until such time as all the properties were vacated and make settlement at that time.

As this property is about to be conveyed by The Holland Company to Public Service Electric and Gas Company, it is important that we close out this matter as these accounts will have to be closed on the books of The Holland Company

Your immediate attention to this will greatly oblige

Yours very truly,

(HARRY K. POED)
Real Estate Assistant,
to the Vice-President

HKF:VLR

GEORGE W. JESSUP
COMMISSIONER OF DEEDS
G. CARR JESSUP
INDUSTRIALS
W. W. CHALMERS
INSURANCE

FULL CHARGE OF ESTATES
APPRAISERS OF REAL ESTATE
PHONE: 289

George W. Jessup & Son

Real Estate and Insurance

JESSUP BUILDING
531 AND 533 FEDERAL STREET
530 AND 532 ARCH STREET

CAMDEN, N. J. Sept. 15, 1927.

Mr. Harry K. Ford,
c/o Public Service Corp.,
Newark, New Jersey.

Dear Sir:-

Enclosed herewith you will please find the water bills for the balance of the Locust Street properties, which we have just received, and about which we wrote you recently.

Very truly yours,

GEO. W. JESSUP & SON

By *R. D. Costello*

Encls.

COPY

Newark, N. J. September 7th, 1927

Department of Revenue & Finance,
City Hall,
Camden, N. J.

Gentlemen:

We have been advised by George W. Jessup and Son of 531-533 Federal Street, Camden, N. J., that they have requested from you water bills for the year 1927 covering 900, 930 and 932 Locust Street, which were purchased by this company.

We also purchased at this location Nos. 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926 and 928 Locust Street, for which water bills have been forwarded to us by George W. Jessup and Son and I would appreciate it if you have not forwarded to them the bills covering 900, 930 and 932 that you send same to me so that we may pass same for payment.

Yours very truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

TAH/LEW

COPY

Newark, N. J. September 7th, 1927.

Mr. John A. Clark,

Vice President in Charge of Gas Operations.

Dear Sir:

I am enclosing herewith copy of letter received from the Water Department of the City of Camden, N. J. concerning the properties at No. 904 to 936 Locust Street, Camden, N. J. which are being torn down by the Gas Department and stating that the ferrules supplying water for the above properties will have to be bared by us and the Water Department notified so that they may draw same.

Will you kindly give this matter the necessary attention?

Yours very truly,

TAM/LBV
Enc.

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

COPY

WATER DEPARTMENT
OFFICE OF THE CHIEF CLERK
CITY HALL
CAMDEN, NEW JERSEY

September 24, 1927

Mr. George Barker,
80 Park Place,
Newark, N. J.

Dear Mr. Barker:

In regards to the propertys located at
904 to 936 Locust Street Camden, N. J. torn down by Public
Service Company.

The ferrules supplying water for the above
propertys will have to be bared by the Public Service Company
and this office notified, so we can draw same, as no dead
ferrules are allowed to remain in the street.

Hoping you will give this matter your
immediate attention.

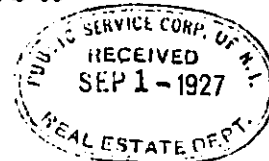
Very truly yours,
Frank F. Fulman.
Chief Clerk

GEORGE W. JESSUP
COMMISSIONER OF DEEDS
G. CARR JESSUP
INDUSTRIALS
W. W. CHALMERS
INSURANCE

FULL CHARGE OF ESTATES
APPRAISERS OF REAL ESTATE
PHONE: 289

George W. Jessup & Son

Real Estate and Insurance
JESSUP BUILDING
531 AND 533 FEDERAL STREET
530 AND 532 ARCH STREET



CAMDEN, N. J. Aug. 31st, 1927.

Mr. Harry K. Ford,
c/o Public Service Corporation,
Newark, New Jersey.

Dear Sir:-

Enclosed herewith please find water bills for properties Nos. 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926 and 928 Locust St. We have written to the City Water Dept. twice for bills covering properties Nos. 900, 930 and 932, but to date have not received same.

We thought it best to forward the ones which we have, in order that you might pay same on the date they become due.

Very truly yours,

GEO. W. JESSUP & SON

By *R. D. Costello*

Encls.

COPY

August 16th, 1927.

To the Vice-President in Charge of
Real Estate and Purchases:

Attention of Mr. A. R. Buckman.

We are demolishing the dwellings and corner
store situated on the property which we recently purchased
on Authorization #1503, lots #900 to #932.

If we have any insurance on these buildings,
the same should be cancelled promptly.

(Herbert H. Ferris)
General Manager - Gas Department.

COPY

July 20, 1927.

To the Vice President in Charge of Gas Operations:

I am returning herewith R&E #1838, in reference to the purchase of land on Locust Street, Camden, covering additional authorization of \$2,000., without my approval.

My records show that this property has been purchased, including the incidental charges of survey, search and guaranty, within the \$60,000 authorized, which is my reason for not approving the same.

The memorandum attached, showing the items which make up the \$2,000, in my judgment, seems to be operating expense, and not chargeable to the purchase of land.

Vice President in Charge of
Real Estate & Purchases

GB/D

COPY

Newark, N.J., July 11th, 1927.

Mr. John A. Clark,
Vice President in Charge of Gas Operations

Dear Sir;

In reference to the purchase of properties known as #902-902 Locust Street, in the City of Camden, I beg to advise that there was authorized for this purchase a total of \$60,000.00. There was expended for the purchase of properties \$59,545.00, and the charges for searches and surveys and guarantees amounted to \$590.75.

There were credit adjustments in our favor, these adjustments being for taxes and water rents, amounting to \$248.02. Therefore, there is left in this authorization \$112.27.

Certain rents have been collected from these properties during our ownership and if these are to be credited to the above authorization, the balance will be increased by the amount of these rents, which will approximate \$100.00

Yours very truly,

(HARRY E. FORD)
Real Estate Assistant
to the Vice President

HKF,WLE

COPY

Newark, N.J., July 11th, 1927.

Mr. John A. Clark,
Vice-President in Charge of Gas Operations,

Dear Sir:

Referring to your letter of July 8th, concerning premises #900-#902 Locust Street, Camden, I beg to advise that there is no objection from the Real Estate standpoint why these buildings should not be razed; these properties having been purchased and are now in the hands of the Operating Department and entirely within your province to dispose of them.

Will you please let me know when the actual wrecking starts so that Mr. Buckman may cancel the insurance on these buildings.

Yours very truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

HKF:WLE


Public Service Electric and Gas Company

Newark, N. J., July 8, 1927.

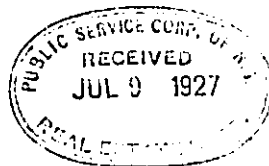
To the Vice President in Charge of
Real Estate and Purchases:

Recently we acquired a row of dilapidated brick buildings in Camden, located from 900 to 932 Locust Street. These buildings are now all vacated and, inasmuch as it is not economical to repair and re-rent them, I recommend that we tear them down and level off the site and enclose the area with a fence.

If this meets with your approval I will proceed with the work.


(John A. Clark)
Vice President in Charge of
Gas Operation.

JAC:S



COPY

Newark, N. J., July 7, 1927.

Mr. Allan R. Buckman,

Tax Assistant to the Vice President..

Dear Sir:

Supplementing my letter to you under date of May 28,
1927, I am enclosing, herewith, blue print of survey of the
premises Nos. 900 to 932 Locust Street, Camden, N. J.

Yours very truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

H.
Enc.

COPY

Newark, N. J., July 7, 1927.

Mr. John A. Clark,
Vice President in Charge of Gas Operation.

Dear Sir:

I am enclosing, herewith, blue print of survey of premises Nos. 900 to 932 Locust Street, Camden, N. J.

I would also advise, that in addition to the houses already vacated, George W. Jessup & Son advise me today that Nos. 914, 916, 922 and 928 Locust Street have now been vacated. This leaves the store at No. 900 Locust Street as the only one now occupied, and I am informed the tenant will vacate either Monday or Tuesday of next week.

Yours very truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

H.
RM.

George W. Jessup
G. Carr Jessup
Wm. Wm. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Key. 35341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. July 6, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

Dear Sir:

We are pleased to advise that properties Nos. 914, 916, 922 & 928 Locust Street have now been vacated. The only property now occupied is the store at No. 900 Locust Street, and that will be vacated not later than Tuesday of next week. This tenant purchased a corner property across the street and has now completed the alterations with the exception of shelves, which are being put in today. He desires to stay until after Saturdays business and we will write you again on Monday or Tuesday as soon as he is out.

We are sending you, under separate cover, by Registered mail, survey of the West Jersey Title & Guaranty Company covering the Locust Street purchase and we enclose herewith their bill of \$48.75 for this work. Also bill of Sherman & Sleeper in the amount of \$28.23 for their services on survey of the Thirty-second Street property.

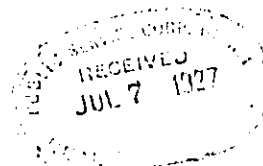
Very truly yours,

GEO. W. JESSUP & SON

by

Wm. Wm. Chalmers.

WWC/SPS



COPY

Newark, N. J., June 22, 1927.

Mr. John A. Clark,
Vice President in Charge of Gas Operation.

Dear Sir:

With further reference to my communications of
May 26th and June 2nd, 1927, concerning the status of
dwellings Nos. 900 to 932 Locust Street, Camden, N. J.,
George W. Jessup & Son now advise that No. 924 Locust
Street has been vacated.

Yours very truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

H.

COPY

Newark, N. J. June 21st, 1927.

Mr. W. W. Chalmers,
George W. Jessup & Son,
531-533 Federal Street,
Camden, N. J.

Dear Sir:

I am in receipt of your communication of June 17th, attaching two bills from the West Jersey Title and Guaranty Company covering title charges in connection with purchases in Delair, Camden, Woodbury and Gloucester.

As these properties are purchased under different authorizations and for different departments of this Company, I would ask that you have the Title Company separate these two bills as follows:

Under Title No. 55586, Darns, Woodbury, 4 items
totaling \$114.60
Under Title No. 55689, Mary L. Fay, et als, 2 items
totaling \$210.00
Under Title No. 55807, Neutze, Camden, 3 items
totaling \$93.00
Under Title No. 46956, Hurshman, Delair, 1 item, \$1.00.
Under Title Nos. 55499, 55776 and 55682, comprising
12 items amounting to \$542.00, may be rendered
on one bill as the purchases of the Locust Street
property is covered by one authorization.

If you will have the Title Company itemize these bills in accordance with the above it will greatly facilitate matters at this end.

Yours very truly,

TAM/LEW
Enc.

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full Charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Key 3334Y

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J.

June 17, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

Dear Sir:-

We have obtained from the W. J.
Title & Guaranty Company and enclose here-
with a bill for the remaining charges
against purchases in Delair, Camden, Wood-
bury and Gloucester.

Very truly yours,

GEO. W. JESSUP & SON

By

W. W. Chalmers

Encl.
WNC/HES.



George W. Jessup
G. Carr Jessup
Wm. Wm. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Key. 35341

George W. Jessup & Son
Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. June 17, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

Dear Sir:-

Please be advised that property No.
924 Locust Street has been vacated.

The tenant at #900 Locust Street has
started to move out and will be out by Tuesday
or Wednesday and the remaining four tenants
will be out by June 25th.

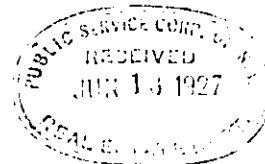
We will notify you when the last prop-
erty is vacated.

Very truly yours,

GEO. W. JESSUP & SON

By *W. W. Chalmers*

WWC/HES.



George W. Jessup
S. Carr Jessup
Wm. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Rep. 3534T

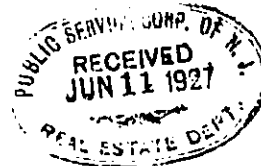
George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. June 10, 1927.

Mr. Harry K. Ford,
Public Service Corp.,
Newark, New Jersey.



Dear Sir:-

We are enclosing the following papers in connection with the purchase of #900-32 Locust Street, Camden, N. J.:

✓ W. J. Title & Guaranty Co. Policy #54280, under application No. 54499, issued April 14, 1927.

✓ W. J. Title & Guaranty Co. Policy #54331, under application No. 55776, issued April 22, 1927., covering #904 Locust St.

✓ W. J. Title & Guaranty Co. Policy #54567, under application No. 55682, issued April 30, 1927..

✓ Deed, Samuel Denbo, et ux to The Holland Co., recorded April 14th, 1927, in Book No. 652 of Deeds, on pages 279, etc., in the office of the Register of Deeds, etc. of Camden County.

✓ Deed, Francesco Rubino, et ux to The Holland Company, recorded Apr. 22, 1927, in Book No. 655 of Deeds, on pages 162, etc.

✓ Deed, Domenico A. Loscalzo, et ux to The Holland Co., recorded Apr. 30, 1927 in Book No. 656 of Deeds, on pages 205, etc.

✓ Deed, Alfonso Diario, et ux to The Holland Co., recorded Apr. 11, 1927, in Book No. 651 of Deeds, on pages 440, etc.

✓ Deed, Domenico Gallante, et ux to The Holland Co., recorded Apr. 1st, 1927, in Book No. 651 of Deeds, on pages 368.

✓ Deed, John Cicarelli, et ux to The Holland Co., covering 902 Locust St., recorded Apr. 1, 1927, in Book No. 651 of Deeds, on pages 366, etc.

✓ Deed, Louis Bantivoglio, et ux, et al to The Holland Co., recorded Apr. 1st, 1927 in Book #651 of Deeds, on pages 369, etc.

Very truly yours,

Encls.

GEO. W. JESSUP & SON

by

Wm. W. Chalmers

COPY

Newark, N. J. June 2nd, 1927.

Mr. John A. Clark,
Vice President in Charge of
Gas Operation.

Dear Sir:

Referring further to my communication of May
26th, 1927, concerning the status of houses Nos. 900-932
Locust Street, Camden, N. J., I am in receipt of advice
today from George W. Jessup & Son that in addition to those
listed as vacant in the above mentioned letter, Nos. 904,
910 and 912 have now been vacated.

Yours very truly,

CAB/LBW

(HENRY K. FORD)
Real Estate Assistant
to the Vice President

George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephone: Bell 5770, Exp. 35341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. June 1st, 1927.

Mr. Harry K. Ford,
Public Service Corp.,
Newark, New Jersey.

Dear Sir:-

Since making our recent report to you relative to the occupancy of the Locust Street properties, we wish to advise that Nos. 904, 910 & 912 have now been vacated.

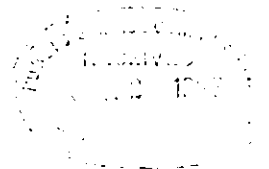
Very truly yours,

GEO. W. JESSUP & SON

by

W. W. Chalmers

WWC/HES.



COPY

Newark, N. J. May 28th, 1927

Mr. Allan R. Buckman,

Tax Assistant to the Vice President.

Dear Sir:

I am enclosing herewith, 8 tax bills covering property 900 to 932 Locust Street, Camden, N. J., which were conveyed by various owners to The Holland Company during the month of April 1927, for use as part of the Gas Holder Property at that location.

<u>HOUSE NUMBER</u>	<u>GRAYTOR</u>	<u>PURCHASE PRICE</u>	<u>DATE</u>
900	Samuel Danbo	\$9,750.00	April 14, 1927
902	John Ciccarelli	2,895.00	April 1, 1927
904	Francisco Rubino	3,080.00	April 22, 1927
906	Alfonso Diario	2,250.00	April 11, 1927
910	Domenico Gallante	2,900.00	April 1, 1927
(908)			
(912)			
(914)			
(916)			
(918)	Louis Bantivoglio	29,000.00	April 1, 1927
(920)			
(922)			
(924)			
(926)			
(928)			
930-932	Domenico A. Loscaizo	8,900.00	April 30, 1927

We have not as yet received the survey of these premises and as soon as we do, I will forward a blue print of same to you.

The premises are all improved with two story one family brick dwellings, and there is no insurance on same at the present time. In the judgment of Mr. Chalmers of George W. Jessup & Son that they are not of insurance value, and it is his personal opinion that they are not worth insuring for a short time as we contemplate razing same as soon as they are all vacated, but I would suggest that insurance be placed in an amount equal to the assessed valuation.

Numbers 902-906-908-918-920-926-930 and 932 are vacant at the present time and it is anticipated that the remainder will be vacated between June 1st and June 25th, 1927

Yours very truly,

(HARRY E. FORD)

Real Estate Assistant
to the Vice President

TAN/LBW
Inc.

COPY

Newark, N. J. May 28th, 1927

Mr. Franklyn Heydecks,
General Auditor.

Dear Sir:

I am enclosing herewith 7 settlement statements covering property 900-932 Locust Street, Camden, N. J., purchased by The Holland Company from various owners during the month of April 1927, for use in connection with the Gas Holder Property at that location as follows:

<u>HOUSE NUMBER</u>	<u>GRAFTOR</u>	<u>DATE</u>
900	Samuel Dembo	April 14, 1927
902	John Ciccarelli	April 1, 1927
904	Francisco Rubino	April 22, 1927
906	Alfonso Diario	April 11, 1927
910	Domenico Gallante	April 1, 1927
(908)		
(912)		
(914)		
(916)		
(918)	Louis Santivoglio	April 1, 1927
(920)		
(922)		
(924)		
(926)		
(928)		
930-932	Domenico A. Loscaizo	April 30, 1927

I am also enclosing a summary sheet showing the total costs of acquiring the properties together with the balance of the fund of \$59,500 which was furnished to George W. Jessup & Son by two checks in the sums of \$10,000 and \$49,500.

We have not as yet received the survey of these premises and as soon as we do I will forward a blue print of same to you.

Yours very truly,

TAH/LEW
Enc.

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

Public Service Electric and Gas Company

Newark, N. J., May 23th, 1927.

George W. Jessup & Son,
531-533 Federal Street,
Camden, N. J.

Attention Mr. W. W. Chalmers

Gentlemen:

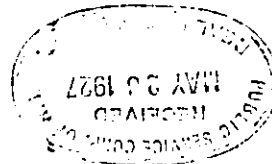
In reference to properties on Locust Street,
Camden, N. J., on which you forwarded Settlement State-
ment and 1927 Tax Bills, I would advise that in checking
over the tax bills I find that there was none for 930-932
Locust Street, purchased from Domenico A. Loscaizo, and
I would appreciate it if you would secure the tax bill
covering this property and forward it to me as soon as
possible.

Yours very truly,

Harry K. Ford

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

TAH/LEW



COPY

Rewark, N. J. May 26th, 1927.

Mr. John A. Clark,

Vice President in Charge of Operation.

Dear Sir:

I am in receipt of advice from Geo. W. Jessup & Son, that the titles of properties Nos. 900 to 932 Locust Street, Camden, N. J., have all been closed and I am giving below a statement showing whether the houses are vacant or occupied, and where occupied, the dates on which we expect they will be vacated:

900 - Occupied - Will vacate June 1st.
902 - Vacant
904 - Occupied - Will vacate June 22nd.
906 - Vacant
908 - Vacant
910 - Occupied - Will vacate June 16th.
912 - Occupied - Will vacate June 18th.
914 - Occupied - Will vacate June 25th.
916 - Occupied - Will vacate June 25th.
918 - Vacant
920 - Vacant
922 - Occupied - Will vacate June 18th.
924 - Occupied - Will vacate June 1st.
926 - Vacant
928 - Occupied - Will vacate June 2nd.
930 - Vacant
932 - Vacant.

In connection with the vacant properties, I would ask that you take the necessary steps to have these buildings boarded up and securely fastened in order to protect same from vandals.

We have not as yet received the survey covering this property and as soon as we do I will forward a blue print of same.

Yours very truly,

(HENRY K. FORD)
Real Estate Assistant
to the Vice President

TAH/LBT

George W. Jessup
G. Carr Jessup
Wm. Wm. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Wep. 35341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J.

May 25, 1927.

Mr. Harry K. Ford,
Public Service Cor.,
Newark, New Jersey.

Dear Sir:

We have asked the West Jersey
Title and Guaranty Company for cloth
tracings of the Survey on 32nd Street,
Camden, and also on 900 to 932 Locust
Street, Camden.

As soon as these come through
we will forward them to you.

Very truly yours,

GEO. W. JESSUP & SON

WWC/SPS

by

W. W. Chalmers



George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Exp. 35341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. May 23, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

Dear Sir:-

We are enclosing settlement sheets covering the purchase of properties #900 to #932 (inclusive) Locust Street, Camden, New Jersey.

We received total payments from you of \$59,500.00 which was the total purchase price of the properties, and in making the settlements we received tax, water and rent credits of \$248.02. You will also note that in the purchase of #902 Locust St., we agreed to pay the seller \$45.00 for settlement certificate #53103 of the West Jersey Title Company, leaving a net balance due you of \$203.02 for which we enclose our check.

As to possession, the last of these properties will be vacated on June 25, 1927. Some of the settlements were not due until July, and as we were anxious to get title we made the settlements and gave 30 day leases to give the occupants time to locate elsewhere. Proper notices have been served and if we have complete possession before the time mentioned we will notify you.

We have received total rents of \$364.00 to date, and will send rental returns as soon as the last property is vacated.

Very truly yours,

GEO. W. JESSUP & SON

By



WWC/HES.

George W. Jessup
O. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Rep. 3534T

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. May 23, 1927.

Mr. Harry K. Ford,
Public Service Corp.,
Newark, New Jersey.

Dear Sir:-

We are enclosing 1927 tax bills for the
Locust Street properties and also receipted tax
and water bills for years prior to 1927, which
were unpaid at the time of final settlement, and
for which the W. J. Title & Guaranty Company
retained funds.

Very truly yours,

GEO. W. JESSUP & SON

By

W. W. Chalmers

Encl.
WWC/HES.

55682
T-261 800 1-27

Department of Revenue and Finance
CITY HALL

Camden, New Jersey, 19

Ward 5

M

Premises

924 + 926 Locust St

Claim	Water Rent. 1925	1760
Interest at 7% per annum		141
Costs		1901
Claim		
Interest at 7% per annum		
Costs		
Claim		
Interest at 7% per annum		
Costs		
Claim		
Interest at 7% per annum		
Costs		
Claim		
Interest at 7% per annum		
Costs		

PAID
IN FULL
APR 4 1927
M. F. MIDDLETON, Jr.

Above is a statement of the municipal claims appearing delinquent against the above mentioned premises; it is necessary that the claims should be paid as speedily as possible, and if correct, I will esteem it a favor if you will make payment at once; the property is now liable to be advertised and sold for the above claims, and costs will be added. If you are not the owner, please advise me.

Respectfully yours,
M. F. MIDDLETON, Jr.
Director of Revenue and Finance

55682

T-201 500 1-27

Department of Revenue and Finance
CITY HALL

Camden, New Jersey, 19.....

Ward 5

M

Premises

908 Locust St

Claim	Water Rent 1926	880
Interest at 7% per annum		14
Costs		894
Claim		
Interest at 7% per annum		
Costs		
Claim		
Interest at 7% per annum		
Costs		
Claim		
Interest at 7% per annum		
Costs		
Claim		
Interest at 7% per annum		
Costs		

PAID
IN FULL
APR - 1927
M. F. MIDDLETON, JR.

Above is a statement of the municipal claims appearing delinquent against the above mentioned premises; it is necessary that the claims should be paid as speedily as possible, and if correct, I will esteem it a favor if you will make payment at once; the property is now liable to be advertised and sold for the above claims, and costs will be added. If you are not the owner, please advise me.

Respectfully yours,
M. F. MIDDLETON, Jr.
Director of Revenue and Finance

56682
T. 261 500 1-27

Department of Revenue and Finance
CITY HALL

Camden, New Jersey, 19.....

Ward 5.....

M.....

Premises

912-14-16-18-20-22-24-26-28 Locust
SX

Claim <i>Tap</i> 1923	2 H. 168 10
Interest at 7% per annum	39 32
Costs	207 42
Claim	
Interest at 7% per annum	
Costs	
Claim	
Interest at 7% per annum	
Costs	
Claim	
Interest at 7% per annum	
Costs	
Claim	
Interest at 7% per annum	
Costs	

PAID
IN FULL
M. F. MIDDLETON, Jr.
1. PH - 41927

Above is a statement of the municipal claims appearing delinquent against the above mentioned premises; it is necessary that the claims should be paid as speedily as possible, and if correct, I will esteem it a favor if you will make payment at once; the property is now liable to be advertised and sold for the above claims, and costs will be added. If you are not the owner, please advise me.

Respectfully yours,
M. F. MIDDLETON, Jr.
Director of Revenue and Finance

55682

T-261 800 1-27

Department of Revenue and Finance
CITY HALL

Camden, New Jersey, 19.....

Ward 5

M.....

Premises

908-12-14-16-18-20-22-24-26-28 Locust St

Claim <i>Tax</i>	1926	1+2 H.	41281
Interest at 7% per annum			2926
Costs			44207
Claim			
Interest at 7% per annum			
Costs			
Claim			
Interest at 7% per annum			
Costs			
Claim			
Interest at 7% per annum			
Costs			
Claim			
Interest at 7% per annum			
Costs			

PAID
IN FULL
APR 4 1927
M. F. MIDDLETON
Director of Revenue and Finance

Above is a statement of the municipal claims appearing delinquent against the above mentioned premises; it is necessary that the claims should be paid as speedily as possible, and if correct, I will esteem it a favor if you will make payment at once; the property is now liable to be advertised and sold for the above claims, and costs will be added. If you are not the owner, please advise me.

Respectfully yours,
M. F. MIDDLETON, Jr.
Director of Revenue and Finance

George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Exp. 35341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J.

May 20, 1927.

Mr. Harry K. Ford,
Public Service Corp.,
Newark, New Jersey.

Dear Sir:-

I am planning to come to your office between 11 and 11.30 o'clock A. M., Tuesday, the 24th, as the Locust Street purchases are all completed and there are a few other pending matters to be taken up.

If this time does not entirely suit your convenience please advise me and if I do not hear from you I will be in your office Tuesday.

Very truly yours,



WWC/HES.

COPY

Newark, N.J., May 3rd, 1927.

George W. Jessup & Son,
#551 Federal Street,
Camden, N. J.

Dear Sir:

Attention: Mr. W. W. Chalmers.

This is to acknowledge your favor of April 15th, wherein you advise that you have completed settlements on Nos. 900 and 906 Locust Street and expect to clean up the remaining three titles at an early date.

When these matters are entirely cleaned up, will you kindly have a conference with me here at Newark, so we will know exactly the status of this matter.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

HCF:VLH

Bell Phone 289
Keystone Phone 35341

George W. Jessup & Son

531-533 Federal St. and 530-532 Arch St. Camden, N. J.

APR 29 1927

PUBLIC SERVICE CORP

Real Estate
Conveyancing
Appraisements
Rents Collected
Mortgages Secured
Full Charge of Estates
Properties for Home or Investment

Insurance
Fire
Tornado
Liability
Automobile
Employers Liability
Accident and Health

The following is a statement of your account to date, which we will assume is correct, unless otherwise notified by you within the next ten days.
Expressing our thanks for your continued patronage, we remain,

Respectfully yours,

GEORGE W. JESSUP & SON.

George W. Jessup

W. W. Chalmers

G. Carr Jessup

Date	No.	Street	Tenant	Due	From	To	Rent Per Mo.	Charge	Credit	
4/11	928	LOCUST	EDW WHIPPER	APR 2	APR 2	MAY 2	20 00		2 00	
4/19	914	LOCUST	ROBT COLLINS	APR 21	APR 21	MAY 21	18 00		1 80	
4/22	904	LOCUST	FRANCESCO ROBINO	APR 22	APR 22	MAY 22	10 00		1 00	
4/29	910	LOCUST	MENTURINO MELOGRANO	APR 16	APR 16	MAY 16	16 00		1 60	
Total Amount Received									6 400	
4/11	TO COMMISSION ON 20 00 @ 5%							1.00		
4/19	TO COMMISSION ON 18 00 @ 5%							.90		
4/22	TO COMMISSION ON 10 00 @ 5%							.50		
4/22	TO DISTRICT COURT SUMMONS ON 924/902/916 LOCUST @ 3 10 EACH							9.30		
4/29	TO COMMISSION ON 16 00 @ 5%							.80		
4/29	TO AMOUNT RETAINED TO THE CREDIT OF THE ACCOUNT							5 1.50		
									6 400	

George W. Jessup
S. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Key. 35341

George W. Jessup & Son
Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. April 15, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

Dear Sir:-

We have completed settlements on Nos. 900 and 906 Locust Street and the only ones which have not been settled are Nos. 904, 950 and 952 Locust Street. We are clearing these titles up as fast as possible.

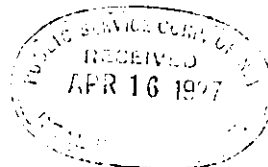
Very truly yours,

GEO. W. JESSUP & SON

BY

W. W. Chalmers

WVC/IES.



COPY

GEORGE W. JESSUP & SON
JESSUP BUILDING, 531 & 533 Federal St.
Camden, N. J.

April 1st, 1927.

Mr. Harry K. Ford,
Public Service Corporation.
Newark, N. J.

Dear Sir:

We are enclosing herewith Voucher No. 974
in amount of \$13,500.00, representing the final pay-
ment on property on 32nd Street, and also voucher #975
in the amount of \$19,500.00, representing final pay-
ments on account of the purchase of Locust Street
properties.

We have arranged for the settlement of the
32nd Street property which will take place the early
part of next week and you will also be interested to
know that we have already made settlement for twelve
of the Locust Street Properties.

Very truly yours,

GEO. W. JESSUP & SON

By W. W. Chalmers.

Encls.
WVC/HES

SUMMARY SHEET

TOTAL COST OF ACQUIRING PROPERTIES

900 to 932 LOCUST STREET

CAMDEN, N. J.

APRIL, 1927.

<u>HOUSE NUMBER</u>	<u>GRANTOR</u>	<u>PURCHASE PRICE</u>
900	Samuel Denbo	\$9,750.00 ✓
902	John Ciocaralli	2,895.00 ✓
904	Francisco Rubino	3,850.00 ✓
906	Alfonso Diario	2,250.00 ✓
910	Domenico Gallante	2,900.00
(908		
(912		
(914		
(916		
(918	Louis Bantivoglio	29,000.00
(920		
(922		
(924		
(926		
(928		
930-932	Domenico A. Loscaizo	8,900.00
	Total Purchase Price	\$59,545.00

DISBURSEMENTS.

900	\$9,708.10	
902	2,861.69	
904	3,850.00	
906	2,235.39	
910	2,878.77	
908 & 912 to 928	28,864.80	
930-932	8,878.23	
	TOTAL DISBURSEMENTS	58,296.98
	TOTAL ADJUSTMENTS	\$ 248.02

Total Purchase Price	\$59,545.00
Check of The Holland Company payable to George W. Jessup & Son, requested Feb. 15, 1927	\$10,000.00
Check of The Holland Company payable to George W. Jessup & Son requested March 28, 1927	49,500.00
	59,500.00
Difference between Total Purchase Price and Fund furnished George W. Jessup & Son	\$ 45.00
TOTAL PURCHASE PRICE	\$59,545.00
Amount disbursed by George W. Jessup & Son	59,296.98
Total Adjustments.	\$ 248.02
Less: Difference between Total Purchase Price and Fund furnished George W. Jessup & Son, as above	45.00
Balance Due The Holland Company	\$ 203.02

Check of George W. Jessup & Son in the sum of \$203.02 forwarded to the Treasurer on May 27, 1927.

STATEMENT OF CLOSING TITLE TO PREMISES

920-932 LOCUST STREET,

CAMDEN, N. J.

CONVEYED BY DOMENICO A. LOSCAIZO, ET UX.,

TO THE HOLLAND COMPANY

APRIL 30, 1927

Paid on Account	\$2,500.00	Contract Purchase Price	\$8,900.00
Adjustments:			
Taxes: Jan 1 to			
April 30, 1927	16.45		
Water Rent: Jan. 1			
to April 30, 1927	5.32		
	<u>\$2,521.77</u>		
		Less	<u>\$8,900.00</u>
			<u>2,521.77</u>
		Balance Due Grantor	\$6,378.23

The above balance of \$6,378.23 was disbursed by George W. Jessup & Son from a fund of \$59,500., furnished by two checks as follows:

\$10,000 Requested February 15, 1927
\$49,500 " March 28th, 1927.

STANDARD FORM OF REAL ESTATE SETTLEMENT PREPARED AND ADOPTED
BY THE CAMDEN REAL ESTATE BOARD

APP. #55682

April 30th, 1927.

Settlement between DOMENICO A. LOSCAIZO, .st. ux
GRANTOR
and THE HOLLAND COMPANY
GRANTEE
Premises #930-32 Locust Street, Camden, N. J.

GRANTEE DR.

Purchase Price \$ 8,900.00
Fire Insurance paid to
Tornado Insurance paid to
Taxes, Current Year, paid to
Water Rent paid to
Property Rent paid to
Sewer Rent paid to
.....
..... \$ 8,900.00

GRANTEE CR.

Cash paid on account \$ 2,500.00
First Mortgage \$ Interest \$
Second " \$ Interest \$
Taxes from 1/1/27 to date @ .49.41 16.45
Water Rent from 1/1/27 to " " 16.00 5.32
Property Rent from to
Sewer Rent from to
Gas
Electric Lighting
.....
..... \$ 2,521.77..
Balance due Grantor \$ 6,378.23..

Balance due Grantor \$
First Mortgage \$ Interest \$
Second " \$ Interest \$
Cancelling Mortgage
Taxes
Water Rent
Property Rent
Sewer Rent
Revenue Stamps on Deed
Drawing Papers
Making Settlement
Commission

Net Amount due Grantor \$

Balance due Grantor \$ 6,378.23
Search Order No.
Title Policy Application No.
Fire Insurance
Tornado Insurance
Recording Charges
Drawing Papers
Commission for obtaining Mtge.
Revenue Stamps on Mtge. Bond ..
Making Settlement
.....
.....
Amount necessary to complete
settlement \$ 6,378.23

We, the undersigned, have examined and approved the above settlement and
is hereby authorized and directed to make distribution and payments in accordance therewith.

Grantor Grantor
Grantor Grantor

8-8-22-4000

Settlement

DOMENICO A. LOSCALZO, et ux
Grantor

to

THE HOLLAND COMPANY
Grantee

Property: 1930-32 Locust St.,
Camden, N. J.

Gen. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

STATEMENT OF CLOSING TITLE TO PREMISES

904 LOCUST STREET

CAMDEN, N. J.

CONVEYED BY FRANCISCO RUBINO AND WIFE

TO THE HOLLAND COMPANY

APRIL 22, 1927

Paid on Account	\$1,000.00	Contract Purchase Price	\$3,850.00
		Less	<u>1,000.00</u>
		Balance due Grantor	\$2,850.00

The above balance of \$2,850.00 was disbursed by George W. Jessup & Son from a fund of \$59,800., furnished by two checks as follows:

\$10,000 Requested February 15, 1927

\$49,500 " March 28th, 1927.

8-3-22-4000

Settlement

FRANCISCO RUBINS, et al
Grantor

to

THE HOLLAND COMPANY
Grantee

Property: 4904 Locust St.,
Camden, N. J.

Gen. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

STATEMENT OF CLOSING TITLE TO PREMISES

900 LOCUST STREET

GARDEN, N. J.

CONVEYED BY SAMUEL DEWEO, ET UX.,

TO THE HOLLAND COMPANY

APRIL 14, 1927

Paid on Account	\$1,200.00	Contract Purchase Price	\$8,000.00
Adjustments:		Paid to Lessee for	
Taxes: Jan. 1 to April		Lease which runs to	
14, 1927	14.81	April 14, 1929	<u>1,750.00</u>
Water Rent: Jan. 1 to		Total Purchase Price	<u>\$9,750.00</u>
April 14, 1927	4.09	Less	<u>1,241.90</u>
Rent	<u>83.00</u>	Balance Due Grantor	\$8,508.10
	\$1,241.90		

The above balance of \$8,508.10 was disbursed by George W. Jessup & Son from a fund of \$59,500., furnished by two checks as follows:

\$10,000 Requested February 15, 1927.
49,500 " March 28th, 1927.

6-3-22-4000

Settlement

... SAMUEL DENBO, et. ux. ...
Grantor

to

... THE HOLLAND COMPANY ...
Grantee

Property: #900 Locust St.,
Camden, N. J.

Gen. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

6-3-22-4000

Settlement

.. HARRY. ENGLEMAN
Grantor

to

.. THE HOLLAND COMPANY
Grantee

Property: #900 Locust St.,
Camden, N. J.

Gen. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

STATEMENT OF CLOSING TITLE TO PREMISES

906 LOCUST STREET

CAMDEN, N. J.

CONVEYED BY ALFONSO DIARIO, ET UX.

TO THE HOLLAND COMPANY

APRIL 11, 1927

Paid on Account	\$500.00	Contract Purchase Price	\$2,250.00
Adjustments:			
Taxes: Jan 1 to			
April 11, 1927	11.88		
Water Rent: Jan 1 to			
April 11, 1927	2.73		
	\$514.61	Less	<u>\$2,250.00</u>
			<u>514.61</u>
			\$1,735.39

The above balance of \$1,735.39 was disbursed by George W. Jessup & Son from a fund of \$59,500., furnished by two checks as follows:

\$10,000 Requested February 15, 1927
\$49,500 " March 28th, 1927.

6-3-21-4000

Settlement

..ALFONSO DIARIO, et. ux..
Grantor

to

..THE HOLLAND COMPANY.....
Grantee

Property: #906 Locust St.,
Camden, N. J.

Geo. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

STATEMENT OF CLOSING TITLE TO PREMISES

902 LOCUST STREET

CAMDEN, N. J.

CONVEYED BY JOHN CIOCARELLI, ET UX.,

TO THE HOLLAND COMPANY

APRIL 1, 1927

Paid on Account	\$650.00	Contract Purchase Price	\$2,850.00
Adjustments:		Paid Grantor for settle- ment Certificate #53103 of West Jersey Title and Guaranty Company as pro- vided for in contract of sale	45.00
Taxes: Jan. 1 to April 1, 1927	11.31		\$2,895.00
Water Rent: Jan 1 to April 1, 1927	2.00	Less	663.31
	<u>\$663.31</u>		
		BALANCE DUE GRANTOR	\$2,231.69

The above balance of \$2,231.69 was disbursed by George W. Jessup & Son from a fund of \$59,500., furnished by two checks as follows:

\$10,000 Requested February 15, 1927
49,500 " March 28th, 1927.

**STANDARD FORM OF REAL ESTATE SETTLEMENT PREPARED AND ADOPTED
BY THE CAMDEN REAL ESTATE BOARD**

APP. #55682

April 1st, 1927.

Settlement between JOHN GICCARELLI, et ux
GRANTOR
and THE HOLLAND COMPANY
GRANTEE
Premises #902 Locust St., Camden, N. J.

GRANTEE DR.

Purchase Price	\$ 2,850.00
Fire Insurance paid to	
Tornado Insurance paid to	
Taxes, Current Year, paid to	
Water Rent paid to	
Property Rent paid to	
Sewer Rent paid to	
Due for settlement cart. under #52103	45.00
	<u>\$ 2,895.00</u>

*Contract entered by
Grantor to pay same*

GRANTEE CR.

Cash paid on account	\$ 650.00
First Mortgage \$..... Interest \$.....	
Second " \$..... Interest \$.....	
Taxes from 1/1/27 to date	11.31
Water Rent from 1/1/27 to date	2.00
Property Rent from..... to.....	
Sewer Rent from..... to.....	
Gas	
Electric Lighting	
	<u>\$ 663.31</u>
Balance due Grantor	<u>\$ 2,231.69</u>

Balance due Grantor..... \$.....	Balance due Grantor..... \$ 2,231.69
First Mortgage \$..... Interest \$.....	Search Order No.....
Second " \$..... Interest \$.....	Title Policy Application No.....
Cancelling Mortgage.....	Fire Insurance
Taxes	Tornado Insurance
Water Rent	Recording Charges
Property Rent	Drawing Papers
Sewer Rent	Commission for obtaining Mtge.
Revenue Stamps on Deed.....	Revenue Stamps on Mtge. Bond.....
Drawing Papers	Making Settlement
Making Settlement
Commission

Net Amount due Grantor..... \$.....	Amount necessary to complete settlement..... \$ 2,231.69

We, the undersigned, have examined and approved the above settlement and is hereby authorized and directed to make distribution and payments in accordance therewith.

Grantor..... *[Signature]*..... Grantee
Grantor..... *[Signature]*..... Grantee

8-9-22-4000

Settlement

... JOHN. CICCARELLI, et. ux
Grantor

to

..... THE HOLLAND COMPANY
Grantee

Property: #902 Locust St.,
Camden, N. J.

Gen. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

STATEMENT OF CLOSING TITLE TO PREMISES

910 LOCUST STREET

GARDEN, E. J.

CONVEYED BY DOMENICO GALLANTE, ET UX.,

TO THE HOLLAND COMPANY

April 1, 1927

Paid on Account	\$600.00	Contract Purchase Price	\$2,900.00
Adjustments:			
Taxes: Jan 1. to			
April 1, 1927	11.25		
Water Rent: Jan 1			
to April 1, 1927	1.98		
Property Rent :			
April 1 to April			
16, 1927	8.00		
	<u>\$621.23</u>		
		Less	<u>\$2,900.00</u>
			<u>621.23</u>
		Balance Due Grantor	\$2,278.77

The above balance of \$2,278.77 was disbursed by George W. Jessup & Son from a fund of \$59,500., furnished by two checks as follows:

\$10,000 Requested February 15, 1927
\$49,500 " March 28th, 1927.

6-3-22-4000

Settlement

...DOMENICO GALLANTE, et. ux
Grantor

to

...THE HOLLAND COMPANY...
Grantee

Property: #910 Locust St.,
Camden, N. J.

Gen. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

STATEMENT OF CLOSING TITLE TO PREMISES
908-912-914-916-918-920-922-924-926 & 928 LOCUST STREET
CAMDEN, N. J.
CONVEYED BY LOUIS BANTIVOGLIO, ET UX, ET AL.,
TO THE HOLLAND COMPANY
APRIL 1, 1927.

Paid on Account	\$5,000.00	Contract Purchase Price	\$29,000.00
Adjustments:			
Taxes: Jan 1 to			
April 1, 1927	103.20		
Water Rent: Jan 1			
to April 1, 1927	20.00		
Property rent 928			
Locust Street	12.00		
	<u>35,135.20</u>		
		Less	<u>329,000.00</u>
			<u>5,135.20</u>
		Balance Due Grantor	\$23,864.80

The above balance of \$23,864.80 was disbursed by George W. Jessup & Son from a fund of \$59,500., furnished by two checks as follows:

\$10,000	Requested	February 15, 1927
\$49,500	"	March 28th, 1927.

6-3-22-4000

Settlement

.. LOUIS BARTIVOGGLIO, et ux, et
Grantors

to

.. THE HOLLAND COMPANY.....
Grantee

Property: Nos. 908-12-14-16-18-20^e
922-24-26-28 Locust St., Camden,
N.J.

Geo. W. Jessup & Son
Real Estate and Insurance
Jessup Building
Camden, New Jersey

COPY

#80 Park Place,
Newark, N. J.
March 29th, 1927.

George W. Jessup & Son,
#531 Federal Street,
Camden, N. J.

Attention: Mr. W.V. Chalmers.

I beg to hand you herewith, check in the sum of
\$13,500., payable to the order of George W. Jessup & Son, being
the balance of the purchase price of property at 52nd Street, north
of Federal Street.

Also, a check in the sum of \$49,500.00, to be applied
as the final payment of the purchase price of property at Locust
Street, between Cherry and Spruce Streets, in the City of Camden.

Please receipt the vouchers accompanying the checks
and return the vouchers to me.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President.

HKF:WIK

COPY

#80 Park Place,
Newark, N. J.
March 28th, 1927.

Franklyn Heydecke,
General Auditor,
Building.

Dear Sir:

Kindly furnish me with a check in the sum of \$49,500.00,
payable to the order of George W. Jessup & Sons as Agents, #531 Federal
Street, Camden, N. J.

The above amount is to be disbursed by the above firm as
the final payment on the purchase price of properties located on the
easterly side of Locust Street, between Cherry and Spruce Streets, in
the City of Camden.

The premises in question consist of 17 individual parcels
and a complete report of the disbursements of the above monies shows the
purchase price of each particular parcel and from whom purchased will
be furnished when these titles are closed.

The title of these properties are to be taken in the name
of The Holland Company. The above amount should be charged to R.&E.
#1762, Southern.

Kindly let me have this check by 3:00 P.M., Tuesday the
29th instant.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President.

HKF:WLH

COPY

GEORGE W. JESSUP & SON
531 & 533 Federal St
Camden, N. J.

March 18, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, N. J.

Dear Sir:-

~~We are enclosing copy of application~~
for title insurance covering #904 Locust Street,
Camden, New Jersey.

We are also enclosing agreement for
the purchase of property on the East side of 32nd
Street near Federal Street, Camden, New Jersey.

Yours very truly,

GEO. W. JESSUP & SON
By
W. W. Chalmers

Encls.
WWC/HES

COPY

App. No. 55776

Camden, N. J., March 15,

1877

The undersigned hereby applies to the West Jersey Title and Guaranty Company for insurance, in the sum of \$ 2000.00 against liens or defects in title affecting the premises hereinafter described, and agrees that the policy shall be conditioned upon the truth of the following statements:

1. Name and Residence of Insured.	The Holland Co.
2. Estate or interest to be insured.	Fee
3. Title vested or to be vested in Insured by?	Deed or Mortgage from ?
4. Description of property. See App. 55682 House No. Is the improvement used as a private residence?	City and Township of Camden, #904 Locust St.
5. Incumbrances, known or alleged to exist—stating which are to remain and which not, with name and address of holder or attorney.	D.K.
6. Who occupies premises and by what right? Does the sale include growing crops or other personal property, stock or fixtures?	D.K.
7. Does anyone else use any part of premises, or exercise any rights thereon, for drainage, passage, &c.?	D.K.
8. Unrecorded deeds, agreements, adverse claims, and interests or secret trusts known or rumored to exist.	D.K.
9. Are premises supplied with	City Water? D.K. Gas? Electric Light? Sewer—Public? Private? Street Improvements Old? New?
10. Building Improvements, additions or alterations.	Old? New? D.K. When completed? Have any improvements been made within 4 months past?
11. If farm land, or on navigable stream or tide water or the sea, state whether subject to flooding or drainage rights or meadow assessments, and whether Riparian Grant has been acquired.	
12. Is grantor or mortgagor to insured liable to Bankruptcy as in Act of Congress of July 1, 1896?	

The undersigned agrees that he does not know of any defects, objections, liens or encumbrances as to said premises other than as above stated, and that if any others come to his knowledge before settlement, he will at once notify the Company thereof.

All expense of obtaining possession, either from owner or tenant, will be assumed by the undersigned.

The undersigned agrees to pay an insurance premium of \$ _____ to said Company, upon the delivery of the settlement certificate.

The Holland Company
W.W. Chalmers,

Send Settlement Certificate to Geo. W. Jessup & Son,

P. O. Address _____

George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Exp. 35341

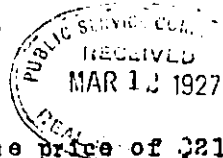
George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. March 11, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.



Dear Sir:-

We have obtained the price of \$210.00 for application No. 55682 of the W. J. Title & Guaranty Co. covering the Locust Street properties, in the amount of \$2000.00.

There is also a charge of \$45.00 for application No. 35499, in the amount of \$2000.00 and \$56,000.00 additional insurance at \$3.50 per thousand, would make a total cost of \$451.00 for a \$60,000.00 policy.

We expect to purchase #904 Locust Street this afternoon for \$3000.00.

Very truly yours,

GEO. W. JESSUP & SON

By *W. W. Chalmers*

WTC/HES.

George W. Jessup
G. Carr Jessup
W. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Rep. 33341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J. March 9, 1927.

Mr. Harry K. Ford,
Public Service Corporation,
Newark, New Jersey.

Dear Sir:-

As requested we are forwarding copies of applications to the W. J. Title & Guaranty Company for insurance on the Locust Street properties, Camden, N. J., as well as the King Street property, Gloucester.

You will note that property #900 Locust Street is not included in this application, as it had already been ordered by the owner's agent, under application No. 55499, and we now have the settlement certificate in our hands.

Very truly yours,

GEO. W. JESSUP & SON

BY

W. W. Chalmers

Encls.
WVC/HES.

MAR 10 1927

*Forward in
2/2*

COPY.

App. No. 55682

Camden, N. J.,

3-4-

182 7.

The undersigned hereby applies to the **West Jersey Title and Guaranty Company** for insurance, in the sum of \$ _____ against liens or defects in title affecting the premises hereinafter described, and agrees that the policy shall be conditioned upon the truth of the following statements:

1. Name and Residence of Insured.	<u>The Holland Co.</u>
2. Estate or interest to be insured.	<u>Fee</u>
3. Title vested or to be vested in Insured by?	Deed or _____ Mortgage from _____
4. Description of property. House No. _____ Is the improvement used as a private residence? _____	City or Township of <u>Camden</u> <u>902-906 to 932 both inc. Locust St.</u> (separate settlement certificates to be issued for different owners)- W.E.B. 3-4-27.
5. Incumbrances, known or alleged to exist—stating which are to remain and which not, with name and address of holder or attorney.	<u>D.K.</u>
6. Who occupies premises and by what right? Does the sale include growing crops or other personal property, stock or fixtures?	<u>D.K.</u>
7. Does anyone else use any part of premises, or exercise any rights thereon, for drainage, passage, &c.?	<u>D.K.</u>
8. Unrecorded deeds, agreements, adverse claims, and interests or secret trusts known or rumored to exist.	<u>D.K.</u>
9. Are premises supplied with	City Water? <u>YES</u> Gas? <u>YES</u> Electric Light? <u>YES</u> Sewer—Public? <u>YES</u> Private? _____ Street Improvements Old? _____ New? <u>D.K.</u>
10. Building Improvements, additions or alterations.	Old? _____ New? _____ When completed? <u>D.K.</u> Have any improvements been made within 4 months past? _____
11. If farm land, or on navigable stream or tide water or the sea, state whether subject to flooding or drainage rights or meadow assessments, and whether Riparian Grant has been acquired.	
12. Is grantor or mortgagor to insured liable to Bankruptcy as in Act of Congress of July 1, 1898?	<u>D.K.</u>

The undersigned agrees that he does not know of any defects, objections, liens or encumbrances as to said premises other than as above stated, and that if any others come to his knowledge before settlement, he will at once notify the Company thereof.

All expense of obtaining possession, either from owner or tenant, will be assumed by the undersigned.

The undersigned agrees to pay an insurance premium of \$ _____ to said Company, upon the delivery of the settlement certificate.

The Holland Company
per W. W. Chalmers

Send Settlement Certificate to Geo. W. Jessup & Son

P. O. Address o/o Mr. Chalmers

COPY

Newark, N.J., February 28th, 1927.

George W. Jessup & Son,
#531 Federal Street,
Camden, N. J.

Attention: Mr. W. W. Chalmers.

Dear Sir:

This is to acknowledge your favor of the 25th instant enclosing the receipted voucher of \$10,000.00.

We note that you have succeeded in purchasing #910 Locust Street for \$2500.00 and are working on the other three tracts.

I would like to discuss the matter of having the searches for these properties ordered just as soon as you are in shape to have this done.

In reference to the hearing of the condemnation on the Federal Street property, Judge Armstrong advises me that it will be held in Camden on the third instant, at approximately 10:00 A.M. I may not be able to come down on Thursday, due to the fact that I am to attend certain committee meetings during Mr. Barker's absence, but Mr. Schaefer will attend if I do not.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President.

HKF:WLH

George W. Jessup
S. Carr Jessup
Wm. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Exp. 35341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J.

February 25, 1927.

Mr. Harry K. Ford,
Public Service Corp.,
Newark, New Jersey.

Dear Sir:-

We are returning receipt for \$10,000.00
which came with your communication of February
17th.

We have since purchased property #910
Locust Street for \$2500.00 and are working hard
on Nos. 904, 930 & 932.

Will you please advise us when the hearing
is now set between the State and the Public
Service Corp. relative to land at 12th & Federal
Sts.?

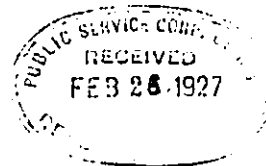
Very truly yours,

GEO. W. JESSUP & SON

By

W. W. Chalmers

Encl.
WWC/HES.



COPY

Newark, N. J., February 17th, 1927.

George W. Jessup & Son,
#531 Federal Street,
Camden, N. J.

Attention: Mr. W. W. Chalmers.

Dear Sir:

I beg to acknowledge receipt of your favor of the 15th instant, enumerating the costs on the Locust Street properties at Camden.

I am enclosing herewith a check for \$10,000. to be used as the first payment on the purchase price of these various properties.

In reference to the four properties still to be acquired, I beg to advise that I have requested an additional appropriation of \$12,000. which will be granted and you can, therefore, proceed to obtain agreements on the #904 #910 #920 and #932 properties.

When all these properties are under contract of sale, I would like to have a conference with you here at the office with all the contracts, so that I can outline with you the procedure that I desire followed in connection with the searches and other details of these titles.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

HKF:WLH

George W. Jessup
G. Carr Jessup
Wm. W. Chalmers

Full charge of Estates
Appraisers of Real Estate
Telephones: Bell 5770, Exp. 33341

George W. Jessup & Son

Real Estate and Insurance

Jessup Building, 531 & 533 Federal Street

Camden, N. J.

February 15, 1927.

Mr. Harry K. Ford,
80 Park Place,
Newark, New Jersey.

Dear Sir:

Following is a list of the Locust Street properties with the prices paid for the ones already closed:

No. 900	Locust St. (store)	\$ 8,000.00
	3 yr. lease	3,000.00
" 902	" " St.	2,500.00 ?
" 904	" " "	
" 906	" " "	2,250.00
" 908	" " "	2,900.00
" 910	" " "	
" 912	" " "	2,900.00
" 914	" " "	2,900.00
" 916	" " "	2,900.00
" 918	" " "	2,900.00
" 920	" " "	2,900.00
" 922	" " "	2,900.00
" 924	" " "	2,900.00
" 926	" " "	2,900.00
" 928	" " "	2,900.00
" 930	" " "	
" 932	" " "	
		<hr/>
		\$44,750.00

Property No. 902 Locust Street we have set down as Twenty-five Hundred (\$2,500.00) Dollars. We have practically closed at this figure and the Agreements will be signed this evening, and it is possible that we will save One Hundred (\$100.00) Dollars at the last minute.

This makes a total of \$44,750.00 for thirteen properties, leaving Nos. 904, 910, 930 & 932 to be acquired.

We have purchased the three year lease on the store property for Three Thousand (\$3,000.00) Dollars and obtained immediate possession, which runs our total purchase price somewhat

Handwritten initials and signature

February 15, 1927.

Mr. Harry K. Ford #2.

higher than we had anticipated. If you desire us to close on the last four properties we would suggest an additional appropriation of Twelve Thousand (\$12,000.00) Dollars, to be on the safe side, but it is barely possible that we can purchase them for an average of Twenty-five Hundred (\$2,500.00) Dollars each.

Of course we strongly recommend that you proceed to acquire these properties at once as we are sure to be held up for a large figure at a later date.

We would like to suggest that you phone us as soon as you have your decision so that we can finish the job as quickly as possible before one of the owners gets out of line.

Very truly yours,

GEO. W. JESSUP & SON

by



WWC/SPS

COPY

Newark, N.J., February 15th, 1927.

Mr. Franklyn Heydecks,
General Auditor,
Building.

Dear Sir:

Kindly furnish me with a check in the sum of \$10,000.
payable to the order of George W. Jessup & Son, as Agents, Camden,
N. J.

This check is to be used as a fund from which the first
payments will be made on account of certain properties located
on the easterly side of Locust Street, between Spruce and Cherry
Streets, in the City of Camden. It is unknown, at the present
minute, just how this sum will be subdivided as payments on the
various properties involved, but a complete statement will be
subsequently furnished to me.

The above amount should be charged to an item of \$45,000.
in the gas construction budget calling for the purchase of additional
land at Camden.

Please let me have this check by 1:00 P.M. Wednesday, the
16th instant.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President.

HKF:WLE.

COPY

Newark, N.J., February 2nd, 1927.

George W. Jessup & Company,
#533 Market Street,
Camden, N. J.

Attention: Mr. W. W. Chalmers

Dear Sir:

Referring to my letter of January 28th, concerning property on the easterly side of Locust Street, between Spruce and Cherry Streets, the Gas Department inform me that the money for these purchases will not be released until about March 1st.

Therefore, it would be advisable to move slowly on this matter until the money is released. Of course, if we can get any of these properties listed with you for sale in the meantime, that might expedite the closing of the purchases when the money is released.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President

HKF:WLM

COPY

Camden

Newark, N.J., January 28th, 1927

George W. Jessup & Company,
#535 Market Street,
Camden, N. J.

Attention: Mr. W. W. Chalmers.

Dear Sirs:

I have been informed by our Gas Department that they have an item in the 1927 Budget for the purchase of the premises located on the easterly side of Locust Street, between Spruce and Cherry Streets, being street Nos. 900 to #932, inclusive on Locust Street.

The actual money for this purchase has not yet been released, but we expect a release in a very short time.

It may be, however, that you would desire to do some preliminary work in reference to acquiring these properties, particularly ascertaining if any of them are on the market or whether you could obtain a listing of them so that when we advise you the money is released, you will be in a position to proceed to secure these premises.

Yours truly,

(HARRY K. FORD)
Real Estate Assistant
to the Vice President.

HKF:WLR

Public Service Electric and Gas Company

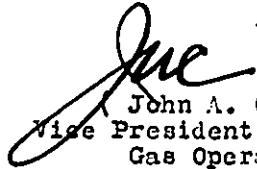
Newark, N. J., January 28th 1927.

To the Vice President In Charge
of Real Estate & Purchases:

In reply to your letter of the 24th of January, regarding Real Estate Items in this year's budget, I have to advise you that the only item is the purchase of land in Camden. This I expect will be released about the 1st of March and you can then proceed with your negotiations. I will advise you just as soon as the release is ready:

There are other minor items however, which may be of interest from a taxing standpoint, and these are as follows:

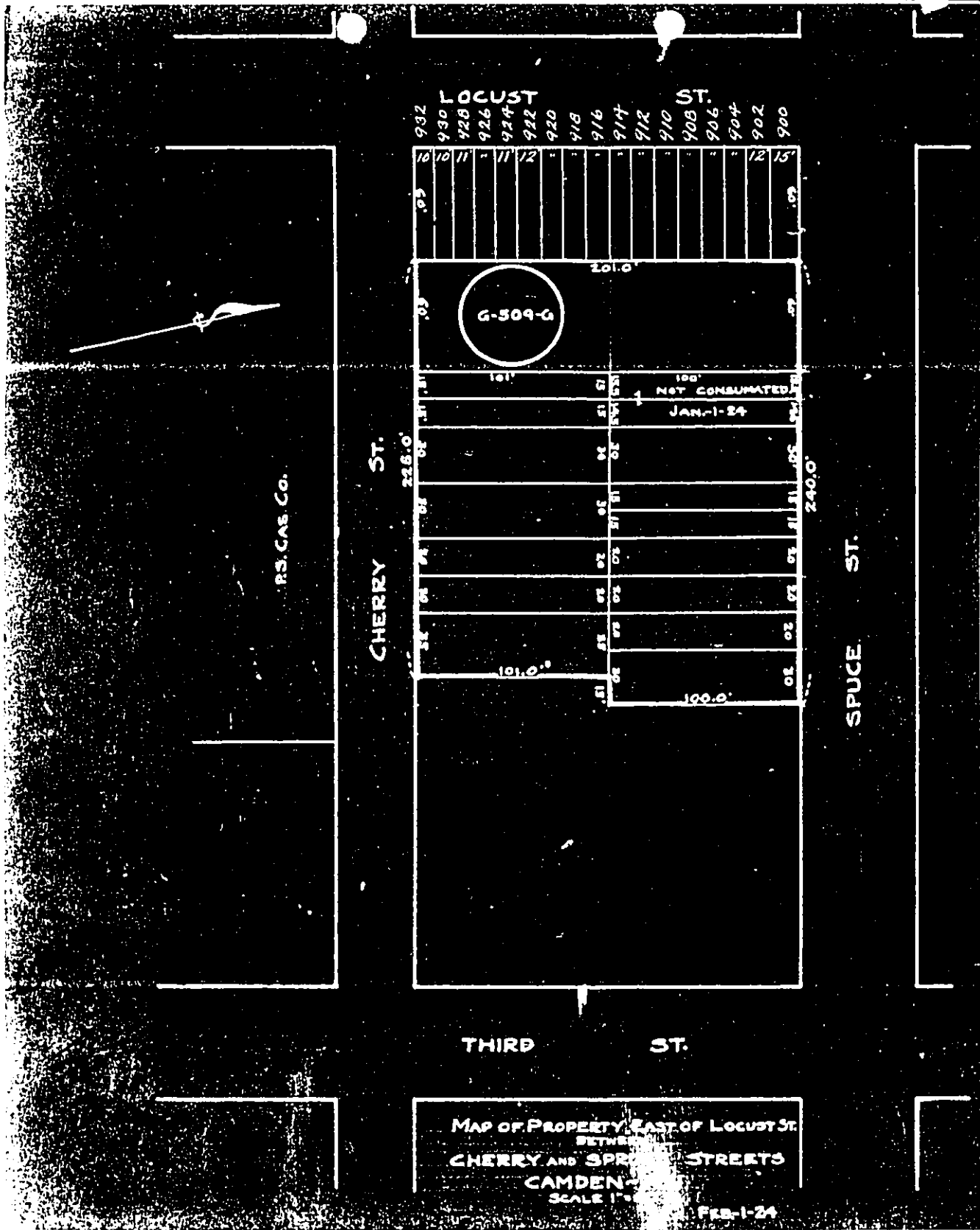
Addl. Storeroom, No. Park St. East Orange,	\$46,523.00
Sewer Assessment, Jersey St. Newark,	4,220.35
Garage, Bayonne,	500.00
Ridgewood Shop, Ridgewood,	50,000.00
Additional Land, Camden,	45,000.00
Garage, South Amboy,	400.00


(John A. Clark)
Vice President In Charge of
Gas Operation.

OFFICE OF
THE PRESIDENT IN CHARGE OF
REAL ESTATE AND PURCHASES



RECEIVED
FEB 8 1927



PREPARED BY:


MARC A. BONDINO
City Attorney



THIS DEED, made this 18th day of November 2010, Between THE CITY OF CAMDEN, a Municipal Corporation of the State of New Jersey having its principal office in City Hall, in the City and County of Camden and State of New Jersey, herein designated as the GRANTOR, and

NEW JERSEY PROPERTIES, INC., who address is 80 Park Plaza, T6B, Newark, NJ 07102, herein designated as the GRANTEE

WITNESS, That the Grantor, for and in consideration of the sum of ONE HUNDRED THOUSAND DOLLARS (\$100,000.00) does GRANT and CONVEY (Transfers ownership of) unto the GRANTEE, its successors, and assigns, TO HAVE and TO HOLD, all those tracts or parcels of land and premises situate in THE CITY OF CAMDEN, COUNTY OF CAMDEN, and STATE OF NEW JERSEY, more particularly bounded and described as follows:

Tract No. 1

BEING premises known as ES Locust-Cherry to Walnut Street designated on the Official Map of the City of Camden as Block 243, Lot 1.

BEGINNING at a corner formed by the intersection of the northerly line of Walnut Street, with the easterly line of Locust Street; thence

(1) Easterly, along said northerly line of Walnut Street, 300 feet to a corner in the easterly line of lands of Public Service Electric and Gas Company, distant therein westerly 151 feet from its intersection with the westerly line of Third Street; thence the following five courses and distances along said easterly line of lands of Public Service Electric and Gas Company

(2) Northerly, at right angles to said northerly line of Walnut Street 64 feet to corner in the same distant southerly 135 feet measured at right angles from the southerly line of Cherry Street,

(3) Easterly, parallel with and distant southerly 135 feet measured at right angles from said southerly line of Cherry Street 60 feet to a corner in the same,

(4) Northerly, at right angles to said southerly line of Cherry Street 36 feet to a corner in the same,

(5) Westerly, parallel with and distant southerly 98.92 feet measured at right angles from said southerly line of Cherry Street 40 feet to a corner in the same,

(6) Northerly, at right angles to said southerly line of Cherry Street 98.92 feet to a corner in said southerly line of Cherry Street distant therein westerly 131 feet from its intersection with the easterly side of Third; thence

(7) Westerly, along said southerly side of Cherry Street 320 feet to a corner formed by its intersection with the aforesaid easterly line of Locust Street; thence

(8) Southerly, along said easterly line of Locust Street, 200.83 feet to the point and place of beginning.

Said Premises furthermore described in attached Exhibit "A" in accordance with survey by Greg S. Gloor, PLA, for Dresdner Robin Henson Engineering Division dated April 20, 2010.

Tract No. 2

BEING premises known as **SW Locust and Spruce Street** designated on the Official Map of the City of Camden as Block 232, Lot 58.

BEGINNING at a point in the westerly line of Locust Street, distant therein southerly 65 feet from its intersection with the southerly line of Spruce Street; thence the following two courses and distances along remaining lands of Public Service Electric and Gas Company

(1) Westerly, parallel with said southerly line of Spruce Street, having interior angle of 89 degrees 58 minutes 40 seconds wide, 152 feet to a point,

(2) Northerly parallel with said westerly line of Locust Street, having interior angle of 90 degrees 01 minutes 20 seconds, 65 feet to a point in said southerly line of Spruce Street; thence

(3) Easterly, along said southerly line of Spruce Street, 152 feet to its intersection with the aforesaid westerly line of Locust Street; thence

(4) Southerly, along said westerly line of Locust Street, 65 feet to the point and place of beginning.

Said Premises furthermore described in attached Exhibit "A" in accordance with survey by Greg S. Gloor, PLA, for Dresdner Robin Henson Engineering Division dated April 20, 2010.

AND BEING the same land and premises title to which became vested in the City of Camden when the Final Judgment of an In Rem Tax Foreclosure Action, known as Tax Foreclosure List No. 172 (Docket No. F-18131-99) and recorded December 28, 2000 in the Camden County Clerk's Office in Deed Book 5136 at pages 249&c. Said Action being further confirmed by Order Approving Sale and Entering Judgment, (Docket No. 26633-10), dated November 12, 2010 attached hereto as Exhibit "C"

AN ORDINANCE authorizing exposure to sale of these lands and premises was approved by the Camden City Council on January 8, 2008 MC-4345. The public sale took place on March 12, 2008; a resolution authorizing execution of the deed to these lands and premises was approved by Camden City Council on April 8, 2008.

THIS CONVEYANCE is made subject to the following conditions, restrictions and covenants, viz:

a. The lands and premises described herein shall not be used as a used car lot, junk yard or any other purpose which is dangerous or emits noxious or offensive odors or noises.

b. The grantee covenants and agrees to the condition that the water tower be demolished and remediation of the land be completed within one (1) year of the date of the deed.

c. Subject, also to any and all conditions set forth in the Ordinance authorizing exposure to public sale, notice of the sale published in the Courier Post on February 27, 2008 and March 5, 2008 and Resolution authorizing execution of the deed, which conditions shall survive settlement.

d. Upon default of these conditions or covenants, the City of Camden shall have right of re-entry to the land and premises. Any consideration paid by the Grantee shall be retained by the City of Camden as liquidated damages and not as a penalty.

PROMISE OF GRANTOR by this Deed the Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to Grantor's acts." This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property, such as by making a mortgage or allowing a judgment to be entered against the Grantor.


IN WITNESS WHEREOF, the Grantor has on this day affixed its Corporation Seal and caused this Deed to be signed and attested by its proper officers.

CITY OF CAMDEN:

ATTEST: 
LUIS PASTORIZA
Municipal Clerk

BY: 
DANA L. REDD
Mayor

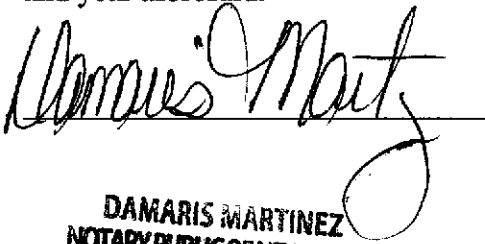
The above has been reviewed and approved as to form.


BY: 
MARC A. RIONDINO
City Attorney

STATE OF NEW JERSEY)
) §
COUNTY OF CAMDEN)

BE IT REMEMBERED that on this 18th day of November 2010, before me, personally appeared Luis Pastoriza, who being duly sworn, upon his oath, says that he is the Municipal Clerk of the City of Camden, the Grantor herein, and that Dana L. Redd is the Mayor; that deponent knows the Corporate Seal of the City of Camden, that this Deed was signed by the Mayor and its Corporate Seal affixed in the presence of deponent; that this Deed was signed, sealed and delivered as the voluntary act and deed of the City of Camden that an Ordinance authorizing execution of this Deed was approved on April 8, 2008 and that at the execution of this Deed deponent subscribed his name as a witness thereto. The entity named in this Deed made this deed for \$100,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5).

Sworn and Subscribed this day and year aforesaid.


DAMARIS MARTINEZ
NOTARY PUBLIC OF NEW JERSEY
Commission Expires 7/5/2012


LUIS PASTORIZA
Municipal Clerk

Sworn to and subscribed before me this 18 day of NOV 2010.

Record and Return to:
Corporate Properties Department
PSEG Services Corp.
80 Park Plaza T6B
Newark, NJ 07102-4194



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION
(C.55, P.L. 2004)

(Please Print or Type)

SELLER(S) INFORMATION (See Instructions, Page 2)

Name(s)

CITY OF CAMDEN

Current Resident Address:

Street: 520 MARKET STREET, CAMDEN, NEW JERSEY

City, Town, Post Office

State

Zip Code

PROPERTY INFORMATION (Brief Property Description)

Block(s)

Lot(s)

Qualifier

243 & 232

1 & 58

Street Address:

ES LOCUST-CHERRY TO WALNUT STREET & SW LOCUST AND SPRUCE STREET, CAMDEN, NEW JERSEY

City, Town, Post Office

State

Zip Code

100%

\$100,000.00

11/18/10

Seller's Percentage of Ownership

Consideration

Closing Date

SELLER ASSURANCES (Check the Appropriate Box)

1. I am a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to N.J.S.A. 54A:1-1 et seq. and will file a resident gross income tax return and pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property being sold or transferred is used exclusively as my principal residence within the meaning of section 121 of the federal Internal Revenue Code of 1986, 26 U.S.C. s. 121.
3. I am a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate or trust and as such not required to make an estimated payment pursuant to N.J.S.A.54A:1-1 et seq.
6. The total consideration for the property is \$1,000 or less and as such, the seller is not required to make an estimated payment pursuant to N.J.S.A. 54A:5-1-1 et seq.
7. The gain from the sale will not be recognized for Federal income tax purposes under I.R.C. Section 721, 1031, 1033 or is a cemetery plot. (CIRCLE THE APPLICABLE SECTION). If such section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale.
8. Transfer by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this state.

SELLER(S) DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein could be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete.

11/18/10
Date

Signature
(Seller) Please indicate if Power of Attorney or Attorney in Fact

Date

Signature
(Seller) Please indicate if Power of Attorney or Attorney in Fact

BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY

COUNTY CAMDEN } SS. County Municipal Code 0408
MUNICIPALITY OF PROPERTY LOCATION CAMDEN

FOR RECORDER'S USE ONLY	
Consideration	\$ _____
RTF paid by seller	\$ _____
Date	By _____

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions # 3 and #4 on reverse side)

Deponent, MARC A. RIONDINO being duly sworn according to law upon his/her oath, deposes and says that he/she is the LEGAL REPRESENTATIVE in a deed dated 11-8-10 transferring (Grantor, Legal Representative, Corporate Officer, Officer of Title Co., Lending Institution, etc.) real property identified as Block number 243 & 232 Lot number 1 & 58 located at ES LOCUST-CHERRY TO WALNUT ST & SW LOCUST & SPRUCE STREET, CAMDEN, NJ and annexed thereto. (Street Address, Town)

(2) CONSIDERATION \$ 100,000.00 (See Instructions #1 and #5 on reverse side)

(3) Property transferred is Class 4A 4B 4C. (circle one) If Class 4A, calculation in Section 3A is required.

(3A) REQUIRED CALCULATION OF EQUALIZED ASSESSED VALUATION FOR ALL CLASS 4A COMMERCIAL PROPERTY TRANSACTIONS: (See Instructions #5A and 7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Valuation

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized value.

(4) FULL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

8(b) THE CITY OF CAMDEN IS A MUNICIPAL CORPORATION

(5) PARTIAL EXEMPTION FROM FEE (See Instruction #9 on reverse side)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic Fee, Supplemental Fee, and General Purpose Fee, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004 and C. 66, P.L. 2004 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) 62 years of age or over. * (See Instruction #9 on reverse side for A or B)
- B. BLIND PERSON Grantor(s) legally blind or: *
- DISABLED PERSON Grantor(s) permanently and totally disabled Receiving disability payments Not gainfully employed*

Senior citizens, blind or disabled persons must also meet all of the following criteria.

- Owned and occupied by grantor(s) at time of sale.
- Resident of the State of New Jersey.
- One or two-family residential premises.
- Owners as joint tenants must all qualify.

*IN THE CASE OF HUSBAND AND WIFE, ONLY ONE GRANTOR NEEDS TO QUALIFY IF OWNED AS TENANTS BY THE ENTIRETY.

C. LOW AND MODERATE INCOME HOUSING (See Instruction #9 on reverse side)

- Affordable according to H.U.D. standards.
- Reserved for occupancy.
- Meets income requirements of region.
- Subject to resale controls.

(6) NEW CONSTRUCTION (See Instructions #2, #10 and # 12 on reverse side)

- Entirely new improvement.
- Not previously occupied.
- Not previously used for any purpose.
- "NEW CONSTRUCTION" printed clearly at the top of the first page of the deed.

(7) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this 18 day of Nov, 2010

Signature of Deponent

CITY OF CAMDEN
Grantor Name

520 MARKET ST/CITY HALL
Grantor Address at Time of Sale

Name/Company of Settlement Officer

DAMARIS MARTINEZ
NOTARY PUBLIC OF NEW JERSEY
Commission Expires 7/5/2012

The Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and may not be altered or amended without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division of Taxation website at: www.state.nj.us/treasury/taxation/lpt/localtax.htm.

FOR OFFICIAL USE ONLY	
Instrument Number _____	County _____
Deed Number _____	Book _____ Page _____
Deed Dated _____	Date Recorded _____

County Recording Offices shall forward one copy of each Affidavit of Consideration for Use by Seller when Section 3A is completed.

STATE OF NEW JERSEY - DIVISION OF TAXATION
PO BOX 251
TRENTON, NJ 08645-0251
ATTENTION: REALTY TRANSFER FEE UNIT

Legal Description

Job No. 9788-28

DEED DESCRIPTION
BLOCK 243, LOT 1
CITY OF CAMDEN,
CAMDEN COUNTY NEW JERSEY

Beginning at a point formed by the intersection of the easterly sideline of Locust Street (60 feet wide) and the northerly sideline of Walnut Street (60 feet wide), said point having New Jersey state plane coordinates (NAD-83) of North: 401,254.155 (ft), East: 316,634.610 (ft) and running on the ground—

- 1) North 85°24' 08" East 300.00 feet along the northerly sideline of Walnut Street (60 feet wide) to the westerly corner of a 4 foot wide alley; thence
- 2) North 04°35'52" West 64.00 feet along the westerly sideline of said 4 foot wide alley to the northerly corner of same; thence
- 3) North 85°24' 08" East 60.00 feet along the northerly sideline of said 4 foot wide alley to a point in the westerly sideline of the lands of Albert McNeil as described in deed book 2890, page 1803; thence
- 4) North 04°35'52" West 36.00 feet along said westerly lands of McNeil to a point; thence
- 5) South 85°24' 08" West 40.00 feet to a point; thence
- 6) North 04°35'52" West 100.83 feet to a point in the southerly sideline of Cherry Street (40 feet wide)
- 7) South 85°24' 08" West 320.00 feet along the southerly sideline of Cherry Street (40 feet wide) to the easterly sideline of Locust Street (60 feet wide)
- 8) South 04°35'52" East 200.83 feet along the easterly sideline of Locust Street (60 feet wide) to a point, the point and place of Beginning.



Greg S. Gloor, PLS
N.J. Land Surveyor No. 37189

EXHIBIT A

Legal Description

Job No: 9788-28

DEED DESCRIPTION
BLOCK 232, LOT 58
CITY OF CAMDEN,
CAMDEN COUNTY NEW JERSEY

Beginning at a point in the westerly sideline of Locust Street (60 feet wide), said point lying South 04°34'30" East 65.00 feet along the westerly sideline of Locust Street (60 feet wide) from the intersection formed by the westerly sideline of Locust Street (60 feet wide) and the southerly sideline of Spruce Street (60 feet wide), said point also having New Jersey state plane coordinates (NAD-83) of North: 401,624.939 (ft), East: 316,544.547 (ft) and running on the ground-

- 1) South 85°24' 10" West 152.00 feet along the lands of Public Service Electric and Gas Co. to a point; thence
- 2) North 04°34'30" West 65.00 feet along the lands of Public Service Electric and Gas Co. to a point in the southerly sideline of Spruce Street (60 feet wide); thence
- 3) North 85°24' 10" East 152.00 feet along the southerly sideline of Spruce Street (60 feet wide) to the westerly sideline of Locust Street (60 feet wide); thence
- 4) South 04°34'30" East 65.00 feet along the westerly sideline of Locust Street (60 feet wide) to a point, the point and place of Beginning.



Greg S. Gloor, PLS
N.J. Land Surveyor No. 37189

EXHIBIT B

JERROLD S. KULBACK, ESQUIRE
 ARCHER & GREINER
 A Professional Corporation
 One Centennial Square
 East Euclid Avenue
 Haddonfield, NJ 08033
 (856) 795-2121
 Attorneys for Plaintiff, City of Camden

CITY OF CAMDEN, a municipal corporation,
 Plaintiff,

v.

1. Block 243, Lot 1
 ES Locust-Cherry to
 Walnut and other lands
 Assessed to Robert Hargrove
2. Block 232, Lot 58
 SW Locust & Spruce Sts.
 Assessed to Robert Hargrove

SUPERIOR COURT OF NEW JERSEY
 CAMDEN COUNTY
 CHANCERY DIVISION

DOCKET NO. F-26633-10

*Civil Action
 In Rem*

TAX RE-FORECLOSURE LIST 187

**ORDER APPROVING SALE AND
 ENTERING FINAL JUDGMENT**

THIS MATTER being opened to the Court by Plaintiff, City of Camden ("Plaintiff"), by and through its attorneys, Archer & Greiner, A Professional Corporation, Jerrold S. Kulback, appearing; and

IT APPEARING that on or about November 8, 1999, Plaintiff filed a Complaint in the Superior Court of New Jersey, Camden County, Chancery Division, Docket No. F-18131-99 (the "First Foreclosure"). The object of the First Foreclosure was to foreclose *in rem* certain tax sale certificates (the "Tax Certificates") relating to property located at Block 243, Lot 1, City of Camden, and Block 232, Lot 58, City of Camden (collectively, the "Properties"), which Properties were assessed to Robert Hargrove (the "Original Owner"), as more fully described in Tax Re-Foreclosure List No. 187 annexed hereto as Schedule A; and

EXHIBIT C

IT FURTHER APPEARING that Final Judgment was entered in the First Foreclosure on December 28, 2010, which Final Judgment was recorded with the Office of the Camden County Clerk on January 18, 2001, in Book 5136, Page 249, thereby vesting title in the Properties in Plaintiff pursuant to N.J.S.A. 54:5-104.65; and

IT FURTHER APPEARING that following entry of Final Judgment in the First Foreclosure, Plaintiff sought to sell the Properties to New Jersey Properties, Inc. (the "Buyer"), but was been unable to convey marketable title to the Buyer as a result of an asserted irregularity in the First Foreclosure, namely improper notice of the First Foreclosure upon a mortgagee, American Business Credit, Inc., but in all other respects the First Foreclosure was proper; and

IT FURTHER APPEARING that Plaintiff filed the instant Complaint to re-foreclose the Tax Certificates, pursuant to the provisions of the "In Rem Tax Foreclosure Act" N.J.S.A. 54:5-104.29, et seq. (the "Act"), as amended in the Rules of this Court governing practices and procedures to foreclose *in rem*, to rectify the aforementioned irregularity and allow the sale to the Buyer to proceed; and

IT FURTHER APPEARING that notice of this re-foreclosure action in the form prescribed by said Act and Rules of the Court was published once on July 28, 2010, in the Courier Post, a newspaper circulating in the City of Camden, the municipality where the properties to be affected are located; that notice was posted in the offices of the Tax Collector of the City of Camden, County Clerk of the County of Camden and in three (3) other conspicuous places within the municipality within which said lands are located; that notice of foreclosure was properly served upon all parties to this action, including but not limited to American Business Credit, Inc., and forwarded to the Attorney General in accordance with Rule 4:64-7(c) of the Rules of Court; and

IT FURTHER APPEARING no answers have been filed in this cause, by persons having, or claiming to have a right, title or interest in or lien upon any parcel of lands described in the Complaint herein within the time fixed by Rule 4:64-7(c); and

IT FURTHER APPEARING that Plaintiff has filed a copy of the Complaint in the Office of the Tax Collector of the City of Camden, in the Office of the County Clerk of Camden County and in the Office of the Attorney General of the State of New Jersey; and the Court having read and considered the verified Complaint filed herein, together with the proofs of publication and service of said Notice of Foreclosure; and

IT FURTHER APPEARING that the Court has read and considered the affidavit showing that there have been no redemption of the tax sale certificates.

IT FURTHER APPEARING that all or a portion of some or all of the lands against which Final Judgment is now entered in favor of Plaintiff may be subject to a paramount claim by the State of New Jersey to the degree they are lands currently flowed by the mean high tide, or subject to the limitation against actions set forth in Article 9, Section V, Paragraph 1, of the New Jersey Constitution (1947), to the degree they are lands formerly flowed by the mean high tide. This judgment does not affect whatever paramount title the State may have in any tidelands involved, in this action; and the Court being satisfied and having determined that there has been compliance with N.J.S.A. 54:5-104.29 et seq., and the Rules of the Court;

IT IS THEREUPON on this 12th day of November, 2010;

ORDERED and ADJUDGED that the filing of this action and entry of this Order shall not be deemed to vacate, revoke or have any effect upon the Final Judgment entered in the First Foreclosure. Title to the Properties shall remain with Plaintiff pursuant to the recorded Final Judgment in the First Foreclosure and N.J.S.A. 54:5-104.65. Any and all persons who held a vested or contingent title

or interest in, or lien or claim upon or against the Properties, and who were barred of the right of redemption and foreclosed under the Final Judgment in the First Foreclosure, including mortgages and leases or tenancies, shall remain barred of the right of redemption and foreclosed notwithstanding the filing of this action or entry of this Order; and

IT IS FURTHER ORDERED and ADJUDGED that Plaintiff may immediately sell the Properties to New Jersey Properties, Inc., or its designee, free and clear of any right, title and interest of all persons having a vested or contingent title or interest in, or lien or claim upon or against the Properties, including but not limited to American Business Credit, Inc. This Order shall act as a bar, both at law and in equity, against all persons having a vested or contingent title or interest in, or lien or claim upon or against the Properties and all persons or entities claiming, by, from or under them or any of them and that said parties and each of them stand absolutely debarred and foreclosed of and from any and all equity of redemption of, in and to said Properties. This Order is deemed to operate as a release of all liens, claims and encumbrances of any kind or nature, whether legal or equitable, secured or unsecured, matured or unmatured, contingent or non-contingent, on the Properties as of the closing. This Order is binding upon filing agents and officers, all government departments and units, whether federal, state, local or of a foreign state (or subdivision thereof), who may be required by operation of law, or the duties of office or of contract, to accept, file, register or otherwise record or release any documents or instruments or who may be required to report or insure any title or state of title in or to the properties (all such entities being "Recording Officers"). All Recording Officers are authorized and specifically directed to strike recorded liens, claims and encumbrances against the properties recorded prior to the date of this Order. This Order is deemed to be in recordable form sufficient to be placed in the filing or recording system maintained by any Recording Officer; and

IT IS FURTHER ORDERED and ADJUDGED that all persons having a vested or contingent title or interest in, or lien or claim upon or against the properties, including but not limited to American Business Credit, Inc. and the State of New Jersey, and any agency and personal representative and their or any of their heirs, devisees, executors, administrators, grantees, assignees or successors in right, title or interest, notwithstanding any infancy or incompetency of such person or persons, and all other persons, their heirs, devisees, executors, administrators, grantees, assignees or successors be barred of the right of redemption and be foreclosed of all prior or subsequent alienations and descents of said lands and encumbrances thereon, including mortgages and leases or tenancies; and that, pending closing on the sale to New Jersey Properties, Inc., or its designee, as aforementioned, an absolute and indefeasible estate of inheritance in fee simple in aforesaid properties be vested, to the extent not already vested through the Final Judgment in the First Foreclosure, in the Plaintiff, the City of Camden a Municipal Corporation of the State of New Jersey; and

IT FURTHER APPEARING that all or a portion of some or all of the properties referred to herein may be claimed by the State of New Jersey as lands now or formerly flowed by the mean high tide. The State has not waived its immunity from suit. This judgment is not binding on the State with regard to its tidelands, and does not extinguish the State's paramount title to any tidelands; and

IT IS FURTHER ORDERED and ADJUDGED that, to the extent not already granted through the Final Judgment in the First Foreclosure, the Plaintiff, City of Camden, is granted, pending closing on the sale to New Jersey Properties, Inc., or its designee, as aforementioned, actual possession against all other persons of all Properties in which title in fee simple is vested

in it by this Final Judgment, and such process as is necessary and proper to secure plaintiff actual possession of aforesaid Properties is hereby authorized.


HON. MARY EVA COLALILLO, P.J.C.K.

opposed
 unopposed

0048896v1

This is not an official document



CAMDEN COUNTY, NJ
 CAMDEN COUNTY CLERK'S OFFICE
 DEED-OR BOOK 10955/745
 RECORDED 08/31/2018 08:46:48
 FILE NUMBER 2018061078
 RCPT #: 2071075; RECD BY: AL92
 RECORDING FEES \$83.00
 MARGINAL NOTATION \$0.00
 TOTAL TAX \$2.00



**Camden County
 Document Summary Sheet**

CAMDEN COUNTY CLERK 520 MARKET ST CAMDEN NJ 08102	Return Name and Address 1475 Haddon Avenue, LLC P.O. Box 445 Camden, NJ, 08101
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Official Use Only

Submitting Company					
Document Date (mm/dd/yyyy)		07/15/2016			
Document Type		Deed			
No. of Pages of the Original Signed Document (Including the cover sheet)		5			
Consideration Amount (If applicable)		\$1.00			
First Party <i>(Grantor or Mortgagor or Assignor)</i> <i>(Enter up to five names)</i>	Name(s)	(Last Name First Name Middle Initial Suffix) (or Company Name as written)		Address (Optional)	
	Sizemore, Dennis Sizemore, Martha				
Second Party <i>(Grantee or Mortgagee or Assignee)</i> <i>(Enter up to five names)</i>	Name(s)	(Last Name First Name Middle Initial Suffix) (or Company Name as written)		Address (Optional)	
	1475 Haddon Avenue, LLC				
Parcel Information <i>(Enter up to three entries)</i>	Municipality	Block	Lot	Qualifier	Property Address
	Camden Camden	243 243	2 8-14; 72		286-292 Cherry St. 933-947 S. 3rd St.
Reference Information <i>(Enter up to three entries)</i>	Book Type	Book	Beginning Page	Instrument No.	Recorded/File Date
*DO NOT REMOVE THIS PAGE. DOCUMENT SUMMARY SHEET (COVER SHEET) IS PART OF CAMDEN COUNTY FILING RECORD. RETAIN THIS PAGE FOR FUTURE REFERENCE.					

This is not an official document

DEED

This Deed prepared by:

Dennis Sizemore

Grantor: This Deed is made on July 15, 2016, between
Dennis Sizemore and Martha Sizemore, Husband & Wife, whose address is
121 Winterberry Lane, Hammonton, NJ, 08037, Grantor, and

Grantee: 1475 Haddon Avenue, LLC., a limited liability company incorporated in the state of
New Jersey, whose address is P.O. Box 445, Camden, New Jersey 08101, Grantee.

(The words "Grantor" and "Grantee" include all Grantors and Grantees under the Deed.)

Consideration:

The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. The transfer is made for the sum of one dollar (\$1.00). The Grantor acknowledges receipt of the money.

Tax Map Reference

(N.J.S.A. 46:15-2.1) Municipality of Camden, Block No. 243
Lot Nos 2, 8, 9, 10, 11, 12, 13, 14, & 72

No property tax identification number is available on the date of this deed.

Property: The property consists of the land and all the buildings and structures on the land in the City of Camden, County of Camden, and State of New Jersey.

Type of Deed: This Deed is called a Quitclaim Deed. The Grantor makes no promises as to ownership or title, but simply transfers whatever interest the Grantor has to the Grantee.

*Legal Description is:*TRACT I:

BEGINNING at a point in the South line of Cherry Street distant 65.50 feet West from the Southwest corner of South Third Street and Cherry Street, said point being the Northwest corner of a 3 feet wide alley; thence (1) West, along the South line of Cherry Street, 64.500 feet to a point, thence (2) South, parallel with South Third Street and deflecting 0 degrees 26 minutes 40 seconds to the East from a line at right angles to Cherry Street. 98.62 Feet to a point distant 100 feet North from the North line of Walnut Street, measured on a line parallel with South Third Street; thence (3) East, parallel with Walnut Street and making an interior angle of 90 degrees 8 minutes a distance of 64.50 feet to a point in the West line of the aforesaid 3 feet wide alley, parallel with South Third Street, 98.28 feet to the point and place of beginning.

Being premises known as #286-292 Cherry Street.

Being Lot 2, Block 243, Tax Map of said City.

TRACT II:

BEING premises known as 933 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 8. The dimensions of said premises measuring approximately 12 feet by 62 feet.

TRACT III:

BEING premises known as 935 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 9. The dimensions of said premises measuring approximately 12 feet by 62 feet.

TRACT IV:

BEING premises known as 937 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 10. The dimensions of said premises measuring approximately 12 feet by 62 feet.

TRACT V:

BEING premises known as 939 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 11. The dimensions of said premises measuring approximately 13 feet by 70 feet.

TRACT VI:

BEING premises known as 941 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 12. The dimensions of said premises measuring approximately 13 feet by 70 feet.

TRACT VII:

BEING premises known as 943 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 13. The dimensions of said premises measuring approximately 14 feet by 70 feet.

TRACT VIII:

BEING premises known as 945 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 14. The dimensions of said premises measuring approximately 14 feet by 70 feet.

TRACT IX:

BEING premises known as 947 South 3rd Street and designated on the Tax Assessment Map of the City of Camden as Block 243 Lot 72. The dimensions of said premises measuring approximately 12 feet by 70 feet.

Title of record to premises in question became vested in Dennis Sizemore & Martha Sizemore, Husband & Wife, by deed from Robert Hargrove and Marian Hargrove, his wife dated February 19, 1986, recorded February 25, 1986, in Deed Book 4113, page 0224 (Covers Tract I)

Title of record to premises in question became vested in Dennis Sizemore & Martha Sizemore, Husband & Wife, by deed from Robert Hargrove dated February 19, 1986, recorded February 25, 1986, in Deed Book 4113, page 0224 (Covers Tract II to IX)

Signature Of Grantor: The Grantor signs this Deed on the first date above. If the Grantor is a corporation this Deed is affixed by its corporate officers and its corporate seal.

Subject to restrictions and easements of record, if any, and zoning ordinances and such facts as an accurate survey may disclose.

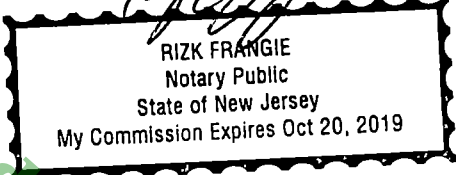
Grantee accepts property as-is, including any and all tax liens, fees, or outstanding obligations that may be due to the City of Camden, County of Camden, or State of New Jersey

By: *Dennis Sizemore*
Dennis Sizemore, Grantor

By: *Martha Sizemore*
Martha Sizemore, Grantor

Witnessed or Attested by: *Rizk Frangie* *Rizk Frangie*

STATE OF New Jersey
COUNTY OF Camden



I CERTIFY that on July 15th, 2016,
Dennis Sizemore & Martha Sizemore, Husband and Wife, personally came before me and stated to my satisfaction that this person:

- (a) is named in and personally signed this Deed
- (b) signed, sealed, and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$1.00 as the full and actual consideration paid for the transfer or title.
(Such consideration is defined in N.J.S.A 46:15-5)

DEED	RECORD AND RETURN TO:
Dennis Sizemore & Martha Sizemore	Shawn Burke P.O. Box 303 Collingswood, NJ, 08108
To	
Shawn Burke	



SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

(Please Print or Type)

SELLER'S INFORMATION

Name(s) Dennis Sizemore and Martha Sizemore

Current Street Address 121 Winterberry Lane

City, Town, Post Office Box Hammonton

State NJ

Zip Code 08037

PROPERTY INFORMATION

Block(s) 243 Lot(s) 2, 8, 9, 10, 11, 12, 13,14, 72 Qualifier

Street Address 286-292 Cherry Street; 933-947 South 3rd Street

City, Town, Post Office Box Camden

State NJ

Zip Code 08103

Seller's Percentage of Ownership 100 Total Consideration \$1,000 Owner's Share of Consideration \$1,000 Closing Date 7/15/2016

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

- 1. Seller is a resident taxpayer... 2. The real property sold... 3. Seller is a mortgagor... 4. Seller, transferor, or transferee... 5. Seller is not an individual... 6. The total consideration... 7. The gain from the sale... 8. The real property is being transferred... 9. The real property being sold... 10. The deed is dated... 11. The real property is being transferred... 12. The real property is being transferred... 13. The property transferred... 14. The seller is not receiving net proceeds...

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both.

8/8/2016 Date
8/8/2016 Date

Martha Sizemore Signature
Dennis Sizemore Signature

**METES AND BOUNDS DESCRIPTION
LANDS OF PUBLIC SERVICE ELECTRIC & GAS COMPANY
BLOCK 237, TAX LOT 55
CITY OF CAMDEN
CAMDEN COUNTY, NEW JERSEY**

BEGINNING at the point of intersection of the southerly line of Spruce Street (60 foot wide Right-of-Way per tax map) with the easterly line of Locust Street (60 foot wide Right-of-Way per tax map); furthermore said point having New Jersey State Plane Coordinate System Grid Values [NAD 1983 (2011)] of North: 401,694.54 feet; East: 316,599.20 feet, running thence along the ground in the NAD 1983 (2011) N.J.S.P.C.S. bearing base the following six (6) courses:

1. Along said line of Spruce Street, North 85°24'08" East, a distance of 300.00 feet to the intersection of the same with the dividing line between lands of Public Service Electric & Gas Company ("PSEG" – Tax Lot 55, Block 237 as being herein described) and lands now or formerly of the City of Camden (Tax Lot 64, Block 237) as described in Deed Book 9343, Page 1530, thence;
2. Along said dividing line, South 04°35'52" East, a distance of 100.00 feet to a corner to the same, thence;
3. Along the dividing line between lands of PSEG and lands now or formerly of the City of Camden (Tax Lot 84, Block 237) as described in Deed Book 5008, Page 345, North 85°24'08" East, a distance of 15.00 feet to a corner to the same, thence;
4. Along said dividing line, South 04°35'52" East, a distance of 121.00 feet to the intersection of the same with the former centerline of Cherry Street, now vacated per Municipal Ordinance #MC-5203 adopted June 11, 2019, thence;
5. Along said former centerline of Cherry Street, South 85°24'08" East, a distance of 285.00 feet to the intersection of the same with the aforementioned easterly line of Locust Street, thence;
6. Along said line of Locust Street, North 04°35'52" West, a distance of 221.00 feet to the point and place of **BEGINNING**.

The above-described parcel contains 64,485 Square Feet of Land or 1.480 Acres, more or less.
Subject to any and all other easements of record.

This description is prepared in accordance with a map entitled "Boundary & Topographic Survey, PSEG Locust Street Substation, Block 237 – Lot 55, Block 243, Lot 1, City of Camden, Camden County, N.J.", prepared by PSEG Services Corporation, Surveys & Mapping, 80 Park Plaza, T6B, Newark, N.J. 07102, and dated December 18, 2023.

Michael D. Ragsdale, P.L.S.
NJ Professional Land Surveyor
License No. GS43323

**METES AND BOUNDS DESCRIPTION
LANDS OF PUBLIC SERVICE ELECTRIC & GAS COMPANY
BLOCK 243, TAX LOT 1
CITY OF CAMDEN
CAMDEN COUNTY, NEW JERSEY**

BEGINNING at a point marked with a iron bar found at the intersection of the northerly line of Walnut Street (60 foot wide Right-of-Way per tax map) with the easterly line of Locust Street (60 foot wide Right-of-Way per tax map); furthermore said point having New Jersey State Plane Coordinate System Grid Values [NAD 1983 (2011)] of North: 401,254.16 feet; East: 316,634.61 feet, running thence along the ground in the NAD 1983 (2011) N.J.S.P.C.S. bearing base the following eight (8) courses:

1. Along said line of Locust Street, North 04°35'52" West, a distance of 220.83 feet to the intersection of the same with the former centerline of Cherry Street, now vacated per Municipal Ordinance #MC-5203 adopted June 11, 2019, thence;
2. Along said former centerline of Cherry Street, North 85°24'08" East, a distance of 315.01 feet to the intersection of the same with the dividing line of lands of Public Service Electric & Gas Company ("PSEG" – Tax Lot 1, Block 243 as being herein described) and lands now or formerly of 1475 Haddon Avenue, LLC (Tax Lot 2, Block 243) as described in Deed Book 10955, Page 745, thence;
3. Along said dividing line, South 04°35'52" East, a distance of 120.83 feet to a corner to the same marked with an iron bar found, thence;
4. Along said dividing line, North 85°24'08" East, a distance of 40.00 feet to a corner to the same marked with an iron bar found, thence;
5. Along the dividing line between said lands of PSEG and lands now or formerly of Albert Alexander McNeil (Tax Lot 16, Block 243), South 04°35'52" East, a distance of 36.00 feet to the intersection of the same with the northerly line of a 4 foot wide Alley (per tax map) marked with an iron bar found, thence;
6. Along said line of said Alley, South 85°24'08" West, a distance of 60.00 feet to a corner to the same marked with an iron bar found, thence;
7. Along the westerly line of said 4 foot wide Alley, South 04°35'52" East, a distance of 64.00 feet to the intersection of the same with the aforementioned northerly line of Walnut Street, said point marked with an iron bar found, thence
8. Along said line of Walnut Street, South 85°24'08" West, a distance of 300.00 feet to the point and place of **BEGINNING**.

The above-described parcel contains 70,817 Square Feet of Land or 1.625 Acres, more or less.
Subject to any and all other easements of record.

This description is prepared in accordance with a map entitled "Boundary & Topographic Survey, PSEG Locust Street Substation, Block 237 – Lot 55, Block 243, Lot 1, City of Camden, Camden County, N.J.", prepared by PSEG Services Corporation, Surveys & Mapping, 80 Park Plaza, T6B, Newark, N.J. 07102, and dated December 18, 2023.

Michael D. Ragsdale, P.L.S.
NJ Professional Land Surveyor
License No. GS43323

August 22, 2024

Ms. Kathy Hering, P.E., P.P., C.M.E.
Public Service Electric and Gas Company
400 Hadley Road, Mail Code 430
South Plainfield, NJ 07080

**Re: Will Serve Letter for Sanitary Sewer/Water Service
PSE&G Locust Street Substation & Breaker
Locust and Spruce Street
City of Camden, Camden County, New Jersey**

Dear Ms. Kathy Hering:

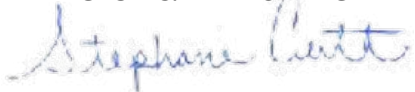
The attached will serve letter for the Sanitary Sewer/Water Service for the PSE&G Locust Street Substation & Breaker is contingent upon the following:

1. This will serve provides clarity that infrastructure is available in the vicinity of the property and does not make any comments on the pressure / volume availabilities in the water system or downstream capacities in the sanitary system.
2. The applicant shall be responsible for paying all connection fees to the City of Camden prior to connecting to the systems.
3. This will serve letter shall expire if the connection to the water and sanitary main is not completed within one (1) year of this letter.

Should you have any questions or require additional information, please contact Raven Linton at 856-684-0034 or raven.linton@rve.com.

Sincerely,

REMINGTON & VERNICK ENGINEERS



Stephanie Cuthbert, PE, CME
Principal / Water & Wastewater Division Manager



DEPARTMENT OF PLANNING & DEVELOPMENT
CITY OF CAMDEN
NEW JERSEY

VICTOR CARSTARPHEN
MAYOR

Division of Capital Improvements
and Project Management
(856) 757-7680

August 7, 2024

Ms. Kathy Hering, P.E., P.P., C.M.E.
Public Service Electric and Gas Company
4000 Hadley Road, Mail Code 430
South Plainfield, NJ 07080

Re: **Will Serve Letter for Sanitary Sewer/Water Service**
PSE&G Locust Street Substation & Breaker
Locust and Spruce Street
City of Camden, Camden County, New Jersey

Dear Ms. Kathy Hering:

You have inquired as to the availability of water and sewer services at/or near the above referenced site.

The City of Camden provides water and sewer services for the area in question. American Water Contract Services, LLC (AWCS) operates and maintains both services on behalf of the City of Camden.

It is important to note the following:

- (1) The City of Camden and the Water/Sewer Utility Operator (AWCS) must review the specific plans and specifications to determine which lines will be used to provide service to the new facility.
- (2) The Applicant/Developer of the project is responsible for the payment of design review costs incurred by the City of Camden and Utility Operators.
- (3) The Applicant/Developer will be responsible for all costs associated with connection to the utilities within the City of Camden.

In conclusion, water and sewer service is available at/near the site. I recommend that you contact American Water Contract Service, and my office for active consultation on specific locations and designs to be used.

Please contact this office (attn.: Stephanie Walker) at 856.757.7680 to schedule a meeting on this subject.

I look forward to hearing from you.

Sincerely,



Dr. Edward C. Williams, PP, AICP, CSI, AHP, CZO, CPZBS
Director of Planning and Development/Zoning Officer

Cc: Timothy Cunningham, Business Administrator
Keith L. Walker, Director (Public Works)
Dalvin Krug, General Manager (American Water Contract Services)
Brian Cianfrani, Asst. General Manager (American Water Contract Services)

ECW:sw

RESOLUTION OF THE PLANNING BOARD**OF THE CITY OF CAMDEN****GRANTING PRELIMINARY AND FINAL MAJOR SITE PLAN APPROVAL TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY FOR NORTH EAST OF THE INTERSECTION OF LOCUST STREET AND WALNUT STREET, BLOCK 237, LOT 55 AND BLOCK 243,****LOT 1 P**

WHEREAS, The PUBLIC SERVICE ELECTRIC AND GAS COMPANY ("Applicant") has submitted an application to the City of Camden Planning Board ("Board") requesting Preliminary and Final Major Site Plan approval to develop an electric substation and capacitor bank. The initial phase will entail the construction of a substation on Lot 1 of Block 243. The second phase will entail the construction of a capacitor bank on Lot 55 of Block 237; and

WHEREAS, on December 1, 2011, the Board held a special planning board meeting in accordance with N.J.S.A. 40: 55D-1 et. seq., the Municipal Land Use Law, and N.J.S.A. 10: 4-6 et. seq., the Open Public Meeting Act to consider said application; and

WHEREAS, the application as submitted requires the Board to consider the following variances in addition to the Applicant's compliance with the City's Site Plan Ordinance requirements pursuant to the Municipal Land Use Law. The Applicant seeks variances for the following relief:

A. Variances

- Section 577-56- maximum site area (each parcel). Section 577-K - parking between building line and street line

- Section 577-56 – maximum height, Block 243, Lot 1.
- Section 577-56 – minimum height (each parcel).
- Section 577-56 – maximum lot coverage (each parcel).
- Section 577-199H – number of principle structures (Block 243, Lot 1).

B. Waivers:

1. Section 577-243.A.6 Luminaire Uplighting
2. Section 577-243.A.10 Over the Property Line Illumination Levels
3. Section 577-243.A.15.b Luminaire Mounting Height

WHEREAS, in addition to the expert testimony presented by the Applicant, the Board received Site Layout Plans, Soil Erosion Plans, Site Landscaping Plans, Site Lighting Plans, Site Utility Plans, Elevation Plans, Boundary and Topography Survey Plans, Stormwater Management Reports, Environmental Impact Assessor Report; and

WHEREAS, the Applicant marked as exhibits and introduced into evidence exhibits to be made a part of the record and to be reviewed by the Board in support of the Application. The Planning Board Engineer, Remington and Vernick, issued a comprehensive 12-page review letter dated October 6, 2011. The municipal engineer has issued a memorandum dated November 3, 2011.

Both letters are on file with the Planning Board Secretary and are incorporated by reference herein; and

WHEREAS, The Applicant provided testimony to the Board as to its compliance with the standards set forth in the Municipal Ordinance as follows:

1. The Applicant's proposed use is classified as a permitted principal use for the prevailing zoning provided adherence to the standard enumerated for such facilities at Section 577-191 and Section 577-192. The Zoning Board of Adjustment for the City of Camden has granted a use variance to this Applicant for the proposed uses on the site forth in this Application.
2. The Applicant, through its experts, provided testimony with regards to Drainage and Storm-water Management Issues. The Applicant agreed as part of their testimony, to comply with the technical issues set forth in the Engineer's Review Letter regarding stormwater collection and conveyance. The Applicant has agreed to provide a maintenance plan for the stormwater management plan proposed on the site.

WHEREAS, the Applicant has sustained their burden of proof to support the requested variances in accordance with the statute N.J.S.A. 40: 55d-70(c) to wit: The Board makes the following findings of fact and conclusions of law:

A. The Board finds that the proposed development along with the deviations advance one or more of the following purposes as set forth in the Municipal Land Use Law (MLUL):

1. Encourage municipal action to guide the appropriate use or development of all lands in this state in a manner which will promote the health, safety, morals, and general welfare;
2. Promote the establishment of appropriate development that will contribute to the well-being of persons, neighborhoods, communities, and regions;
3. Promote a desirable visual environment through creative development;
4. Promote the efficient use of land;
5. Provide adequate open space;
6. Promote the free flow of traffic to and from the site; and

7. Provide sufficient space in appropriate locations for a variety of agricultural, residential, recreational, commercial and industrial uses and open space.

The benefits of the deviations substantially outweigh the detriments associated with the requested relief.

The Board finds that the Applicant has demonstrated that the granting of the deviations will neither cause substantial detriment to the public good nor impair the intent of the Zone Plan or Ordinance. One of the purposes of the Master Plan is to foster institutional development within the Zone. The development, with its proposed deviations, has met that purpose by replacing contaminated and underutilized lots with a new capacitor bank and electric substations that is well landscaped and visually attractive - a clear benefit to the City and the South Jersey Area. The new capacitor bank will allow for future development and revitalization of areas within the City of Camden.

There is virtually no detrimental impact on the neighborhood as setback requirements have been respected and the landscaping plan is substantial.

Thus, the Applicant has proposed a better design alternative than that available under existing zoning and is, therefore, entitled to the requested variance relief.

WHEREAS, in all other aspects of the Site Plan, the Applicant has agreed to comply with all of the comments and conditions contained in the Engineer's Review letter regarding the performance standards set forth in the Ordinance including the following:

- The Applicant shall provide the Board with all information regarding its compliance with the environmental assessment report as it relates to removal of all contaminants from the site.
- The Applicant shall be responsible for all capacity fee, if any, associated with this project.
- The plans shall be revised to reflect that all concrete storm drain pipes are to have either a rubber gasket or butyl tape joints.

WHEREAS, the Development Plans have been reviewed by the Planning Board Engineer whose findings and reports are incorporated herein and made part hereof and have been found to be in compliance with the engineering criteria and Zoning Ordinance Regulations of the City of Camden; and

WHEREAS, from the submissions made by the Applicant, the testimony and evidence presented by the Applicant and its experts, the testimony and evidence of all interested parties and based upon the entire record, the Board hereby incorporates as findings of fact, the testimony of the experts and Planning Board Engineer as being credible and the conclusions reached with regards to the standards regarding the application are incorporated as part of the findings and conclusions of law of this Board; and

WHEREAS, the testimony of members of the public with regards to this application are incorporated as part of the record; and

NOW THEREFORE BE IT RESOLVED by all members of the Planning Board voting for this action taken by the Board, after considering the City of Camden Zoning Ordinance, the application and plans, and considering all of the testimony and evidence presented at the hearing and based upon the findings of facts and conclusions of law, that the application of PUBLIC SERVICE ELECTRIC AND GAS COMPANY for Preliminary and Final Major Site Plan approval to development an electric substation and compactor bank is hereby granted along with the requested variances and waivers is subject to the following conditions:

1. The Applicant shall revise its plans to satisfactorily address the comments and conditions set forth by the Planning Board Engineer in its 12 page review letter dated October 6, 2011 and the memorandum provided by the City Municipal Engineer dated November 3, 2011.

2. The Applicant is hereby notified that prior to the issuance of any building permits:
 - a. Any and all conditions made a part of this approval, including those noted by reference in the reports of the consultants to the Board must be satisfied.
 - b. The Applicant shall pay all escrows, costs, and professional fees associated with the Application pursuant to the City of Camden Ordinances and MLUL within thirty (30) days of notice of said fees and costs.
 - c. Any inspection escrows and performance bonds required for this application and an estimate for all on/off site improvements, excluding structures, shall be reviewed and approved by the Planning Board Engineer.
3. All agreements and representations made by the Applicant as set forth at the hearing in this matter and/or contained in the "WHEREAS" Recital paragraphs of this Resolution must be fully satisfied by the Applicant.
4. The failure of the Applicant to comply with any of the conditions contained in this Resolution will permit the Planning Board, at its sole option, to rescind the approval being granted by this Resolution and/or to advise the Municipality to revoke any permits which have been issued to the Applicant.
5. Any other conditions of this approval including the filing of the street and alley vacation in accordance with the Municipal Land Use Law.

6. This Preliminary and Major Final Site Plan approval may be subject to the review and approval of the following outside agencies, if not already received. Evidence of these approvals, if applicable, must be submitted to the City Planning Department and Planning Board Engineer prior to the final signature of plans:

- A. Camden County Planning Board
- B. Camden County Soil Conservation District
- C. Camden County Municipal Utilities Authority
- D. New Jersey Department of Environmental Protection
- E. New Jersey Department of Transportation

ROLL CALL VOTE

Those in Favor

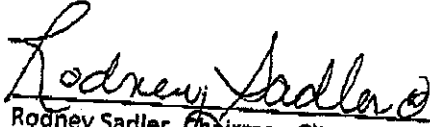
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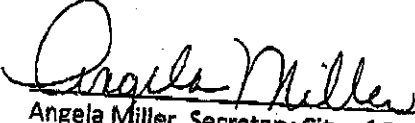
Those Opposed

0

BE IT FURTHER RESOLVED that pursuant to N.J.S.A 52:27BBB, a true copy of this Resolution will be submitted to the Mayor of the City of Camden, who has waived the 10 days in which to exercise her veto of this matter, thus allowing this resolution to be memorialized by this Board on December 8, 2011. Notification of her approval will be on file in the Office of the Municipal Clerk.

The undersigned Secretary and Chairman of the City of Camden Planning Board hereby certify that the above is a true copy of a resolution adopted by said Board on the 8th day of December 2011.


Rodney Sadler, Chairman City of Camden
Planning Board


Angela Miller, Secretary City of Camden
Planning Board



DEPARTMENT OF PLANNING & DEVELOPMENT
DIVISION OF PLANNING AND ZONING

520 Market Street - Room 224

Camden, New Jersey 08101

(856) 757-7214 phone

(856) 968-4705 fax

Dr. Edward C. Williams PP, AICP
Director

Dana L. Redd
Mayor

December 8, 2011

Elnardo Webster, Esquire
347 Pleasant Avenue
Orange, New Jersey

USE VARIANCES GRANTED - Public Service Electric and Gas Company
RE Locust Street, Spruce Street to Cherry Street, Locust Street, Cherry
to Walnut Street, Camden, New Jersey

Dear Mr. Webster

Attached please find copy of resolution adopted by the Zoning Board at its meeting of December 5, 2011 memorializing the GRANTING of Use Variances to Public Service Electric and Gas Company, associated with the proposed construction of a new electrical substation and capacitor bank on the subject property with condition that the applicant must appear before the City of Camden Planning Board to obtain any and all necessary site plan approvals and bulk variance approval deemed necessary by the Camden City Planning Board.

Sincerely,

DANI ANNISE

Secretary

Zoning Board of Adjustment

Cc Public Service Electric & Gas Company

RESOLUTION GRANTING USE VARIANCE**PSE&G****LOCUST STREET SUBSTATION (SPRUCE TO CHERRY AND WALNUT STREETS)
BLOCK 237, LOT 55 and BLOCK 243, LOT 1
CAMDEN, NEW JERSEY**

WHEREAS, the applicant, PSE&G has filed an application with the City of Camden Zoning Board of Adjustment seeking use variance approval associated with the proposed construction of a new electrical substation and capacitor bank on the PSE&G property located on a site bound by Locust, Spruce, Third and Walnut Streets within the City of Camden; and

WHEREAS, the proposed construction activities will be phased with the initial phase developing a substation on the 1.478 acre parcel of land northeast of the intersection of Locust Street and Walnut Street identified as Block 243, Lot 1 on the City of Camden tax map; and

WHEREAS, Block 243, Lot 1 is a contaminated former manufactured gas plant site that will be remediated prior to the construction of the new substation; and

WHEREAS, the final phase will develop a capacitor bank on the 1.349 acre parcel of land southwest of the intersection of Locust Street and Spruce Street identified as Block 237, Lot 55 on the City of Camden tax maps. Block 237, Lot 55 is also a contaminated former manufactured gas plant site and will be remediated prior to the construction of the new capacitor bank; and

WHEREAS, a representative of PSE&G appeared and testified in support of the application. The applicant testified that the proposed Locust Street substation improvement is an electric reliability project that is required to be constructed by the regional independent operator. The proposed Locust Street substation will enhance the capability of PSE&G to continue to meet the electrical energy needs of the residents of the City of Camden and Camden County and to support future economic advancement in the City of Camden and communities of the region. To put it into simpler terms, the applicant testified that they are simply replacing the existing substation with a new and improved substation; and

WHEREAS, the applicant's professional testified that the following "D" variances are required with the application:

1. A variance for deviation from the conditional use standards for landscaping at Section

577-191G and Section 577-192 of the Land Development Ordinance of the City of Camden;

2. A variance for the height of a principal structure exceeding by 10 feet the maximum height permitted by ordinance Section 577-56 for a 70 foot utility pole on the northeastern part of Block 243, Lot 1; and
3. A variance for the height of a principal structure exceeding by 10 feet the maximum height permitted at ordinance Section 577-56 for a 70 foot utility pole on the southeastern portion of Block 243, Lot 1.

WHEREAS, the Zoning Board opened the hearing to the public and no public comment was received on the application; and

WHEREAS, the applicant testified that after receiving use variance approval from the Zoning Board that would be appearing before the City of Camden Planning Board to obtain the necessary site plan approval and any bulk variances required with the application; and

WHEREAS, after due deliberation, discussion and review of the application and consideration of the testimony of the applicant and the applicant professionals, the Zoning Board of Adjustment of the City of Camden determined that applicant had satisfied the criteria necessary to grant the requested use variances as set forth above; and

WHEREAS, it was the finding of the Zoning Board that the applicant's professional planner established both the positive and negative criteria necessary to grant the requested variances and that said use variances could be granted without substantial detriment to the public good and without impairment of the Zone Plan and Zoning Ordinances. The Board further found that the subject property was particularly well suited for the proposed use, particularly since the application was for a new PSE&G substation to replace the existing substation on site.

NOW, THEREFORE, BE RESOLVED, by the Zoning Board of Adjustment for the City of Camden that the application of PSE&G for use variance approval as set forth above is hereby **GRANTED** subject to the condition that the applicant must appear before the City of Camden

Planning Board to obtain any and all necessary site plan approvals and bulk variance approvals deemed necessary by the City of Camden Planning Board.

BE IT FURTHER RESOLVED that use variance approval is granted upon the express condition that the applicant comply with all other laws, regulations and codes of the City of Camden along with all other applicable governmental rules and regulations pertaining to the operation of the applicant's proposed use; and

BE IT FURTHER RESOLVED by the Zoning Board of Adjustment for the City of Camden, that the applicant shall be required to obtain all other governmental permits, licenses and approvals deemed necessary; and

BE IT FURTHER RESOLVED that a copy of this Resolution be forwarded to the Zoning Officer, Assessor's Office, Housing Inspector, Fire Marshall, Licenses and Inspections, Planning Board and all other interested parties; and

BE IT FURTHER RESOLVED that pursuant to NJSA 52:27BBB-23, a true copy of this Resolution shall be forwarded to the State Commissioner of Community Affairs who shall have (10) ten days from receipt thereof to veto this Resolution. Notices of veto shall be filed in the Office of the Municipal Clerk.

I hereby certify that this is a True Copy of Resolution adopted by the Camden City Zoning Board of Adjustment on the 5th day of December, 2011.


DANI ANNISE, Secretary

Stormwater Management Plan



PSEG

Public Service Electric and Gas Company

**Locust Street Breaker Station
Project No. 152173**

**Revision 0
10/16/2024**

Stormwater Management Plan

prepared for

**Public Service Electric and Gas Company
Locust Street Breaker Station
Camden, New Jersey**

Project No. 152173

**Revision 0
10/16/2024**

prepared by

**Burns & McDonnell Engineering Company, Inc.
Kansas City, Missouri**

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INDEX AND CERTIFICATION

**Public Service Electric and Gas Company
Stormwater Management Plan
Project No. 152173
Report Index**

<u>Section Number</u>	<u>Section Title</u>
1.0	Site Conditions
2.0	Hydrology and Hydraulics
3.0	Best Management Practices
4.0	Soil Erosion and Sediment Control Measures
5.0	Conclusions
EXHIBIT 1	- Pre-Developed Watershed Plan
EXHIBIT 2	- Post-Developed Watershed Plan
Appendix A	- Supplemental Calculations
Appendix B	- HydroCAD Outputs
Appendix C	- StormCAD Storm Sewers Output
Appendix D	- NJDEP LID Checklist
Appendix G	- Sedimentation Basin Calculations

Certification

I hereby certify, as a Professional Engineer in the state of New Jersey, that the information in this document was assembled under my direct personal charge. This report is not intended or represented to be suitable for reuse by the Public Service Electric and Gas Company or others without specific verification or adaptation by the Engineer.



Christopher D. Wilson, P.E.
N.J. P.E. No. 24GE05369800
C.O.A. No. 24GA28066400

10/28/24

Additional reference information provided by others and not certified by the above sealing Engineer.

<u>Section Number</u>	<u>Section Title</u>
APPENDIX E	Subsurface Investigation
APPENDIX F	Reference Materials

Stormwater Management Measures Maintenance Plan & Field Manuals

Development Name: PSE&G Locust Street Breaker Station

Address: 900 Locust Street

Block(s) / Lot(s): Block 237, Lot 55

City, County: City of Camden, Camden County

Party Responsible for Maintenance:

PSE&G

Address: _____

Contact Person(s): _____ Phone: _____

Prepared by: Christopher Wilson, PE Date: February 23, 2024

This plan is recorded in

Deed Book # _____ Page # _____ with Camden County Clerk on Date _____

Last Revised on _____

Stormwater Management Measures Maintenance Plan & Field Manuals

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Prepared by: Christopher Wilson, PE Date: February 23, 2024

This plan is recorded in

Deed Book # _____ Page # _____ with Camden County Clerk on Date _____

Last Revised on _____

NOTE

This Maintenance Plan is intended to be editable and adjustable in accordance with the design of stormwater management measures, the site conditions, and the special needs of responsible party. The Engineer should supplement information and best management practice to assist the responsible party to perform maintenance.

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Part II- Field Manuals and Maintenance Records

Field Manual for Small-Scale Bioretention Cells

Field Manual for French Drains

Maintenance Logs and Inspection Records

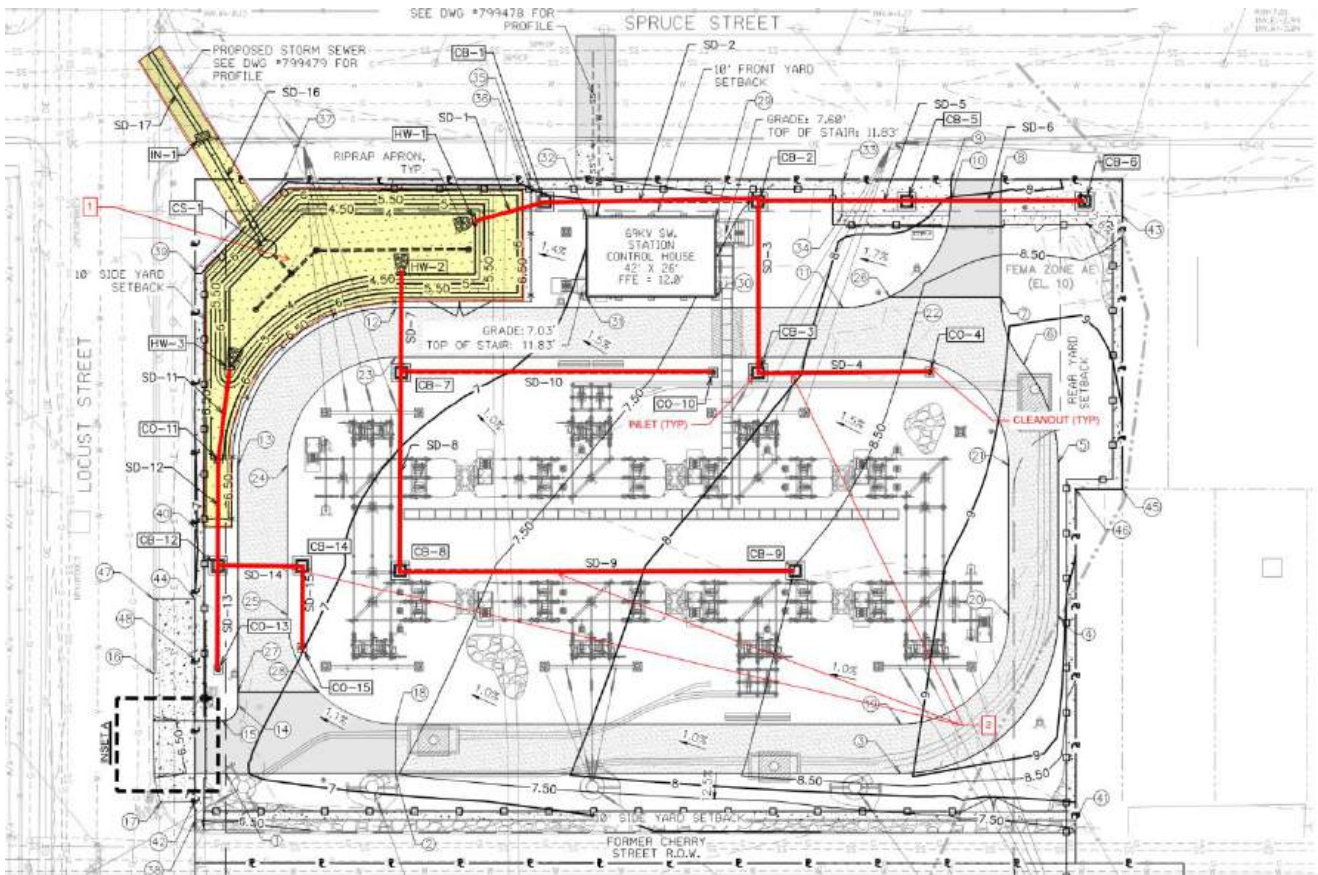
Part I- Maintenance Plan

List of Stormwater Management Measures

The stormwater management measures incorporated into this development are listed below. The corresponding Field Manuals for the stormwater management measures are located in Part II of the Maintenance Plan.

Type of Stormwater Management Measure	BMP No.	Location Description	State Plane Coordinates / Lat., Long.
Bioretention System with 6" Diameter Underdrains (Chamfer Area)	1	Northwest corner of site	Northing: 39.934509° Easting: - 75.12584°
French drains	2	Throughout the site	Northing: 39.934316° Easting: - 75.125508°

Location Map



No.	Type of Stormwater Management Measure
1	Bioretention System with 6" Diameter Underdrains (Northwest corner)
2	French drains (throughout)

Description of Stormwater Management Measures

Small Scale Bioretention System with Underdrains

Design storm:

Data from outside sources (NOAA Atlas 14 depths):

- Water Quality 1.25 inches in 2 hours
- 2-year storm (3.27 inches)
- 10-year storm (4.88 inches)
- 25-year storm (5.97 inches)
- 100-year storm (7.91 inches)

Current Condition Design Storms

- Water Quality 1.25 inches in 2 hours
- 2-year storm (3.37 inches)
- 10-year storm (5.08 inches)
- 100-year storm (8.31 inches)

Future Condition Design Storms

- Water Quality 1.25 inches in 2 hours
- 2-year storm (3.86 inches)
- 10-year storm (5.95 inches)
- 100-year storm (10.99 inches)

Preventative and Corrective Maintenance Action Plan

As per N.J.A.C. 7:8-5.8(b) & (e), preventative and corrective maintenance shall be performed to maintain the function of the stormwater management measure, including, but not limited to, repairs or replacement to the structure; removal of sediment, debris, or trash; restoration of eroded areas; snow and ice removal; fence repair or replacement; restoration of vegetation; and repair or replacement of non-vegetated linings.

The maintenance of access points to the stormwater management measures shall be in accordance with the following:

- all components of the stormwater management measures must be readily accessible for inspection and maintenance;
- trees, shrubs, and underbrush must be pruned or trimmed as necessary to maintain access to the stormwater management measure via roadways, paths, and ramps, including paths through perimeter vegetation to permanent pools, aquatic benches, and safety ledges to allow for the inspection and control of mosquito breeding

Preventative Maintenance Actions

The frequency of the preventative maintenance actions listed here is adopted from Chapter 9, BMP Manual of Structural Stormwater Management Measures. Design engineer and responsible party should adjust the frequency of preventative maintenance actions according to the situations of the stormwater management measures in the development.

Frequency	Preventative Maintenance Actions	Stormwater Measures/ No.
Quarterly	Sediment, trash and debris removal	French drains
Unscheduled	Quick inspection after every 1" rain	French drains

Frequency	Preventative Maintenance Actions	Stormwater Measures/ No.
Quarterly	Sediment, trash and debris removal, inspecting of pop-up drainage emitters for blockages	Bioretention System with Underdrains
Semi-Annually	Vegetation quality inspection (one per growing and one per non-growing seasons); Inspection of planting bed (twice a year);	Bioretention System with Underdrains
Annual	Basic Structural Inspection; Cleaning and Infiltration rate; Vegetation erosion, scour and unwanted growth inspection	Bioretention System with Underdrains

Unscheduled	Debris and sediment inspections after every 1" rain; trimming	Bioretention System with Underdrains
-------------	---	--------------------------------------

Corrective Maintenance Actions

Depending on many factors, such as the performance of preventative maintenance actions, weather, or unexpected incidents, corrective maintenance requirements may not be precisely anticipated; however, a list of potential corrective maintenance actions is shown below.

Potential Corrective Maintenance Actions	Stormwater Management Measures/No.
<p>Example of corrective maintenance tasks</p> <ul style="list-style-type: none"> - Repair/replacement of damaged catch basins and/or CMP, PVC, and/or HDPE piping - CCTV for inspection of piping and underground detention basin - Backflush of the drain system - Sediment removal in pervious stone - Removal of mud or sediment from surface course 	French drains

Potential Corrective Maintenance Actions	Stormwater Management Measures/No.
<p>Example of corrective maintenance tasks</p> <ul style="list-style-type: none"> - Repair/replacement of damaged PVC items - CCTV for inspection of piping - Backflush of the underdrain - Sediment and trash removal in filtration media - Removal of any blockages or debris build-up in the bioretention basin pop-up drainage emitters and dispersion pipes 	Bioretention System with Underdrains
<p>Example of corrective maintenance tasks</p> <ul style="list-style-type: none"> - Evaluate storage bed components & groundwater levels - Removal of mud or sediment from filtration media - Removal of unwanted vegetation 	Bioretention System with Underdrains

Inspection and Logs of All Preventative and Corrective Maintenance

As per N.J.A.C. 7:8-5.8(f), the person responsible for maintenance shall maintain a detailed log of all preventative and corrective maintenance for the structural stormwater management measures incorporated into the design of the development, including a record of all inspections and copies of all maintenance-related work orders.

As per NJDEP BMP Manual Ch. 8 (Feb, 2004), a maintenance plan shall include a schedule of regular inspections and tasks, and detailed logs of all preventative and corrective maintenance performed on the stormwater management measure, including all maintenance-related work orders. The person with maintenance responsibility must retain and, upon request, make available the maintenance plan and associated logs and other records for review by a public entity with administrative, health, environmental, or safety authority over the site.

Inspection Checklists in the Field Manual for the stormwater management measures on this site include:

- Field Manual for French Drains
- Field Manual for Small-Scale Bioretention Systems with Underdrains

The logs of all inspections, and both preventative and corrective maintenance performed should be attached in the “**Maintenance Logs and Inspection Records**” section. See Part II of the Maintenance Plan

Maintenance Personnel, Equipment, Tools, and Supplies

As per NJDEP BMP Manual Ch. 8 (Feb. 2004), maintenance plans should include equipment, tools, and supplies necessary to perform the various preventative and corrective maintenance tasks specified in the plan. Sources of specialized, proprietary, and nonstandard equipment, tools, and supplies should also be provided.

Maintenance Personnel/Equipment/Tools/Supplies

Personnel/Equipment/Tools Name	Quantity
General maintenance crew	1
Debris removal tools	2
Crow bar	2
Tape measure	1

Specialized, proprietary or nonstandard equipment, tools and supplies, if applicable

Name of the specialized, proprietary or nonstandard equipment, tools and supplies	Source
JetVac truck (w/ high pressure nozzle)	DigVac Rentals
Vacuum Sweeper	DigVac Rentals
Infiltration Testing	Varies, TBD

*For instructions on how to perform maintenance and cleaning on the underground detention basin see the respective Maintenance Guide in the Documents section of the report.

Cost Estimate

Cost Overview

Cost Type	Cost	Details
General cost for quarterly maintenance (sediment, trash, and debris removal)	\$1,045	Table A
General cost for annual maintenance	\$2,255	Table B
General cost for unscheduled maintenance	\$500	Table C
Total cost	\$3,800	

Table A: General cost for quarterly maintenance

Cost Type	Required Quantity	Unit Price	Cost
Personnel			
Crew-Site Cleanup	1	\$500	\$500
Equipment			
Truck	1	\$200	\$200
Services			
Disposal	1	\$250	\$250
Subtotal		\$950	
Overhead		\$95	
Total Cost		\$1,045	

Table B: General cost – annual maintenance

Cost Type	Required Quantity	Unit Price	Cost
Personnel			
Crew-Site Cleanup	1	\$500	\$500
Crew-Inspection	1	\$200	\$200
Equipment			
Vacuum Truck	1	\$700	\$700
CCTV Camera	1	\$400	\$400
Services			
Disposal	1	\$250	\$250
Infiltration Testing	1	\$500	\$500
Subtotal	\$2,550		
Overhead	\$205		
Total Cost	\$2,755		

Table C: General cost – unscheduled maintenance in a year

Cost Type	Required Quantity	Unit Price	Cost
Personnel			
Crew	1	\$100	\$500
Visits	5		
Subtotal	\$500		
Overhead	N/A		
Total Cost	\$500		

Training Plan and Records

As per NJDEP BMP Manual Ch. 8 (February 2004), maintenance training begins with a basic description of the purpose and function of the overall stormwater management measure and its major components. Such understanding will enable maintenance personnel to provide more effective component maintenance and more readily detect maintenance-related problems. Depending on the size, character, location, and components of each stormwater management measure, maintenance personnel may also require training in specialized inspection and maintenance tasks and/or the operation and care of specialized maintenance equipment. Training should also be provided in the need for and use of all required safety equipment and procedures.

I. Training Plan

Types of Training

- Mandatory Stormwater Management Basic Training and Field Manual Usage Training for new maintenance crews
- Occupational Safety Training

Content of Training

- **Stormwater Management Basic Training**
 - Purposes and Functions of BMPs
 - NJDEP Stormwater BMP Manual, Chapter Nine: Structural Stormwater Management Measures

More training information is available at NJ Stormwater.org

(<http://www.nj.gov/dep/stormwater/training.htm>)

- Field Manual Usage Training
- Equipment and Tools Operation Training
- Occupational Safety Training

II. Training Records

Class Title:			
Date:			
Contact Name:			
	Name(first, last) (Print)	Signature	Employee ID
1			
2			
3			
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25			

Annual Evaluation of the Effectiveness of the Plan

As per N.J.A.C. 7:8-5.8(g), the person responsible for maintenance shall evaluate the effectiveness of the maintenance plan at least once per year and adjust the plan and the deed as needed.

The responsible party should evaluate the effectiveness of the maintenance plan by comparing the maintenance plan with the actual performance of the maintenance. The items to evaluate may include, but not limited to,

- Whether the inspections have been performed as scheduled;
- Whether the preventive maintenance has been performed as scheduled;
- Whether the frequency of preventative maintenance needs to increase or decrease;
- Whether the planned resources were enough to perform the maintenance;
- Whether the repairs were completed on time;
- Whether the actual cost was consistent with the estimated cost;
- Whether the inspection, maintenance, and repair records have been kept.

If actual performance of those items has been deviated from the maintenance plan, the responsible party should find the causes and implement solutions in a revised maintenance plan.

Annual Evaluation Records

Evaluator(s)	Date of Evaluation	Decision
		<input type="checkbox"/> Maintain current version OR <input type="checkbox"/> Revise current version Revision date _____ (also update the last revision date on the cover page) <input type="checkbox"/> Requires a new deed recording (also update the last recording information on the cover page)
		<input type="checkbox"/> Maintain current version OR <input type="checkbox"/> Revise current version Revision date _____ (also update the last revision date on the cover page) <input type="checkbox"/> Requires a new deed recording (also update the last recording information on the cover page)
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		<p><input type="checkbox"/> Maintain current version OR</p> <p><input type="checkbox"/> Revise current version Revision date _____ (also update the last revision date on the cover page)</p> <p><input type="checkbox"/> Requires a new deed recording (also update the last recording information on the cover page)</p>

Documents

Devices/Tools/Equipment Operation and Maintenance Manual and Warranties

As per NJDEP BMP Manual Ch. 8 (Feb., 2004), maintenance, repair, and replacement instructions for specialized, proprietary, and nonstandard equipment, tools, supplies, manufacturers' product instructions, and user manuals should be included in this Maintenance Plan.

Part II- Field Manuals

Attachment of Field Manuals for Stormwater Management Measures on this Site

As per N.J.A.C. 7:8-5.8(b)&(e), preventative and corrective maintenance shall be performed to maintain the function of stormwater management measures, including repair or replacement of the structure; removal of sediment, debris or trash; restoration of eroded areas; snow and ice removal; fence repair or replacement; restoration of vegetation; repair or replacement of non-vegetated linings, and removal of rodent/wildlife and repair/restoration to damaged affected areas caused by them.

Each Field Manual attached to this Maintenance Plan is a separate document pertaining to one specific stormwater management measure and should be used by inspections and maintenance crews in order to carry out the maintenance work required by N.J.A.C. 7:8-5.8(e). Design engineers should prepare the field manuals in accordance with the design of each measure and the specific requirements of the site. See the sample field manuals for further guidance.

Field Manual for French Drains

Maintenance Logs and Inspection Records

As per N.J.A.C. 7:8-5.8(e), preventative and corrective maintenance shall be performed to maintain the function of the stormwater management measure(s), including repairs or replacement to the structure; removal of sediment, debris, or trash; restoration of eroded areas; snow and ice removal; fence repair or replacement; restoration of vegetation; and repair or replacement of non-vegetated linings.

As per N.J.A.C. 7:8-5.8(f), the person responsible for maintenance shall maintain a detailed log of all preventative and corrective maintenance for the structural stormwater management measures incorporated into the design of the development, including a record of all inspections and copies of all maintenance-related work orders.

The responsible party shall maintain a record of all maintenance actions performed, including:

- Inspection checklists from each performed inspection
- Preventative maintenance logs
- Corrective maintenance logs, including work orders
- Other maintenance records

French Drains on the Location Map

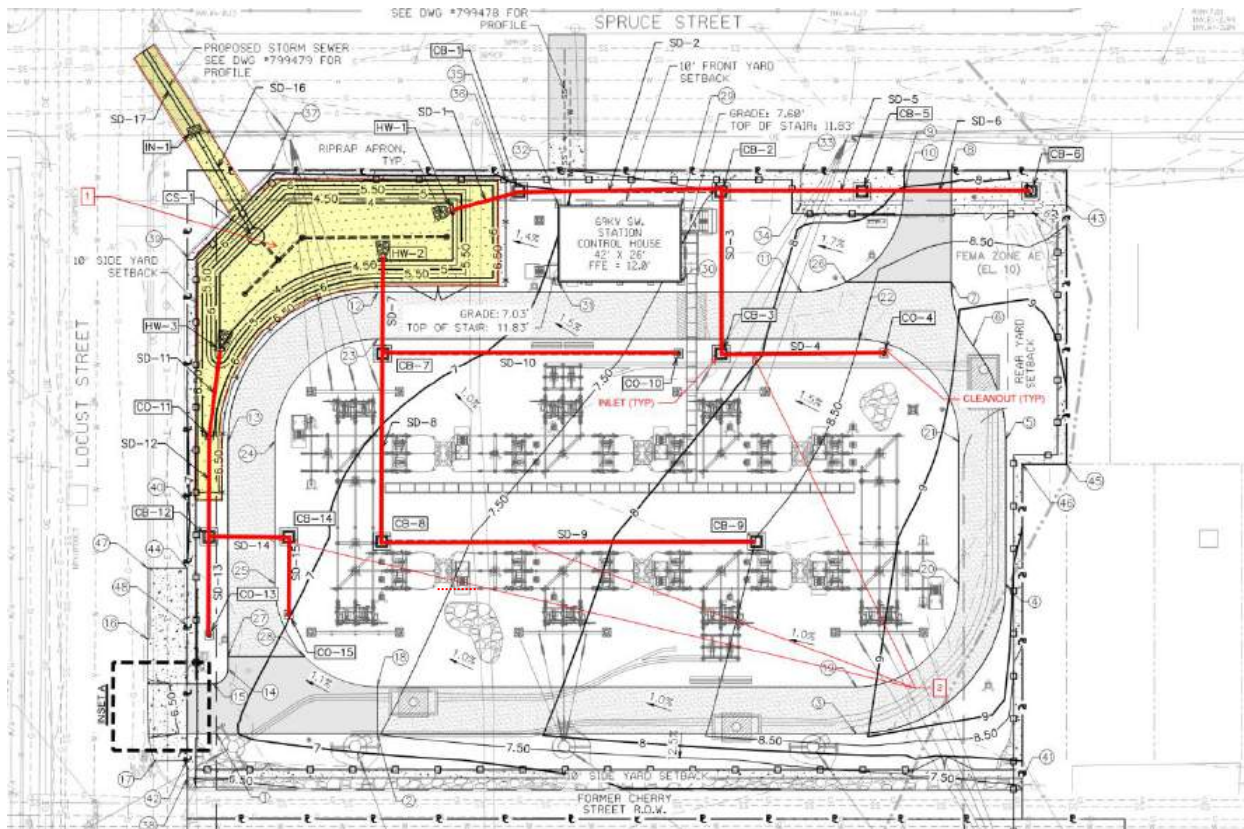
Development Name: PSE&G Locust Street Breaker Station

Address: 900 Locust Street

Block(s) / Lot(s): Block 237, Lot 55

City, County: City of Camden, Camden County

Location Map



NOTE

This Field Manual is intended to be editable and adjustable in accordance with the design of stormwater management measures, the site conditions, and the special needs of responsible party. The Engineer should supplement information and best management practice to assist the responsible party to perform maintenance.

French Drain Overview

Functionality

The purpose of the French drains is to provide removal of water away from areas of potential ponding via pervious soils and piping. They will also help reduce surface runoff and convey water to larger stormwater features for treatment and management.

The drains on this site consist of perforated piping in a pervious, open-graded stone trench that will collect runoff and send it to catch basins. From there, the water will be conveyed to the bioretention basin in the northwest corner of the site.

Proper care and attention in the long-term maintenance of the stormwater management measure is critically important to the proper function of the station.

Type of BMP – Dry Stormwater Management Measure

The French drains shall fully drain within 72 hours of the most recent rainfall. Standing water in excess of 72 hours is a sign of the pipe failure or excessive sediment within the open-graded stone. It may also contribute to mosquito breeding and other health and safety issues. At no time shall there be ponding on the surface of the pavement.

Basic Design Information

Hydrology Design Targets

1. The system is French drain, otherwise known as a subsurface drain.
2. The target design inflow conveyance rate shall be between 0.15 and 1.00 cfs per 1000ft of drain.
3. The permitted pipe velocity inside of the pipes shall be less than or equal to 8.00cfs.

System Configuration Targets

1. The system has no pretreatment.
2. The depth of the pipes/drains varies across the site. See plan design drawings for details.
3. The top of the system is not vegetated

Critical Maintenance Features

1. Avoid sand or silt onto the porous stone.
2. Sweep and vacuum the surface of the drains after siltation to prevent a clog.
3. Perform infiltration testing following ASTM C1701 or C1781
4. Replace porous stone if siltation occurs.
5. Cleanout points are provided for at least every 500ft of drain as shown on the plans.

Reference Documents

Documents to be placed in this field manual should include the following:

- As-built Drawings with Drainage Plans
- Soil Boring Logs

Attach Reference Documents Here

Inspection Checklist / Maintenance Actions French Drains

Checklist (circle one): Quarterly / Annual / Monthly / Special Event Inspection

Checklist No. _____ Inspection Date: _____

Date of most recent rain event: _____

Rain Condition (circle one):

Drizzle / Shower / Downpour / Other _____

Ground Condition (circle one):

Dry / Moist / Ponding / Submerged / Snow accumulation

The inspection items and preventative/corrective maintenance actions listed below represent general requirements. The design engineer and/or responsible party shall adjust the items and actions to better meet the conditions of the site, the specific design targets, and the requirements of regulatory authorities.

		For Inspector		For Maintenance Crew
Component No. Component Name	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions	
French Drains	1 Standing water is present after the design drain time The observed drain time is approximately _____ hours. Excessive sediment or mud accumulation on top of the drain area	Y__ N__	Recheck to determine if there is standing water after 72 hours If standing water is present longer than 5 days, report to mosquito commission. If excessive sediment is present, the system may be clogged - Sweep the surface - Power wash (at 45 degree angle to the top) - Vacuum the surface - Excavate to inspect bedding material for clogging, replace the material if it is severely clogged Work Order # _____	
Note:				

Follow Up Items (Component No. / Inspection Item No.):

Associated Work Orders: # _____, # _____, # _____, # _____, # _____

Inspector Name

Signature

Date

Report issues to the local authority and mosquito commission as required by local ordinances and regulatory authorities.

File this checklist in the Maintenance Log after performing maintenance.

Preventative Maintenance Record

Corresponding Checklist No. _____
 Component No. _____, Inspection Item No. _____

Work Logs

Activities	Components	Date Completed
Sediment/debris removal	A – French Drain (Porous Pavement)	
	B – Outlet	

Debris, sediment, and trash are handled by _____ (See Part I: Maintenance Plan – Disposal Plan Section)

Crew member: _____ / _____ Date: _____
(name/ signature)

Supervisor: _____ / _____ Date: _____
(name/ signature)

File this Preventative Maintenance Record in the Maintenance Log after performing maintenance.

Corrective Maintenance Record

1. Work Order # _____ Date Issued _____

2. Issue to be resolved:

3. The issue was from Corresponding Checklist No. _____, Component No.____, Inspection Item No. _____.

4. Required Actions

Actions	Planned Date	Date Completed

5. Responsible person(s):

6. Special requirements

- Time of the season or weather condition: _____
- Tools/equipment: _____
- Subcontractor (name or specific type): _____

Approved by _____ / _____ Date _____
(name/signature)

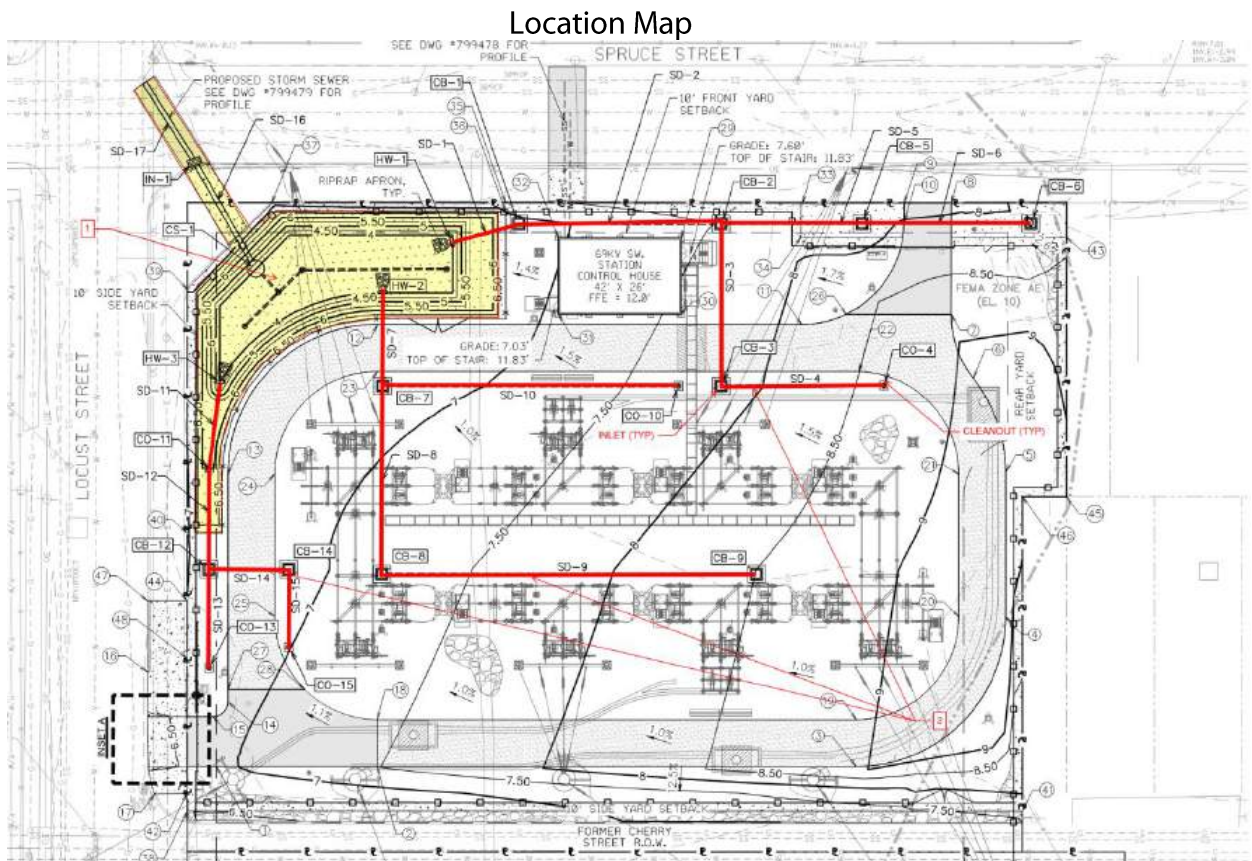
Verification of completion by _____ / _____ Date _____
(name/signature)

File this Corrective Maintenance Record in the Maintenance Log after performing maintenance.

Bioretention System Basin on the Location Map

Development Name: Locust Street Breaker Station

Township, County: City of Camden, Camden County



NOTE

This Field Manual is intended to be editable and adjustable in accordance with the design of stormwater management measures, the site conditions, and the special needs of responsible party. The Engineer should supplement information and best management practice to assist the responsible party to perform maintenance.

Bioretention System Overview

Functionality

Bioretention systems are used to remove a wide range of pollutants, such as suspended solids, nutrients, metals, hydrocarbons, and bacteria from stormwater runoff. They can also be used to reduce peak runoff rates and increase stormwater infiltration when designed as a multi-stage, multi-function facility.

A bioretention system can be configured as either a bioretention basin or a longer, narrower bioretention swale. In general, a bioretention basin has a flat bottom while a bioretention swale may have sloping bottom. Runoff storage depths above the soil bed surface are typically shallow. The TSS removal rate for bioretention systems is 80 or 90 percent, depending upon the thickness of the soil planting bed and the type of vegetation grown in the bed.

Proper care and attention in the long-term maintenance of the stormwater management measure is critically important to the safety and health of the public.

Type of BMP – Dry Basin / Infiltration

A bioretention system is a type of **dry** basin. Dry basins must fully drain within 72 hours of the most recent rainfall. Standing water in excess of 72 hours is a sign of basin failure. It may also contribute to mosquito breeding and other health and safety issues. The design drain time shall be closely monitored to ensure that potential failure is recognized early.

A bioretention system with infiltration can also be designed for extended detention, in which case it will attenuate peak flows from storms larger than the Water Quality Design Storm.

Bioretention Basin

Hydrology Design Targets

1. The bioretention system is designed as an online system.
2. The design drain time is 27.50 hours.
3. The seasonal high-water table does not exceed beyond 1' in elevation above the inside bottom of the bioretention cell.
4. Due to the water-tight, concrete cell the bioretention is located inside, along with underdrains in the gravel layer, the field soil permeability is not a factor in the design.

Hydraulic Design Targets

1. Design parameters

	Water Quality Design Storm	2-year storm	10-year storm	100-year storm
Rainfall Depth (inches)	1.25 inch in 2 hours	3.37 inches in 24 hours	5.08 inches In 24 hours	8.31 inches In 24 hours
Runoff Volume (ac-ft)	0.000 ac-ft	0.158 ac-ft	0.315 ac-ft	1.224 ac-ft
Peak Flow Rate (cfs)	0.00 cfs	0.89 cfs	1.48 cfs	4.89 cfs
Water Surface Elevation (feet)	3.34	4.76	5.63	6.22

Note: The design engineer shall fill out the table in accordance with the design of the stormwater management measure. If the item is not applicable, enter **N/A** in the table.

2. The emergency spillway is at EL. _____N/A_____ feet (if applicable).

Basin Configuration Targets

1. Pretreatment is not provided. A concrete outlet structure is used.
2. Planting Soil Bed
 - The depth of the soil planting bed is 3.5 feet.
 - Mixture of the planting soil consists of 85-95% of sand. (with no more than 25% of the sands as fine or very fine sands; no more than 15% silt and clay with 2% to 5% clay content). The organic matter shall be within 3% to 7%.
 - The pH of the planting soil should be in the range of 5.5 and 6.5.
 - Filter fabric is not placed along the sides of the soil planting bed.
 - The system is designed with a planting soil permeability rate of 1 inches/hour (pre-construction) and _____ inches/hour (post-construction – tested on (MM) / (DD) / (YYYY)).
3. Outlet Information:

Outlet Description	Outlet Type	Orifice Size / Weir Length	Invert Elevation
Orifice	Orifice	4.7" DIA	4.00
Weir	V-notch weir	90-degree, 1ft rise	5.39
Weir	Rectangular weir	5ft long, 3" tall	6.00
Underdrain	perf pipe	6"	0.75

4. Vegetation

- o The vegetation type to be used in this bioretention system is site-tolerant grasses. A Landscaping Plan should be included in the Reference Documents section of this field manual.

For a bioretention system designed with an underdrain, the following also applies.

5. Underdrain (Leave Blank)

- o The perforated laterals are 6 inches in diameter, at a slope of 0.50%.
- o There 1 lateral pipe running along the center of the basin
- o The perforations are 0.25 inches in diameter and designed per ASTM D2729.
- o The gravel layer surrounding the underdrain consists of 3 inches of gravel above the underdrain and 3 inches of gravel below the underdrain.

Critical Maintenance Features

1. No heavy equipment on the basin surface.
2. Remove vegetation strictly in accordance with the landscaping plan.
3. Grass clippings shall be collected from the basin and properly disposed.
4. Keep the appearance of the basin aesthetic.
5. The system of pop-up drainage emitters and perforated dispersion pipes shall be inspected for blockages when the bioretention basins are inspected.

Reference Documents

Documents to be placed in this field manual should include the following:

- As-built Drawings with Drainage Plans
- Soil Boring Logs
- Permeability Test (Pre-construction)
- Permeability Test (Post-construction)

Attach Reference Documents Here

**Inspection Checklist / Maintenance Actions
Bioretention System**

Checklist (circle one): Quarterly / Annual / Monthly / Special Event Inspection

Checklist No. _____ Inspection Date: _____

Date of most recent rain event: _____

Rain Condition (circle one):

Drizzle / Shower / Downpour / Other _____

Ground Condition (circle one):

Dry / Moist / Ponding / Submerged / Snow accumulation

The inspection items and preventative/corrective maintenance actions listed below represent general requirements. The design engineer and/or responsible party shall adjust the items and actions to better meet the conditions of the site, the specific design targets, and the requirements of regulatory authorities.

Component No. Component Name	For Inspector		For Maintenance Crew
	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions
A1 Pretreatment	1	Scouring or erosion is present at inlet structure and/or riprap apron	Y__ N__ Work Order # _____
	2	Clogged pipes or excessive sediment in the forebay	Y__ N__ Remove sediment or debris
	3	Damaged outlet structure (e.g., cracking, subsidence, spalling, erosion, or deterioration)	Y__ N__ Repair or replace the outlet structure Work Order # _____
A2 Pretreatment (MTD)	1	MTD inspection (if installed)	Y__ N__ (If a MTD is used for pretreatment, see Maintenance Manual Provided by the manufacturer)
A3 Pretreatment (Structural BMP)	1	BMP inspection	Y__ N__ (See BMP No. _____ Field Manual)

Note:

Component No. Component Name	For Inspector		For Maintenance Crew
	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions
B Basin Bed	1	Standing water is present after the design drain time The observed drain time is approximately _____ hours.	Y__ N__ Recheck to determine if there is standing water after 72 hours If standing water is present longer than 5 days, report to mosquito commission. Remove any sediment buildup Check the soil permeability Till the soil bed with rotary tiller or disc harrow Replace the planting soil, if necessary Work Order # _____
	2	Excessive sediment, silt, or trash accumulation on basin bed	Y__ N__ Clean pretreatment system Remove silt, sediment, and trash
	3	Erosion or channelization is present	Y__ N__ Check whether the flow bypass or diversion device is clogged Re-grade the infiltration bed Work Order # _____
	4	Animal burrows/rodents are present	Y__ N__ Pest control Work Order # _____

Note:

Component No. Component Name	For Inspector		For Maintenance Crew
	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions
B Basin Bed	5	Uneven bed	Y__ N__ Use light equipment to resurface the bed Work Order # _____
	6	Evidence of sinkholes or subsidence	Y__ N__ Monitor for sinkhole development
	7	Pop-up Drainage Emitters and perforated drainage pipes	Y__ N__ Open Pop-up drainage emitters and inspect for blockages, remove blockages if found
C Vegetation	1	Large spot(s) showing bare soil	Y__ N__ Vegetative cover must be maintained at 85%. Revegetate the entire basin if 50% or more vegetation has been lost. Check Landscaping plan for guidance (if available) Work Order # _____
	2	Invasive plants are present	Y__ N__ Remove the invasive plants and restore the vegetation in accordance with the landscaping plan Work Order # _____
	3	The vegetation in the basin has been mowed or removed	Y__ N__ Revegetate the system in accordance with the vegetation plan Work Order # _____ Note: The vegetation in a bioretention system should not be mowed or removed

Component No. Component Name	For Inspector		For Maintenance Crew
	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions
Note:			
D Bioretention System Embankment and Side Slopes	1	Signs of erosion, soil slide or bulges, seeps and wet spots, loss of vegetation, or erosion on the basin slope	Y__ N__ Check for excessive overland runoff flow through the embankment. Check for any sink hole development Direct the overland runoff to the forebay or pretreatment area Restabilize the bank Work Order # _____
	2	Overgrown perimeter vegetation	Y__ N__ Mow the vegetation on the perimeter of the embankment Work Order # _____ Note: Mowing of vegetation should only take place in the area outside the basin. Dense vegetation must be maintained in the basin.
E Outlet	1	Trash or debris accumulation more than 20%	Y__ N__ Clean and remove Determine source of trash and address to reduce future maintenance costs or basin failure
	2	Trash rack is damaged or rusted greater than 50% Trash rack is bent, loose, or missing parts	Y__ N__ Repair or replace trash rack Work Order # _____

Component No. Component Name	For Inspector		For Maintenance Crew
	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions
	3	Outlet components (e.g., orifice plates or weir plate) skewed, misaligned, or missing	Y__ N__ Repair or replace component Work Order # _____
	4	Discharge pipe apron is eroded or scoured	Y__ N__ Restabilize the discharge riprap apron Work Order # _____

Note:

F Miscellaneous	1	Fence: broken or eroded parts	Y__ N__ Repair or replace Work Order # _____
	2	Gate: missing gate or lock	Y__ N__ Repair or replace Work Order # _____
	3	Sign/plate: tiled, missing, or faded	Y__ N__ Repair or replace Work Order # _____
	4	Excessive or overgrown vegetation blocking access to the basin	Y__ N__ Clear, trim, or prune the vegetation to allow access for inspection and maintenance Work Order # _____

	For Inspector		For Maintenance Crew
Component No. Component Name	Inspection Item and Inspection Item No.	Result	Preventative / Corrective Maintenance Actions
Note:			

Follow Up Items (Component No. / Inspection Item No.):

Associated Work Orders: # _____, # _____, # _____, # _____, # _____

Inspector Name Signature Date

Report issues to the local authority and mosquito commission as required by local ordinances and regulatory authorities.

File this checklist in the Maintenance Log after performing maintenance.

Preventative Maintenance Record

Corresponding Checklist No. _____
 Component No. _____, Inspection Item No. _____

Work Logs

Activities	Components	Date Completed
Sediment/debris removal Sediment removal should take place when the basin is thoroughly dry.	A1/A2/A3 – Pretreatment	
	B – Basin Bed	
	D – Bioretention System Embankment and Side Slopes	
	E – Outlet	
Vegetation removal	A1/A2/A3 – Pretreatment	
	B – Basin Bed	
	D – Basin Embankment and Side Slopes	
	E – Outlet	
	F – Emergency Spillway	

Vegetation is removed by _____ (type of equipment) with minimum disruption to the remaining vegetation.

All use of fertilizers, pesticides, mechanical treatments, and other means to ensure optimum vegetation health must not compromise the intended purpose of the stormwater management measure. The fertilizer applied is _____ (type), and _____ (quantity per usage) is applied _____ (frequency of use).

Debris, sediment, and trash are handled (onsite / by _____ (contractor name) to disposal site _____). (See Part I: Maintenance Plan – Disposal Plan Section)

Crew member: _____ / _____ Date: _____
 (name/ signature)

Supervisor: _____ / _____ Date: _____
 (name/ signature)

File this Preventative Maintenance Record in the Maintenance Log after performing maintenance.

Corrective Maintenance Record

7. Work Order # _____ Date Issued _____

8. Issue to be resolved:

9. The issue was from Corresponding Checklist _____, Component No. _____, Inspection Item No. _____.

10. Required Actions

Actions	Planned Date	Date Completed
Repair/replace the trash rack		
Restabilize side slope (indicate location)		
Repair riprap aprons		
Revegetate		

11. Responsible person(s):

12. Special requirements

- Time of the season or weather condition : _____
- Tools/equipment: _____
- Subcontractor (name or specific type): _____

Approved by _____ / _____ Date _____
(name/signature)

Verification of completion by _____ / _____ Date _____
(name/signature)

File this Corrective Maintenance Record in the Maintenance Log after performing maintenance.

CITY OF CAMDEN
PRELIMINARY & FINAL MAJOR SITE PLAN APPLICATION
ENVIRONMENTAL IMPACT STATEMENT

For:

**PSE&G LOCUST STREET BREAKER
STATION AND SUBSTATION**

**900 LOCUST STREET – BLOCK 237, LOT 55
942 LOCUST STREET – BLOCK 243, LOT 1
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY**

November 2024



Applicant/Owner:

Public Service Electric and Gas Company
Delivery Projects & Construction
Licensing & Permitting
4000 Hadley Road, South Plainfield, NJ 07080



Prepared By:

E2 Project Management LLC
2517 Route 35 Building I, Suite 101
Manasquan, NJ 08736

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ENVIRONMENTAL IMPACT STATEMENT
PSE&G LOCUST STREET BREAK STATION & SUBSTATION
November 2024

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- FIGURE 2 – TAX MAP
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- APPENDIX A – FIGURES
- APPENDIX B – SITE PHOTOGRAPHS
- APPENDIX C – NATURAL HERITAGE REPORTS

1.0 INTRODUCTION

1.1 Executive Summary & Project Description

This report has been prepared in accordance with the City of Camden Chapter 870, which governs the requirements for an Environmental Impact Statement (EIS). This EIS addresses potential environmental impacts associated with the proposed project. Various reports, documents, websites and on-line reference materials were consulted in the preparation of this EIS.

The new Breaker Station on Block 237, Lot 55 at 900 Locust Street will include a 26' x 42' control house and six (6) circuit breakers and equipment with associated overhead line exits, gravel surfacing, macadam and paved access driveway. A small-scale bioretention basin system is proposed for stormwater management for the breaker station. An 8'-8" high security fence is proposed around the site perimeter. The security fence will not include any barbed wire, nor be angled in/out at the top. The completed Breaker Station will include four (4) access points. The existing access point from Locust Street on the west will be reconstructed slightly south of the existing location. The existing access points from Spruce Street on the north side of the site and Cherry Street on the south side of the site will be reused in their existing locations. The Cherry Street access is intended to be used as an emergency/maintenance access point only.

To accommodate the development of the new Breaker Station, minor equipment changes are proposed at the existing Locust Street Substation on Block 243, Lot 1 at 942 Locust Street. Work in the existing Substation will include removal of some existing foundations, drive areas, a transformer and landscaping, and the installation of new cable trenches. A new 22-foot high free-standing isolation wall will be installed on the east side of the existing transformers to provide added protection to the transformers. There are no changes proposed to the stormwater management system at the Locust Street Substation as no additional impervious surface or grading changes are being proposed. The Substation will also be enclosed by an 8'-8" high, non-barbed wire, security fence.

2.0 SITE LOCATION AND LAND USE

2.01 Site Location

The Project site is a combination of the existing Locust Street Substation located at 942 Locust Street between Walnut Street and the vacated Cherry Street right-of-way (ROW) located on (Block 243, Lot 1) and the new Locust Street Breaker Station located on Locust Street to the north of the existing station on Block 237, Lot 55, 900 Locust Street in the City of Camden, Camden County, New Jersey. (*see Figure 1 - Road Map and Figure 2 - Tax Map*)

Figures providing the project location and environmental resource information, including a USGS Site Location Map, Local Street and County Road Map, Soils Map, as well as a NJDEP Landscape Project Map are provided in Attachment A.

The center of the Breaker Station property is located at New Jersey State Plane (NAD 83) coordinates N 401613 feet, E 316765 feet. The center of the existing Substation property is located at New Jersey State Plane (NAD 83) coordinates N 401373 feet, E 316803 feet. (*see Figure 3 – USGS Quad Map*). Based on FEMA Flood Insurance Rate Map (FIRM)

34007C0036F and 34007C0017F, effective dates August 17, 2016, both properties are located in the tidally-influenced floodplain associated with the Delaware River to the west, with a base flood elevation of 10 feet on the west side and 9 feet on the east side. (see Figure 4 – FIRM Map).

2.02 *Site Description and Land Use*

The existing Locust Street Substation is currently developed as an electrical substation with a combination of transformers, breakers and switchgear. The station is surfaced with loose crushed gravel around the station and a macadam access drive around the station. The substation has landscaping installed along the south and east perimeter and is enclosed with an eight-foot high chain-link fence. The site for the Locust Street Breaker Station is currently vacant, surfaced with a combination of gravel and impervious surfaces, and is temporarily being used to support construction activities at PSE&G Camden Gas Metering and Regulating (M&R) Station.

2.03 *Surrounding Land Uses*

The overall site is situated in a heavy industrial neighborhood and is bound by Spruce Street to the north, Walnut Street to the south, and Locust Street to the west and a combination of vacant and residential buildings to the east.

2.04 *Relationship to Township Master Plan*

The Planning Board of the City of Camden adopted FutureCAMDEN, the City of Camden Master Plan, on March 12, 2002. To translate the Master Plan into action, the City of Camden identifies PSE&G as an implementation partner to identify infrastructure improvements needed to support rehabilitation and new construction of housing, business expansions, commercial corridors, and urban industrial parks. The addition of the proposed improvements will enhance the capability of PSE&G to continue to meet the electrical needs of the residents of the City of Camden and Camden County and to support future economic advancement in Camden.

The locations of these Station are selected by electric service providers, such as PSE&G, to provide adequate coverage to the service area and region and promote economic growth. The areas serviced by substations, switching stations and breaker stations are limited, which require these stations to be strategically located by PSE&G to provide the necessary services. Therefore, the proposed Project is compatible with the City's Master Plan by providing a public utility and promoting economic growth.

The City of Camden has many other published plans, including Neighborhood Plans and Redevelopment Plans, that were reviewed and determined to be not applicable to the proposed Project and its property. It appears that this site is not located within any Redevelopment Plan/Area.

3.0 ENVIRONMENTAL CONDITIONS

As required by Chapter 870-272, the following sections provide an inventory of existing environmental conditions at the Project site.

3.01 *Geologic and Topographical Conditions*

The site is located within the Coastal Plain Physiographic Province of New Jersey. According to the NJDEP GeoWeb GIS Geology database, the site is underlain by sand, fine- to coarse-grained, interbedded with white, red, or yellow clay comprising the Potomac Formation (Kp).

The site of the Locust Street Breaker Station is generally flat. The highest elevation on site is around 8.5 along the east property line, and the lowest elevation is around 6.8 feet at the northwest corner of the property. There is an isolated low point along the southern property line within a fenced-in area. Stormwater runoff from the site currently sheet flows to the west offsite toward Locust Street where it is captured by existing curb inlets. Flow captured by these street drains is conveyed through the municipal storm sewer system where it eventually outfalls into the Delaware River.

3.02 *Soils*

The soils onsite consist solely of Urban land (UR) according to the Soil Survey Geographic (SSURGO) database mapping developed and maintained by the US Department of Agriculture (USDA). A copy of the appropriate portion of the SSURGO database mapping is provided in Attachment A. UR soils are found in highly disturbed areas. The parent material consists of surfaces covered by pavement, concrete, buildings, and other structures underlain by disturbed and natural soil material. A geotechnical report prepared by GZA GeoEnvironmental, Inc. is included in the Stormwater Management Report (Appendix E) prepared by Burns & McDonnell for this project.

Block 237, Lot 55 was part of the former Camden Gas Works, a manufactured gas plant (MGP). MGP operations on this parcel occurred from 1926 to the late 1950s. Soil remediation has been completed under the oversight of a Licensed Site Remediation Professional (LSRP), consisting of a soil excavation (3' to 7.5' bgs.) of the entire parcel, backfilling with certified clean fill, and emplacement of a deed notice, was completed in 2015. A soil Remedial Action Permit (RAP) was issued on May 25, 2017 and a soil Response Action Outcome (RAO) was issued in July 2017, closing the soil media NJDEP case on this lot. The proposed Breaker Station surficial components (i.e. washed crushed stone, macadam access drive, asphalt driveways, concrete foundations and a bioretention basin) will be incorporated into a replacement deed notice and RAP in the future by the Site's LSRP. Imported fill during the construction of the Breaker Station will be LSRP certified clean.

Block 243, Lot 1 was part of the former Camden Gas Works, a manufactured gas plant (MGP). MGP operations on this parcel occurred from 1891 to the late 1950s. A soil remediation consisting of a soil excavation (3' to 13.5' bgs.) of the entire parcel, in situ soil solidification in some areas of soils 13.5' bgs to 30' bgs., backfilling with certified clean fill, and emplacement of a deed notice, was completed in 2012. A soil RAP was issued on December 12, 2012, (subsequently modified on August 13, 2019) and a soil Response Action Outcome was issued in February 2013, closing the soil media NJDEP case on this lot.

3.03 *Freshwater Wetlands and Vegetative Community*

No freshwater wetlands have been identified on or in the vicinity of the site. The entire Project area has been previously developed and disturbed. The site of the Locust Street Breaker Station is currently being used for storage and laydown and no portions of the Project area located within a regulated freshwater wetland or State open waters. There is no vegetation on site.

3.04 *Streams / Flood Hazard Area*

The nearest named surface water feature is the Delaware River, which is located to the west of the site approximately 1,750 feet away at the closest location. No portions of the Project are proposed to occur within the associated riparian zone.

As noted above, the project is located within the tidal flood hazard area of the Delaware River. The Flood Insurance Rate Maps indicate the flood hazard area (FHA) elevation is 9' and 10' NAVD88 feet (AE Zone). As the project site is located within a tidal flood hazard area, the NJDEP flood hazard area design flood elevation equals the FEMA Base Flood Elevation (BFE), making the Design Flood Elevation (DFE) 9 feet or 10 feet, depending on location. PSE&G intends to elevate all critical equipment above the FEMA BFE of 10 feet. An application for a Flood Hazard Area Verification based on Method 2 will be submitted to the NJDEP to confirm the FHA elevation. An application for a Flood Hazard Area Individual Permit (FHA IP) will be submitted to the NDJEP for the improvements proposed within the FHA.

The watershed limit line runs through the site, with the Cooper River watershed to the north and the Woodbury/Big Timber/Newton Creek watershed to the south. The site is located in the Lower Delaware Watershed Management Area.

3.05 *Vegetation*

According to historical aerial images, this site has been occupied by an industrial use, in an industrial neighborhood since the 1940s. Locust Street Breaker Station property is surfaced with compacted gravel and impervious surfaces. As shown on the accompanying plans, the Locust Street Breaker Station will be developed with various electrical breakers, equipment and a control house and will be covered with porous, washed crushed stone, replacing the existing compacted gravel and/or concrete surfaces. No vegetation currently existing on the Breaker Station property. The existing substation has landscaping along the southern and eastern property lines.

3.06 *Threatened & Endangered Species*

According to the Natural Heritage Program (NHP) review, January 10, 2024, (Attachment C), no documented habitat or threatened or endangered species are found on or within a one (1) mile radius of the site. No significant tracts of vegetation are present on the subject property and there are no environmentally sensitive areas, such as suitable nesting sites or open water foraging habitat on the property. The proposed activities are not expected to destroy, jeopardize, or adversely modify the documented habitat of a threatened or endangered species, or jeopardize the existence of any known local populations of a threatened or endangered species.

3.07 Scenic and Historic Resources

According to NJDEP’s GeoWeb environmental data portal, the Macedonia AME Church is located at 261-265 Spruce Street to the northeast of the proposed Breaker Station and within the vicinity of the Project site. The Macedonia AME Church was added to the National Register of Historic Places (NRHP) in 1994 for its historical significance, NRHP No. 12000108.

According to [Macedonia African Methodist Episcopal Church - Clio \(theclio.com\) https://www.theclio.com/entry/125057](https://www.theclio.com/entry/125057), “The Macedonia African Methodist Episcopal Church has served Camden continuously since 1832, and in the historic building since 1884, making it the city’s oldest African American institution. The church operated as an integral aspect of the Underground Railroad during the mid-nineteenth-century and remained pivotal to the community for its entire existence. In addition to its function as a place of faith, the church has operated as a community center, a source of social activism, and a place for education. Moreover, the church has provided or supported many community services over the years, including when Camden suffered from decline and blight after World War II and throughout much of the twentieth century.”

Additionally, according to NJDEP’s GeoWeb environmental data portal, the Volney G. Bennett Lumber Company is located at 845 South 2nd Street, one block to the west, and within approximately 500 feet of the Breaker Station property. The Volney G. Bennett Lumber Company was added to the National Register of Historic Places (NRHP) in 1993 for its architectural and engineering significance, NRHP No. 93000749.

The boundary of the Bergen Square historic district runs down the east side of S. 3rd Street.

E2PM conducted a review of the New Jersey Historic Preservation Office’s (NJHPO) online LUCY 2.0 Cultural Resources Geographic Information Systems (CRGIS) database to identify any historic properties which may be impacted by the proposed project. While E2PM’s search radius extended ½ mile from the site, only properties within a quarter of a mile would have a potential viewshed of the proposed project. In total, six previously-recorded historic properties are found within a half-mile of the project area. Table 1 below presents the identified properties by name, distance, direction, and NJHPO status.

Table 1

NAME	Distance/Direction	NJHPO Status	NJHPO Date	Current Status
Volney Bennett Lumber Company	220 (ft) / West	NJ Register National Register	6/28/1993 8/5/1993	Demolished
Macedonia AME Church	395 (ft) / E	COE* NJ Register National Register	4/20/1994 1/4/2012 3/12/2012	Present
Bergen Square Historic District	570 (ft) / E	Identified Eligible	6/25/2008	Not Surveyed
NJ Conference Deaconess Home & Community Center	1,500 (ft) / S	COE*	9/14/2017	Present
New Pilgrim Full Gospel Baptist Church	1,700 (ft) / SE	Identified Eligible	8/13/2015	Present
Broadway Trust Company	2600 (ft) / E	NJ Register National Register	1/11/1990 8/24/1990	Present

*Certificate of Eligibility. The HPO has not registered property but thinks it is eligible.

3.08 Air Quality and Noise Levels

Air Quality

The Clean Air Act of 1970 (CAA) required the EPA to establish ambient ceilings for certain pollutants based upon the identifiable effects the pollutants may have on public health and welfare. EPA has established two classes of ambient air quality standards: (1) primary standards defining levels of air quality that the EPA has judged necessary to protect public health; and (2) secondary standards defining levels for protecting soils, vegetation, wildlife, and other aspects of public welfare.

As reported by NJDEP, New Jersey statewide air quality attainment status is presented in Table 1; nonattainment is indicated only for Ozone. Ozone is further addressed regionally as presented in Table 2.

**Table 1
NAAQS and New Jersey Status**

Pollutant	Primary Standards			Designation
	Level	Date	Averaging Time	
Ozone	0.12 ppm	1979	1-hour	Standard revoked
	84 ppb	1997	8-hour	Nonattainment/Moderate
	75 ppb	2008	8-hour	Nonattainment, Moderate
	70 ppb	2015	8-hour	Not Yet Designated
PM2.5	15.0 µg/m ³	1997	Annual	Attainment
	35 µg/m ³	2006	24-hour	
	12 µg/m ³	2012	Annual	Unclassifiable-Attainment
PM10	150 µg/m ³	1987	24-hour	Attainment
SO ₂	0.03 ppm	1971	Annual	Standard revoked
	0.14 ppm	1971	24-hour	
	75 ppb	2010	1-hour	Unclassifiable-Attainment
CO	9 ppm	1971	8-hour	Attainment-Maintenance
	35 ppm	1971	1-hour	
	New monitor	2011		No New Requirements
NO ₂	53 ppb	1971	Annual	Attainment
	100 ppb and New monitor	2010	1-hour	Unclassifiable-Attainment
Lead	1.5 µg/m ³	1978	Quarterly Average	Attainment
	0.15 µg/m ³	2008	Rolling 3-Month Average	Unclassifiable-Attainment

Table 2

New Jersey-Associated Ozone Nonattainment Areas – Designations and Classifications

Area Name	New Jersey 1-Hour Designations	New Jersey 1-Hour Classifications	New Jersey 84 ppb 8-hour Designations	New Jersey 84 ppb 8-Hour Classifications	New Jersey 75 ppb 8-Hour Designations	New Jersey 75 ppb 8-Hour Classifications
Northern New Jersey-New York-Connecticut, NJ-NY-CT	Bergen Essex Hudson Hunterdon Middlesex Monmouth Morris Ocean Passaic Somerset Sussex Union	Severe 17	Bergen Essex Hudson Hunterdon Middlesex Monmouth Morris Passaic Somerset Sussex Union Warren	Moderate (69 FR 23858 April 30, 2004)	Bergen Essex Hudson Hunterdon Middlesex Monmouth Morris Passaic Somerset Sussex Union Warren	Marginal (77 FR 30135 May 21, 2012) Reclassified to Moderate (81 FR 26719 May 4, 2016)
Southern New Jersey-Pennsylvania-Delaware-Maryland, NJ-PA-DE-MD	Burlington Camden Cumberland Gloucester Mercer Salem	Severe 15	Atlantic Burlington Camden Cape May Cumberland Gloucester Ocean Mercer Salem	Moderate (69 FR 23858 April 30, 2004)	Atlantic Burlington Camden Cape May Cumberland Gloucester Ocean Mercer Salem	Marginal (77 FR 30135 May 21, 2012)(3)
Allentown-Bethlehem-Easton, PA-NJ	Warren	Marginal	(1)	(1)	(1)	(1)
Atlantic City, NJ	Atlantic Cape May	Moderate	(2)	(2)	(2)	(2)

Notes:

1. Included in the Northern New Jersey-New York-Connecticut nonattainment area
2. Included in the Southern New Jersey-Pennsylvania-Delaware-Maryland nonattainment area
3. Attainment date is extended to July 20, 2016

3.09 Noise Levels

PSE&G contracted Ostergaard Acoustical Associates to prepare an acoustical study to specifically evaluate the current and proposed noise levels that would be generated by the proposed improvements. Please refer to the report entitled, “Acoustical Evaluation of Additional Systems” for additional information.

4.0 ENVIRONMENTAL IMPACTS

The following information describes in detail the measures that will be employed during the construction and operation phases of the project that will minimize or eliminate any adverse impacts, on and off property, that could occur. The specific concerns that have been considered include the following:

4.01 *Soil Erosion and Sedimentation*

All soil disturbance, excavation, and grading activities will conform to the Soil Erosion and Sediment Control Plan which will be submitted to the Camden County Soil Conservation District for certification. Drawing 799480A-0 in the Engineering Plans provided as part of the site plan application demonstrates the use of soil erosion and sediment control measures in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey. These measures include, but are not limited to stabilized construction entrances, silt fence/silt sock barriers, a temporary sediment basin and soil stockpile areas. Potential adverse impacts which could result from grading, erosion or sedimentation will be prevented by the implementation and maintenance of the required soil erosion and sediment control measures during construction. The proposed bioretention basin will have a positive effect by filtering out total suspended solids and other pollutants from surface stormwater runoff prior to releasing into the City's conveyance system.

4.02 *Flooding and Floodplain Disruption*

As noted above, this project is located within the tidal flood hazard area of the Delaware River. The 100-year flood hazard area has been determined by FEMA to be at elevation 10 on the western two-thirds of the properties whereas the eastern third of the properties has a 100-year FHA of 9.0 NAVD 88. The proposed Breaker Station and upgrades to the existing substation will not have an impact on local or regional flooding attributed to the Delaware River.

4.03 *Degradation of Surface Water Quality*

As noted in Section 4.01 above, the quality of surface water will actually improve with the construction of the bioretention basin. The basin has been designed in accordance with the NJDEP's Best Management Practices Manual as a green infrastructure method to achieve the water quality requirements under N.J.A.C. 7:8. Please refer to the Stormwater Management Report prepared by B&McD.

4.04 *Groundwater Pollution*

The development of the Breaker Station will not require the storage of any hazardous materials, explosives or poisonous gases. The site will include a control house and will be surfaced with porous, washed crushed stone, a macadam access drive, asphalt driveways, concrete foundations and the bioretention basin. Stormwater drains will be located throughout the station and will collect and convey stormwater to the bioretention basin for treatment prior to discharging into the City's collection system. It should be noted that groundwater recharge is not necessary for the site per the N.J.A.C. 7:8-1.2 definition of

“Urban Redevelopment Area” as the project is located within a Metropolitan Planning Area (PA-1) and has been previously developed as various industrial/utility uses.

Block 243, Lot 1 and Block 237, Lot 55 were part of the former Camden Gas Works, a manufactured gas plant (MGP). MGP operations on this parcel occurred through the late 1950s. Groundwater impacts have been delineated, under the oversight of a LSRP and remedial action is expected to be monitored natural attenuation. Groundwater in this area is impacted by regional historic fill.

All soil and dewatering will be properly characterized to allow for proper transport and disposal by PSE&G’s Environmental Projects team. Since this project is under LSRP oversight, PSE&G will share the necessary back-up with our LSRP for all soil and water generated during the construction.

4.05 *Sewage Disposal*

The new Control House, including a single bathroom, will be constructed as part of the Locust Street Breaker Station. A new sewer lateral will be constructed to connect into the existing sanitary sewer main located in Spruce Street. The Breaker Station will be unmanned and visited approximately once a week by authorized PSE&G technicians to inspect and maintain equipment. Based on the infrequency of use of the Breaker Station, this project will have no impact on the demand of the existing sewer system. No changes are proposed at the existing substation that would affect sewage generation and disposal.

4.06 *Solid Waste Disposal*

As an unmanned facility, there is no need for garbage, refuse, or recycling facilities. Any trash or recycling will be removed by PSE&G technicians. During construction, waste discharge and construction debris will be managed in accordance with the Federal United States Environmental Protection Agency (USEPA) and the New Jersey Department of Environmental Protection (NJDEP). PSE&G will manage and/or recycle all waste materials at state-permitted facilities or Class B permitted material recovery facility.

- Soil and concrete generated during excavation will not be used as backfill. Based on analytical results, the soils and concrete will be staged in stockpiles or plastic lined roll-off containers with tarp covers and shipped to a proper recycling or disposal facility based on sampling results.
- Cardboard, non-treated wood, municipal solid waste, and asphalt will be collected in roll-off containers ranging in size from 6-20 cubic yards that will be placed onsite. Any waste generated will be separated by using appropriate containers for routine debris and separate container(s) for cardboard and other recyclables. All roll-offs will be placarded/labeled with regards to content to eliminate potential for inadvertent mixing of waste materials.
- Scrap metal will be placed in a roll-off container and removed once full or at the end of the project.

4.07 *Wildlife and Vegetation Destruction*

As noted earlier, there is no vegetation or documented wildlife habitat on the Breaker Station property. The existing landscaping within the existing substation property will be removed as it presents a hazard to the electrical equipment.

4.08 *On and Off-Site Scenic and Historic Features*

The proposed upgrades to the Locust Street Substation (Block 243, Lot 1) will not change the use of the site and therefore will not alter the current site aesthetics or historic features. The construction of the new Breaker Station on Block 237, Lot 55 likewise will not impact any onsite scenic or historic features.

It is our opinion that this project will not impact any cultural resources or any unique aesthetic features.

4.09 *Air Quality Degradation*

Local air quality may be temporarily affected by emissions from heavy construction equipment and delivery trucks to mobilize materials on and off the site. This effect should be minimal as emissions will not be excessive and dispersion of particulates is rapid over a spatial area. An approved Soil Erosion and Sediment Control Plan will be implemented to mitigate the potential of dust hazards during construction activities. After construction, air quality will resume to its current condition.

4.10 *Noise Levels*

The generation and mitigation of noise associated with electrical substations are a common concern to residents and municipalities. During construction, PSE&G will require contractors to monitor vibration levels during the demolition of existing equipment. All contractors shall conform to PSE&G requirements of limiting vibration to less than two inches per second.

The proposed improvements to the existing Locust Street Substation and the construction of the new Breaker Station will have minimal impacts on local traffic during the construction phase (approximately 30 months). PSE&G will use adjacent property for construction laydown, equipment storage, and contractor parking. All street intersections surrounding the site will not be constrained by the construction activity at the Substation and Breaker Station. All delivery trucks will access the site on a scheduled basis to prevent traffic disruption. The street intersections proximate to the project will remain accessible for residents and local traffic during construction. Upon project completion, the substation and breaker station will be unmanned with nominal traffic generation.

PSE&G contracted Ostergaard Acoustical Associates to prepare an acoustical study to specifically evaluate the current and proposed noise levels that would be generated by the proposed improvements. Please refer to this report for further information.

5.0 MITIGATION MEASURES

As required under §870-272.C.3, the measures that will be employed during the planning, construction and operation phases which will minimize or eliminate negative impacts that could result from the proposed project are described in the following sections.

5.01 *Drainage Plans, including Soil Erosion and Sedimentation Controls*

Soil Erosion and Sediment Control plans, notes and details have been prepared by Burns & McDonnell and included in the set of engineering plans. These plans will be submitted to the Camden County Soil Conservation District for certification. The Soil Erosion and Sediment Control plan proposes measures including stabilized construction entrances, silt fence/silt sock around areas of disturbance, soil stockpile areas, a temporary sediment basin and offsite inlet protection. These measures will be inspected, maintained and replaced as necessary throughout the course of construction.

5.02 *Water supply and water conservation proposals*

The only new use of water is the bathroom in the new Control House for the Breaker Station. The Breaker Station will be visited on a weekly basis by a PSE&G technician. The bathroom fixtures are specified to be low-water use fixtures. Based on the infrequency of use of the Breaker Station, this project will have little impact on the City's water supply.

5.03 *Energy Conservation Measures*

Since the purpose of this project is to supply energy to PSE&G customers, there is little opportunity for energy conservation measures. This project is unique in that it is primarily about the management and distribution of energy for consumption, and hopefully conservation, by the public. At a minimum, the lighting proposed in the Control House will be provided by energy-efficient LED fixtures. The site and security lighting will be PSE&G's standard LED lighting.

5.04 *Noise Reduction Techniques*

The property for the new Breaker Station is currently vacant and generates little noise. The exterior HVAC units on the new Control House are the only new sources of noise at the Breaker Station. The HVAC units will be mounted on the east and south sides of the Control House.

At the existing substation, a 22-foot high isolation wall is proposed along the east side of the transformer bays, which will greatly reduce the noise levels emanating to the east.

Generation and mitigation of noise associated with electrical substations and associated equipment are a common concern to residents and municipalities. PSE&G contracted Ostergaard Acoustical Associates to prepare an acoustical study to specifically evaluate the current and proposed noise levels that would be generated by the proposed improvements. Please refer to this report for further information.

5.05 *Screening and Landscaping to Enhance Project Compatibility*

To offset the visual impacts of the new Breaker Station, a landscaping plan has been prepared to provide trees and lawn area on the adjacent property to the east, between Spruce Street and Cherry Street. This plan will be part of a separate site plan application to the City for review and approval. Furthermore, the existing perimeter chain link fence will be replaced with a new 8'-8" high security fence. The fence fabric will have an opacity of 25% which will provide more screening than the existing chain link fence.

6.0 COMMUNITY IMPACT STATEMENT

The proposed improvements to the existing Station will have no adverse impacts to the community such as population, schools, municipal facilities and services (i.e. police, emergency services, fire department, garbage collection, etc.) or fiscal impacts.

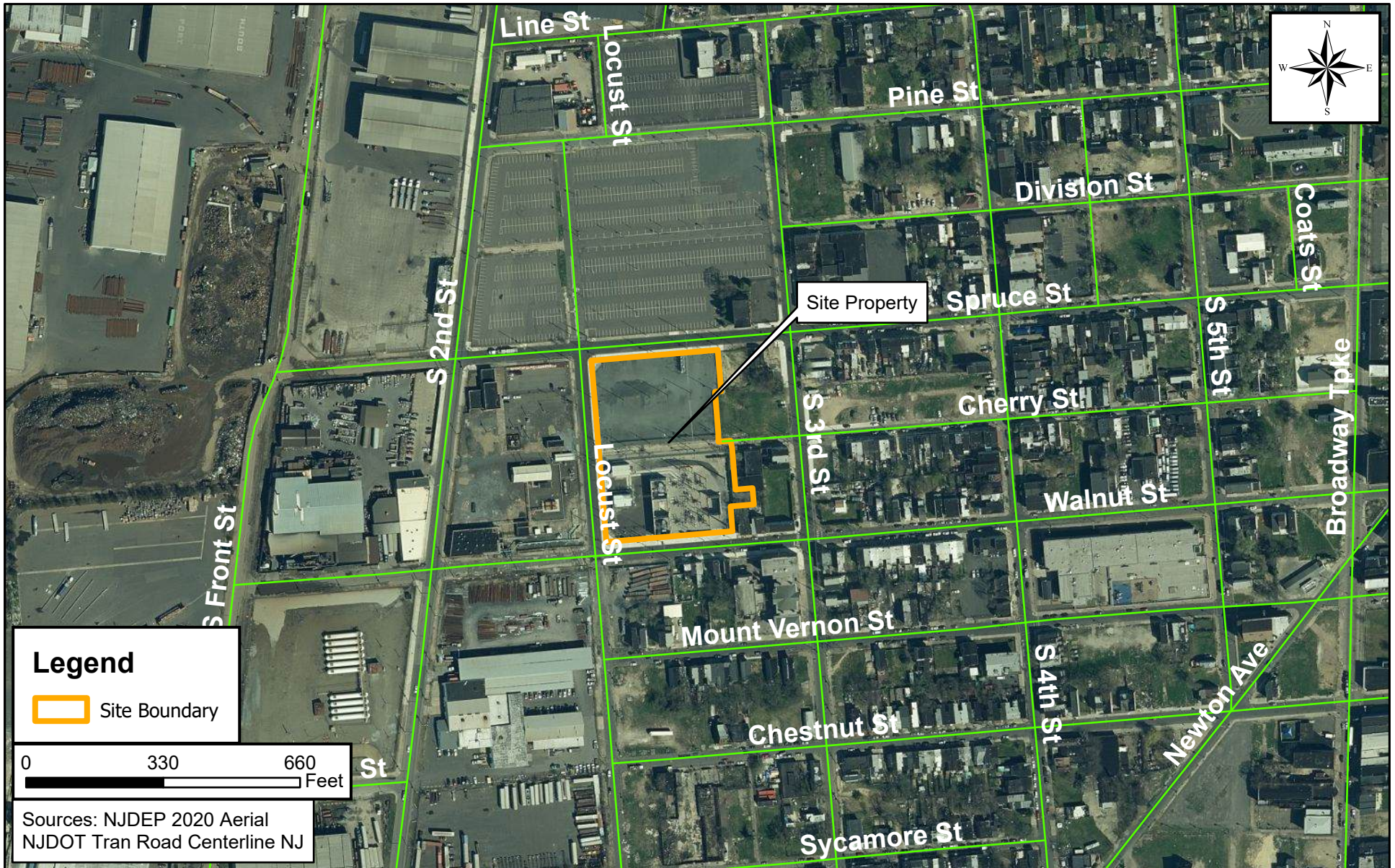
7.0 LICENSES, PERMITS AND OTHER APPROVALS REQUIRED BY LAW

The following approvals, permits and/or certifications are required for this project:

- New Jersey Department of Environmental Protection – Flood Hazard Area Verification and Individual Permit - **Pending**
- City of Camden Zoning Board of Adjustment – Preliminary and Final Major Site Plan approval with variances - **Pending**
- Camden County Planning Board Site Plan Exemption - **Pending**
- Camden County Soil Conservation District for Soil Erosion and Sediment Control Certification – **Pending**
- City of Camden Construction Office for Construction Permits - **Pending**

8.0 DOCUMENTATION

- Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) panels 34007C0017F and 34007C0036F, effective August 17, 2016. Accessed May 26, 2023 at: <https://msc.fema.gov/portal/home>
- NJDEP (2018). NJ-GeoWeb. Accessed several times in 2023 and 2024 at: <http://www.nj.gov/dep/gis/geoweb splash.htm>
- Planning Board of the City of Camden (March 12, 2002). *FutureCAMDEN*, City of Camden Master Plan. Accessed several times in 2023 and 2024 at: <http://camdenredevelopment.org/Plans/Plans/Master-Plan.aspx>
- Land Development Ordinance of the City of Camden at: <https://ecode360.com/CA1078>
- The following were reviewed on 1/27/2024: Redevelopment Plan of the City of Camden at: <http://camdenredevelopment.org/Plans/Plans/Other-Plans.aspx>
- City's Master Plan
- Urban Enterprise Zone – 1/27/2024 – General Design Standards and webpage. Contact Ruben Perez, rperez@sjcscamden.org.
- Camden Redevelopment Agency, Olivette Simpson, Interim Executive Director
- PSE&G Electric Transmission & Distribution. Stormwater Management Report & Calculations. Provided with this Site Plan Application.
- GoogleEarth and Streetview, January 22, 2024
- [Macedonia African Methodist Episcopal Church - Clio \(theclio.com\)](http://www.theclio.com) and <https://www.theclio.com/entry/125057>
- Historic Preservation Commission webpage lists Dr. Williams and no links to design guidelines



Legend

 Site Boundary

0 330 660 Feet

Sources: NJDEP 2020 Aerial
NJDOT Tran Road Centerline NJ



PSEG

4000 Hadley Road
South Plainfield
New Jersey 07080

Locust Street Breaker Station
Locust Street & Cherry Street
Block 237, Lot 55 & Block 243, Lot 1
City of Camden, Camden County, New Jersey

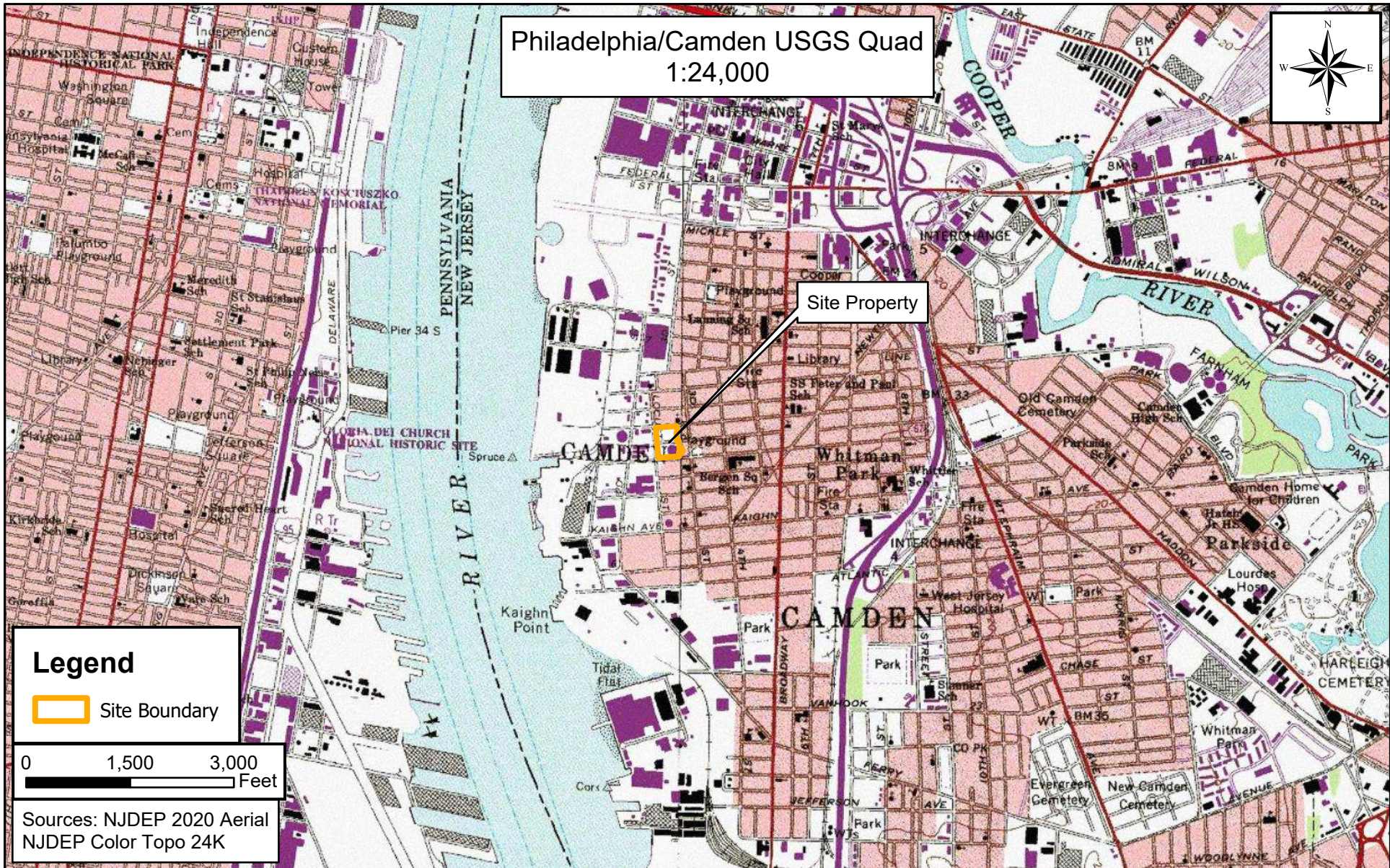
Figure 1
Road Map



4000 Hadley Road
South Plainfield
New Jersey 07080

Locust Street Breaker Station
Locust Street & Cherry Street
Block 237, Lot 55 & Block 243, Lot 1
City of Camden, Camden County, New Jersey

Figure 2
Tax Map



PSEG

4000 Hadley Road
 South Plainfield
 New Jersey 07080

Locust Street Breaker Station
 Locust Street & Cherry Street
 Block 237, Lot 55 & Block 243, Lot 1
 City of Camden, Camden County, New Jersey

Figure 3

USGS Topographic Map

National Flood Hazard Layer FIRMMette



75°7'52"W 39°56'16"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

75°7'15"W 39°55'48"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **11/13/2023 at 1:47 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Figure 4



4000 Hadley Road
South Plainfield
New Jersey 07080

Locust Street Breaker Station
Locust Street & Cherry Street
Block 237, Lot 55 & Block 243, Lot 1
City of Camden, Camden County, New Jersey

Figure 5
Soils Map




PSEG
 4000 Hadley Road
 South Plainfield
 New Jersey 07080

Locust Street Breaker Station
 Locust Street & Cherry Street
 Block 237, Lot 55 & Block 243, Lot 1
 City of Camden, Camden County, New Jersey

Figure 6
 Hydrology Map



PSEG

4000 Hadley Road
 South Plainfield
 New Jersey 07080

Locust Street Breaker Station
 Locust Street & Cherry Street
 Block 237, Lot 55 & Block 243, Lot 1
 City of Camden, Camden County, New Jersey

Figure 7
Historical Properties Map

APPENDIX B – SITE PHOTOGRAPHS

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



PHOTO LOCATION VIEWS - Aerial view of proposed PSE&G Locust Street Breaker Station and existing Substation

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #1 – View from Locust Street looking east into the Station property at the existing driveway



View #2 – View from Locust Street facing north towards Spruce Street, Station property on the right

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #3 – View from Spruce Street, mid lot, looking south towards Station property



View #4 – View from Spruce Street looking west, Station property is on the left

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #5 – View from Spruce Street looking south towards Station property at the existing driveway



View #6 – View from 1002 Locust Street looking east at PSE&G Locust Street Substation at existing driveway

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #7 – View from 1002 Locust Street looking west at PSE&G Camden Gas M&R Station



View #8 – View from 225 Spruce Street looking south at PSE&G Camden Gas M&R Station

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #9 – View from intersection of Spruce Street and Locust Street looking southeast at Station



View #10 – View from intersection of Spruce Street and S. 3rd Street looking west at Station on left

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #11 – View from Spruce Street looking southwest at Station on left



View #12 – View from intersection of Locust Street and Walnut Street looking northeast toward PSE&G Locust Street Substation on right

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #13 – Aerial View from Walnut Street looking north at Station



View #14 - Aerial View from Locust Street looking east at Station

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #15 - Aerial View from Spruce Street looking south at Station



View #16 - Aerial View from S 3rd Street looking west at Station

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #17 - Aerial of Macedonia Church and Pine Street Parking from S. 2nd Street facing east



View #18 - Aerial View of Industrial and Residential Areas from S. 3rd Street facing northeast

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #19 - Aerial of Industrial Area to the northwest from S. 2nd Street

APPENDIX C - NJDEP NATURAL HERITAGE REPORTS



State of New Jersey

MAIL CODE 501-04

DEPARTMENT OF ENVIRONMENTAL PROTECTION

STATE PARKS, FORESTS & HISTORIC SITES
OFFICE OF NATURAL LANDS MANAGEMENT

501 East State Street
P.O. Box 420, Mail Code 501-04

Trenton, NJ 08625-0420
Tel. (609) 984-1339 • Fax (609) 984-0427

PHILIP D. MURPHY
Governor

SHEILA Y. OLIVER
Lt. Governor

SHAWN M. LATOURETTE
Commissioner

June 23, 2023

Joseph Oates
E2 Project Management LLC
87 Hibernia Avenue
Rockaway, NJ 07866

Re: Locust Street - Substation/942 Locust Street
Block(s) - 243, Lot(s) - 1
Camden City, Camden County

Dear Mr. Oates:

Thank you for your data request regarding rare species information for the above referenced project site.

Searches of the Natural Heritage Database and the Landscape Project (Version 3.3) are based on a representation of the boundaries of your project site in our Geographic Information System (GIS). We make every effort to accurately transfer your project bounds from the map(s) submitted with the Natural Heritage Data Request Form into our GIS. We do not typically verify that your project bounds are accurate, or check them against other sources.

We have checked the Landscape Project habitat mapping and the Biotics Database for occurrences of any rare wildlife species or wildlife habitat on the referenced site. The Natural Heritage Database was searched for occurrences of rare plant species or ecological communities that may be on the project site. Please refer to Table 1 (attached) to determine if any rare plant species, ecological communities, or rare wildlife species or wildlife habitat are documented on site. A detailed report is provided for each category coded as 'Yes' in Table 1.

We have also checked the Landscape Project habitat mapping and Biotics Database for occurrences of rare wildlife species or wildlife habitat in the immediate vicinity (within ¼ mile) of the referenced site. Additionally, the Natural Heritage Database was checked for occurrences of rare plant species or ecological communities within ¼ mile of the site. Please refer to Table 2 (attached) to determine if any rare plant species, ecological communities, or rare wildlife species or wildlife habitat are documented within the immediate vicinity of the site. Detailed reports are provided for all categories coded as 'Yes' in Table 2. These reports may include species that have also been documented on the project site.

The Natural Heritage Program reviews its data periodically to identify priority sites for natural diversity in the State. Included as priority sites are some of the State's best habitats for rare and endangered species and ecological communities. Please refer to Tables 1 and 2 (attached) to determine if any priority sites are located on or in the immediate vicinity of the site.

A list of rare plant species and ecological communities that have been documented from the county (or counties), referenced above, can be downloaded from <https://nj.gov/dep/parksandforests/natural/heritage/database.html>. If suitable habitat is present at the project site, the species in that list have potential to be present.

Status and rank codes used in the tables and lists are defined in EXPLANATION OF CODES USED IN NATURAL HERITAGE REPORTS, which can be downloaded from https://nj.gov/dep/parksandforests/natural/docs/nhpcodes_2010.pdf.

Beginning May 9, 2017, the Natural Heritage Program reports for wildlife species will utilize data from Landscape Project Version 3.3. If you have questions concerning the wildlife records or wildlife species mentioned in this response, we recommend that you visit the interactive web application at the following URL,

NHP File No. 23-3907582-27923

<https://njdep.maps.arcgis.com/apps/webappviewer/index.html?id=0e6a44098c524ed99bf739953cb4d4c7>, or contact the Division of Fish and Wildlife, Endangered and Nongame Species Program at (609) 292-9400.

For additional information regarding any Federally listed plant or animal species, please contact the U.S. Fish & Wildlife Service, New Jersey Field Office at <http://www.fws.gov/northeast/njfieldoffice/endangered/consultation.html>.

Information supplied by the Natural Heritage Program summarizes existing data known to the program at the time of the request regarding the biological elements (species and/or ecological communities) or their locations. They should never be regarded as final statements on the elements or areas being considered, nor should they be substituted for on-site surveys required for environmental assessments.

Thank you for consulting the Natural Heritage Program. The attached invoice details the payment due for processing this data request. Feel free to contact us again regarding any future data requests.

Sincerely,



Robert J. Cartica
Administrator

c: NHP File No. 23-3907582-27923

Table 1: On Site Data Request Search Results (6 Possible Reports)

<u>Report Name</u>	<u>Included</u>	<u>Number of Pages</u>
1. Possibly on Project Site Based on Search of Natural Heritage Database: Rare Plant Species and Ecological Communities Currently Recorded in the New Jersey Natural Heritage Database	No	0 pages included
2. Natural Heritage Priority Sites On Site	No	0 pages included
3. Rare Wildlife Species or Wildlife Habitat on the Project Site Based on Search of Landscape Project 3.3 Species Based Patches	No	0 pages included
4. Vernal Pool Habitat on the Project Site Based on Search of Landscape Project 3.3	No	0 pages included
5. Rare Wildlife Species or Wildlife Habitat on the Project Site Based on Search of Landscape Project 3.3 Stream Habitat File	No	0 pages included
6. Other Animal Species On the Project Site Based on Additional Species Tracked by Endangered and Nongame Species Program	No	0 pages included

Table 2: Vicinity Data Request Search Results (6 possible reports)

<u>Report Name</u>	<u>Included</u>	<u>Number of Pages</u>
1. Immediate Vicinity of the Project Site Based on Search of Natural Heritage Database: Rare Plant Species and Ecological Communities Currently Recorded in the New Jersey Natural Heritage Database	No	0 pages included
2. Natural Heritage Priority Sites within the Immediate Vicinity	No	0 pages included
3. Rare Wildlife Species or Wildlife Habitat Within the Immediate Vicinity of the Project Site Based on Search of Landscape Project 3.3 Species Based Patches	No	0 pages included
4. Vernal Pool Habitat In the Immediate Vicinity of Project Site Based on Search of Landscape Project 3.3	No	0 pages included
5. Rare Wildlife Species or Wildlife Habitat In the Immediate Vicinity of the Project Site Based on Search of Landscape Project 3.3 Stream Habitat File	No	0 pages included
6. Other Animal Species In the Immediate Vicinity of the Project Site Based on Additional Species Tracked by Endangered and Nongame Species Program	No	0 pages included

CITY OF CAMDEN
PRELIMINARY & FINAL MAJOR SITE PLAN APPLICATION
VISUAL IMPACT ASSESSMENT

For:

**PSE&G LOCUST STREET BREAKER
STATION AND SUBSTATION**

**900 LOCUST STREET – BLOCK 237, LOT 55
942 LOCUST STREET – BLOCK 243, LOT 1
CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY**

November 2024



PSEG

Applicant/Owner:

Public Service Electric and Gas Company
Delivery Projects & Construction
Licensing & Permitting
4000 Hadley Road, South Plainfield, NJ 07080

Prepared By:

E2 Project Management LLC
2517 Route 35 Building I, Suite 101
Manasquan, NJ 08736



Lisa R. DiFranza

Lisa R. DiFranza, NJPE License No. 24GE004959100

**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

November 2024

1.0 PROJECT DESCRIPTION

PSE&G is proposing to construct a Breaker Station at 900 Locust Street (Block 237, Lot 55) which will in conjunction, require upgrades at its existing Locust Street Substation located at 942 Locust Street (Block 243, Lot 1) in the City of Camden. These improvements are part of a program to provide service reliability to our 6,000+ customers during various contingencies identified in the 2022 Series 2027 Summer Regional Transmission Expansion Planning (RTEP) Study.

The upgrades to the existing substation include new transmission poles to connect to the breaker station, removal of existing bus work and a transformer position, additional substation equipment and bus supports to prepare for future installation of a third transformer, a new ballistic wall, and additional cable trench. Some existing landscaping trees will be removed from the substation property.

The following is a list of the major equipment and site improvements proposed at the new Locust Street Breaker Station:

- Six (6) 69kV breakers and their associated foundations
- Various electrical equipment supports for the operation of the Breaker Station
- A 26' x 42' Control House (FFE = 12.0' NAVD)
- An 8'-8" high security fence around the perimeter
- Underground concrete-encased electrical cable duct banks and manholes
- Stormwater conveyance system
- Stormwater Bioretention BMP
- Macadam and paved access driveways
- Substation gravel surfacing
- Two (2) 51-foot high lightning masts
- One (1) 51-foot high H-frame
- Four (4) 72-foot high 69 kV transmission poles

The following is a list of major equipment and site improvements to be installed at the existing Locust Street Substation as part of the project:

- One (1) 69kV open-air seven position ring bus and associated equipment
- An 8'-8" high security fence around the perimeter
- Underground concrete-encased electrical cable duct banks and manholes

**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

November 2024

- Minor electrical equipment and structures
- Macadam and paved access driveways
- Substation gravel surfacing
- Four (4) 72-foot high 69 kV transmission poles
- One (1) 22-foot high free-standing isolation wall for existing transformers
- Two (2) 27-foot high 13kV transmission poles to replace existing 27-foot high poles

The new Breaker Station and existing Substation falls within the City's R-2 Residential District Zone.

Visual Impact Assessment

The intent of this Visual Impact Assessment (VIA) is to analyze the new Locust Street Breaker Station and upgrades at the existing Locust Street Substation and present its expected visual impact on the surrounding area. The information furnished within this VIA serves to influence the design of the proposed Breaker Station and Substation upgrades so that the necessary design elements are incorporated to offset visual impacts. The following statements are provided to specifically address the requirements of §870-275B.

Relationship to the City's Master Plan

2. *The compatibility or incompatibility of the proposed project shall be described in relation to the following:*
 - a. *City of Camden Master Plan*
 - b. *Camden County Planning Documents*
 - c. *Camden County Urban Complex Strategic Plan*

The Planning Board of the City of Camden adopted FutureCAMDEN, the City of Camden Master Plan, on March 12, 2002. To translate the Master Plan into action, the City of Camden identifies PSE&G as an implementation partner to identify infrastructure improvements needed to support rehabilitation and new construction of housing, business expansions, commercial corridors, and urban industrial parks. The purpose of the new substation is to provide service reliability to our 6,000+ customers during various contingencies identified in the 2022 Series 2027 Summer Regional Transmission Expansion Planning (RTEP) Study.

**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

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The locations of electrical breaker, switching and substations are selected by electrical service providers, such as PSE&G, to provide adequate coverage to the service area and region and promote economic growth. The areas serviced by electrical substations are limited, which require substations to be strategically located by PSE&G to provide the necessary services. Therefore, the proposed project is compatible with the City's Master Plan by providing a public utility and promoting economic growth.

The City of Camden has many other published plans, including Neighborhood Plans and Redevelopment Plans, that were reviewed and determined to be not applicable to the proposed Substation and its property, also confirmed by the City Planner and Engineer during our October 2023 and July 2024 pre-application meeting.

The policies of the Master Plan are implemented and enforced by the Land Development Ordinance of the City of Camden. The proposed Breaker Station and the existing Substation are located in the R-2 Residential District Zone. According to §870-55, public utility facilities are a conditional use subject to the requirements of §870-191. The proposed project will follow the bulk and design requirements outlined in the Land Development Ordinance for property in R-2 Residential District.

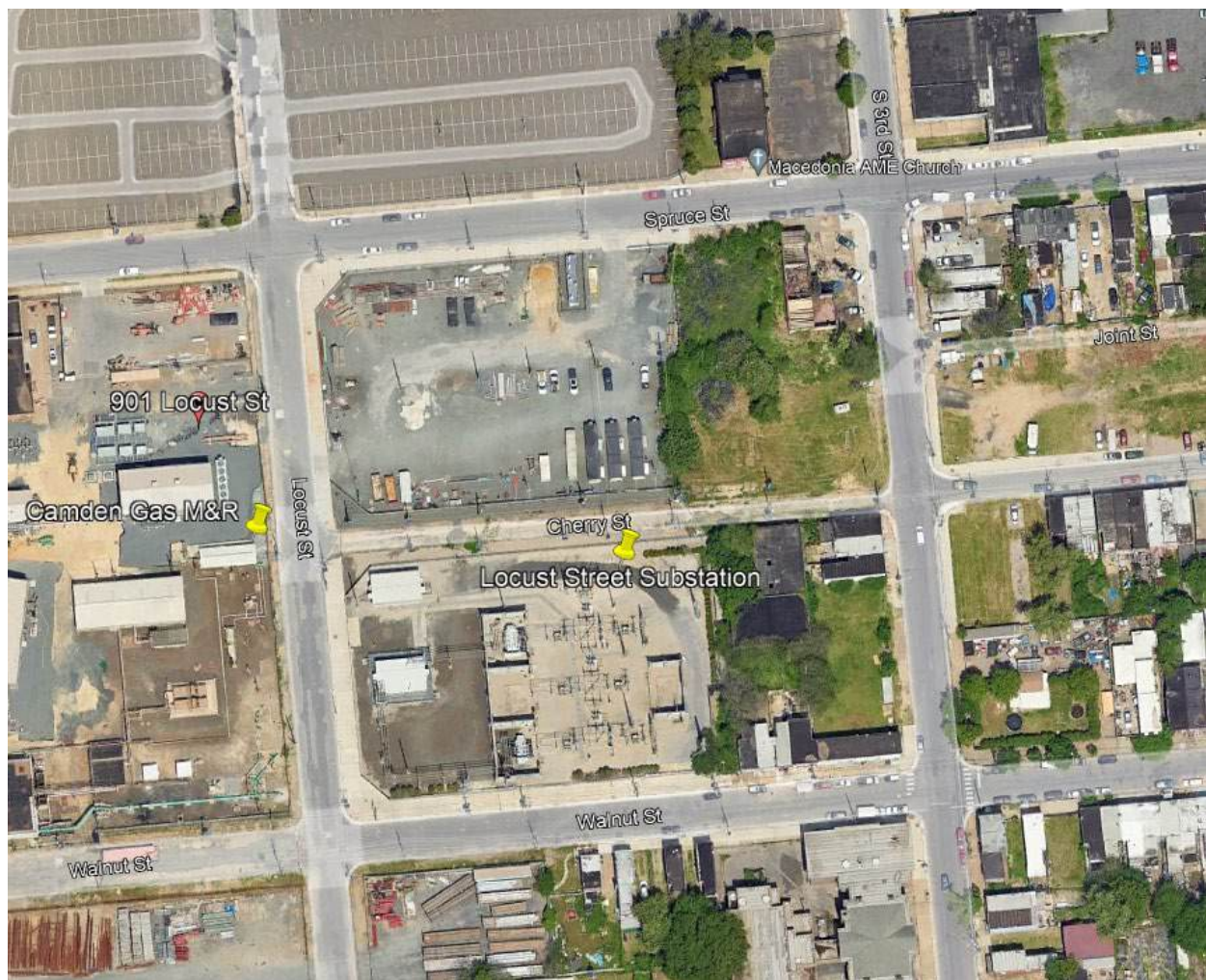
3. *The suitability of the site for the intended use shall be discussed. This shall include a description of environmental conditions on the site which shall include, but not be limited to, the following items:*
 - a. *Describe and map those portions of the site that can be considered to have unique scenic qualities and any scenic view from the site.*

It is our opinion that this site itself does not have any portions that can be considered to have any unique scenic qualities. The existing Locust Street Substation property was part of the former Camden Gas Works, a manufactured gas plant (MGP). MGP operations on this parcel occurred from 1891 to the late 1950s. The Substation has been in operation by PSE&G since 2012. The new Breaker Station property was also part of the former Camden Gas Works. MGP operations on this parcel occurred from 1926 to the late 1950s. Both properties have been developed as industrial/utility uses for decades.

**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

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The views from the property to the north along Spruce Street consist of parking lots and the Macedonia AME Church. Views to the northeast, east and southeast along S. 3rd Street include a variety of attached and detached residential buildings, a vacant dilapidated building, a garage with six overhead doors, and vacant properties. Views to the south along Walnut Street consist of attached and detached, two-story residential buildings and an industrial storage area enclosed with a solid fence topped with barbed wire. To the west along Locust Street is PSE&G Camden Gas Metering & Regulating (M&R) Station.



Google Earth aerial: imagery dated May 9, 2023

**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

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- b. Analyze and demonstrate the impact of the building on its surroundings showing the maximum extent of the shadow lengths on December 21 in the a.m., noon and P.M.*

An 8'-8" high security fence will be constructed around the perimeter of the of the new Breaker Station and the existing Substation. Using the National Oceanic and Atmospheric Administration (NOAA) website <https://www.esrl.noaa.gov/gmd/grad/solcalc/azel.html> to determine the sun's height on December 21st, the lengths of the shadows cast by the fence have been calculated as follows:

Time	Sun's Altitude	Formula	Shadow Length
9:00 a.m.	14.19°	8.67 ft./tan 14.19°	34.29 feet
12:00 noon	26.64°	8.67 ft./tan 26.64°	17.28 feet
3:00 p.m.	13.94°	8.67 ft./tan 13.94°	34.93 feet

As demonstrated above, the shadows cast by the proposed 8'-8" perimeter fence will extend beyond the property line. In the morning, the shadows will cast into the paved roadway of Locust Street to the west, slightly beyond the road centerline. As the day goes on, the shadows will cast within the paved roadway of Spruce Street to the north. In the afternoon, the shadows would be cast on the adjacent vacant property owned by the City to the east. No adjacent properties will be directly impacted by the shadows produced by the perimeter fence.

- 4. The negative and positive visual impacts of the project shall be discussed.*

The new Breaker Station and the upgrades to the existing Substation will have visual impacts. Negative impacts include the visibility of the new electrical equipment, most of which will be approximately 25 feet high, the 51 ft. H-frame, 72 ft. transmission poles and 51 ft. lightning masts around the station yard.

To soften the visual impacts of the breaker station and substation, a small lawn area has been provided at the entrance into the station on Spruce Street. Furthermore, landscaping is proposed on the vacant properties to the east of the Breaker Station to provide additional buffering and visual interest to the residents to the east.

The Breaker Station and existing Substation will be unmanned and visited on a weekly basis by authorized PSE&G personnel. Since the trips generated by the site will generally be during

VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

November 2024

daylight hours, there will be minimal visual impacts from headlights shining into adjacent properties. For security reasons, the station will be lit at night with low-level lights mounted on equipment supports at a height of approximately 9 feet. In the unlikely event of the need for PSE&G technicians to perform emergency work at night, the station is equipped with manually-operated uplights that illuminate key equipment for the technicians to operate in a safe and de-energized station.

The following two, three-dimensional aerial view renderings of the substation yard have been developed to provide a visual sense of the location and heights of the various equipment proposed. Additional renderings and photo simulations that include the proposed landscaping will be provided at the Board hearing.

Aerial View of Locust Street Breaker Station

Camden, NJ



VIEW OF THE STATION LOOKING SOUTHEAST FROM THE CORNER OF LOCUST STREET AND SPRUCE STREET

Aerial View of Locust Street Breaker Station

Camden, NJ



VIEW OF THE STATION LOOKING NORTHWEST
FROM CHERRY STREET

VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

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- 5. The applicant shall indicate the measures which will be employed to minimize or eliminate negative visual impacts on and off site.*

To minimize negative visual impacts of the Breaker Station and existing Substation, the 8'-8" proposed perimeter fence will be a steel grid mesh material that will provide a degree of opacity to provide somewhat of a visual screen from outside the Stations. As required for station safety and security, no landscaping is permitted inside the Stations. To soften the visual impacts of the breaker station and substation, a small lawn area has been provided at the entrance into the station on Spruce Street.

The adjacent vacant properties to the east of the new Breaker Station are currently vacant with areas of lawn, overgrown vegetation, a large collection of discarded tires and miscellaneous debris. PSE&G will remove the mass of tires and debris that has accumulated on the site in preparation for the temporary construction laydown use and after construction of the Station it will restore the site to a better condition than what currently exists with lawn area and some trees.

- 6. A discussion of site design and project location alternatives that were considered shall be provided. The discussion shall indicate why an alternative was rejected if it would have resulted in less of a negative impact than the proposed development.*

No alternative locations were considered for the existing Locust Street Substation nor for the new Breaker Station that will support the existing Locust Street Substation.

- 7. All publications, file reports, manuscripts or other written sources of information which were consulted and employed in the compilation of the environmental impact assessment shall be listed. A list of all agencies and individuals from whom pertinent information was obtained orally or by letter shall be listed separately. Dates and locations of all meetings shall be specified.*

Representatives from PSE&G attended a virtual pre-application conference with Dr. Willaims and Dena Moore-Johnson on October 5, 2023 and July 17, 2024 to review the project scope. Various redevelopment plans of the City were reviewed and it was confirmed that this site does not fall within any redevelopment plans/areas. According to the City's map entitled "Redevelopment Plans – City of Camden Master Plan", The City Centre redevelopment area is located 0.31 miles to the north, and the Waterfront South redevelopment area is located 0.35 miles (6 blocks) to the south of our site.

**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

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8. *Applicants shall be encouraged or required to provide suitable mitigation for all adverse visual impacts and other conditions identified in the visual impact assessment and/or in the course of the public hearings before the appropriate municipal board.*

To minimize negative visual impacts of the Breaker Station and existing Substation, the proposed 8'-8" perimeter fence will be a steel grid mesh material that will provide a degree of opacity to provide somewhat of a visual screen from outside the Stations. As required for station safety and security, no landscaping is permitted inside the Stations. To soften the visual impacts of the breaker station and substation, a small lawn area has been provided at the entrance into the station on Spruce Street.

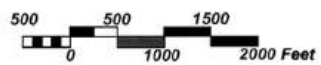


<u>Adopted</u>	
1. Camden Gateway North	12/91
2. Main Street	08/95
3. Lanning Square No. 2	11/86
4. Broadway & Liberty	12/88
5. Broadway (Mickle to Liberty)	06/96
6. Second & Kaighns Avenue Blight Study	02/90
7. Cooper-Lanning	06/89
8. Dudley-Arlo	08/95
9. Stockton	05/96
10. Rosedale	06/89
11. City Centre	05/78 with amendments to 06/92
12. Waterfront South	05/00
<u>Pending</u>	
A. Liberty Park	01/00 Draft
B. State & River Roads	
C. North Shore	
D. Sears Building/ Gateway South	

REDEVELOPMENT PLANS

City of Camden Master Plan

Lenz, Mueller & Associates - Planning Consultants
 S.T. Hudson Engineers, Inc. - Engineering Consultants
 Lamme & Giorgio - Urban Design Consultants



**VISUAL IMPACT ASSESSMENT
PSE&G LOCUST STREET BREAKER STATION & SUBSTATION**

November 2024

2.0 REFERENCES

- National Oceanic and Atmospheric Administration (NOAA) Solar Position Calculator. Accessed April 24, 2020 at <https://www.esrl.noaa.gov/gmd/grad/solcalc/azel.html>
- Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) panels 34007C0017F and 34007C0036F, effective August 17, 2016. Accessed May 26, 2023 at: <https://msc.fema.gov/portal/home>
- NJDEP (2018). NJ-GeoWeb. Accessed several times in 2023 and 2024 at: <http://www.nj.gov/dep/gis/geoweb splash.htm>
- Planning Board of the City of Camden (March 12, 2002). *FutureCAMDEN*, City of Camden Master Plan. Accessed several times in 2023 and 2024 at: <http://camdenredevelopment.org/Plans/Plans/Master-Plan.aspx>
- Land Development Ordinance of the City of Camden at: <https://ecode360.com/CA1078>
- GoogleEarth and Streetview, January 22, 2024
- City of Camden Redevelopment Plans, January 27, 2024
- City's Master Plan
- Historic Preservation Commission webpage lists Dr. Williams and no links to design guidelines.
- Urban Enterprise Zone – 1/27/2024 – General Design Standards and webpage. Contact Ruben Perez, rperez@sjcscamden.org.
- Camden Redevelopment Agency, Olivette Simpson, Interim Executive Director

Memorandum



October 24, 2024

Page 1

Date: October 24, 2024
To: Public Service Electric and Gas Company
(PSE&G)

From: Burns & McDonnell
John P. Herrman, PE
NJ PE #: 24GE05470600

Subject: Proposed Locust Street Breaker Station and Existing Locust Street Substation –
Traffic Statement
City of Camden, Camden County, New Jersey

INTRODUCTION

As part of an initiative to meet future energy needs and curb peak demands, Public Service Electric and Gas (PSE&G) wishes to conduct its due diligence to receive approvals for the rebuild and expansions of the existing Locust Street Substation (“Substation”) facility in the City of Camden, NJ. The existing Substation will undergo modifications and the new Locus Street Breaker Station (“Breaker Station”) will have new electrical equipment installed to improve grid reliability. The proposed new Breaker Station will be constructed immediately north of the existing Substation at 900 Locust Street (Block 237, Lot 55), at the intersection of Cherry Street and Locust Street. The existing Substation will undergo modifications and a new Breaker Station will be constructed adjacent to the existing station, to the north. Vehicular trips generated to the new Breaker Station and the modified existing Substation will not differ greatly from the trips that are currently occurring at the existing Substation. This memo is intended to summarize the project’s activities during the construction and operational phases and to garner support for this development from the requisite City of Camden Zoning Board of Adjustment.

PROPOSED SITE & EXISTING AREA CONDITIONS

The proposed Locust Street Breaker Station site is to be located on Block 237, Lot 55 in Camden, New Jersey. The area surrounding the site consists of industrial land uses. Figures 1 and 2 on the next pages illustrate the existing Locust Street Substation location and the proposed Locust Street Breaker Station site plan, respectively. The new Breaker Station will include a stormwater basin, control house, and six overhead line exits with associated circuit breakers and equipment. To the east, the temporary construction laydown and parking area will be developed. The existing Substation to the south of this lot will be modified to add a mobile transformer area and some additional cable trenching while removing a transformer position and associated bus structures.

The roadways and major intersections adjacent to the new Breaker Station consist of the following:

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Page 2

- Locust Street is a north-south route that runs just east of the site. It has a statutory speed limit of 25 miles per hour and is a two-way, two-lane roadway with curb and gutter, and sidewalk on both sides of the roadway.
- South 3rd Street is a north-south route that runs along the eastern side of the site. It has a statutory speed limit of 25 miles per hour and consists of a two-way, two-lane road. South 3rd Street has curb and sidewalk along both sides of the roadway.
- Spruce Street is a west only route that runs along the northern side of the Breaker Station site. It has a statutory speed limit of 25 miles per hour and is a one-way, two-lane roadway with curb and gutter, parking, and sidewalk on both sides of the roadway.
- Walnut Street is an east-west route located along the southern border of the existing Substation. It has a statutory speed limit of 25 miles per hour and is a two-lane, two-way roadway with parking on both sides of the roadway. The roadway has curb and gutter, and sidewalk on both sides.
- Cherry Street is an east-west route located between Locust Street and South 3rd Street. Through the station limits, Cherry Street is fenced off to through traffic and includes distribution poles along the edges as part of the station and this portion of the ROW. ROW has been vacated. Cherry Street continues to the east of the project site as a one-lane east-only route with curb and sidewalk. It has a statutory speed limit of 25 miles per hour.
- The intersection of South 3rd Street and Spruce Street is an unsignalized intersection with STOP control for Spruce Street. There are no turn lanes on the intersection approaches. Pedestrian facilities include directional ramps.
- The intersection of Locust Street and Spruce Street is an unsignalized intersection with STOP control for Spruce Street. The north leg of the intersection is gated. There are no turn lanes on the intersection approaches. Pedestrian facilities include non-directional ramps.

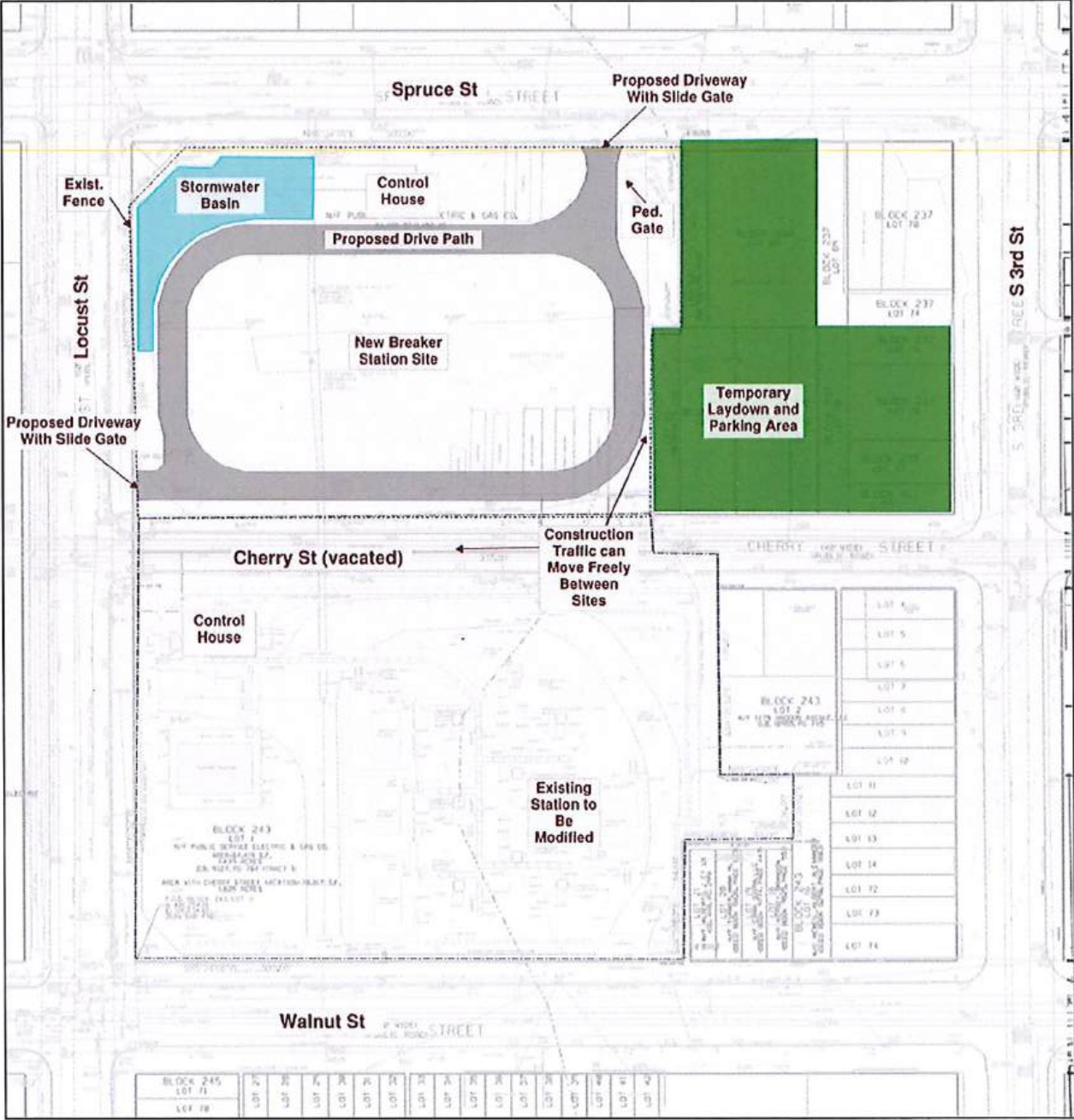
October 24, 2024
Page 3

Figure 1 – Locust Street Breaker Station Location



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Figure 2 – Locust Street Breaker Station Site Plan



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PROPOSED SITE SIGHT DISTANCE CONDITIONS

Sight distance conditions of the main driveways for the new Breaker Station at the north lot were evaluated for conformance with the current guidelines in AASHTO's A Policy on Geometric Design of Highways and Streets, that sight distance be measured at 14.5' back from the pavement edge for public roadways. AASHTO's A Policy on Geometric Design of Highways and Streets indicates that the minimum design intersection sight distance for a left turn from stop is 280 feet onto a 25 mile per hour major road speed limit. Per AASHTO, the left turn intersection sight distance length is used along the major road in both directions and satisfies right turn requirements. Note that sight distance was not evaluated for the existing Substation on the south lot since the modifications do not include driveway changes. Sight distance was not required for the proposed driveway at Cherry Street, since this driveway is gated and not accessible to the public. Sight distance evaluated at the Locust Street Breaker Station Spruce Street driveway and Locust Street driveway concluded the following:

- The station's driveway onto Spruce Street will be reused in the existing location. Sight lines contain utility poles #60541, #60905, #69815, and #61067. On-street parking is available on both sides of Spruce Street, which may create sight obstructions as well. Note that Spruce Street includes westbound only traffic, but sight distance is displayed to the west for informational purposes.
- The station's driveway onto Locust Street will be reconstructed slightly south of the existing location. Sight lines contain utility poles #5916 CM, #41 CM, #15473, #16437, and #16255.

The existing utility poles along Spruce Street and Locust Street are situated within the latest site plan sight triangles discussed above but are not expected to cause any visual hinderance to a driver's ability to observe oncoming traffic. Utility poles are commonly placed adjacent to driveways, and this is consistent with the standard of care in the City of Camden and communities across the country. Furthermore, sight distances are measured at 14.5 feet back from the start of the driveway and when a driver pulls forward to the end of the driveway, it offers a renewed line of sight perspective to safely maneuver onto the roadway. The existing utility pole #60905 to the west of the new Breaker Station driveway on Spruce Street is a dead-end transmission power pole crucial for establishing a connection at the Breaker Station terminal. Note that the existing utility pole #15473 and guy pole are shown within the proposed Locust Street driveway but currently are in the process of being relocated outside of the driveway. No known crash patterns exist at this driveway due to these utility poles.

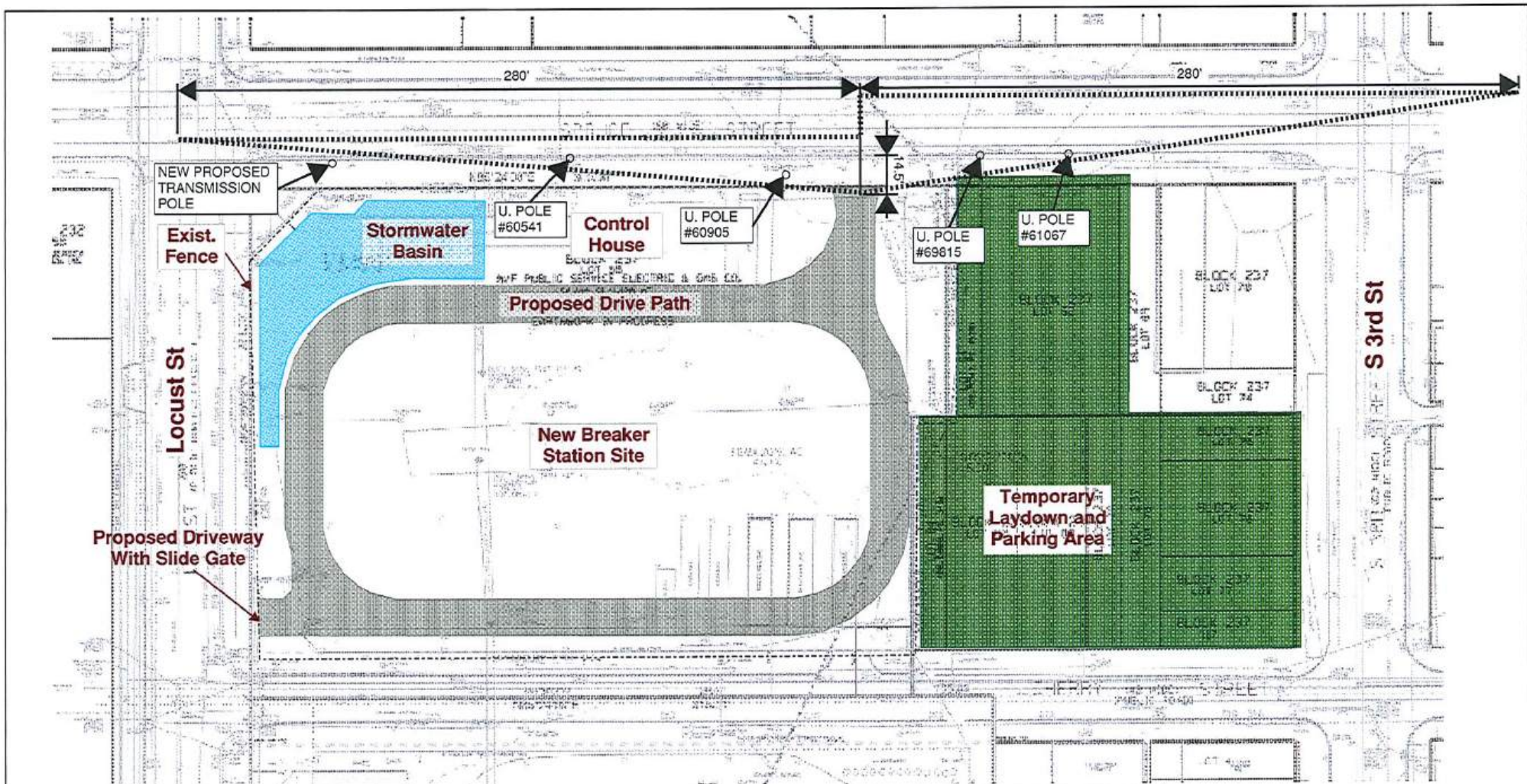
Part of the modification to the existing Substation and the construction of the new Breaker Station includes the installation of a new 8'-8"-tall high security fence around the perimeter of both stations. The fence is outside of the sight distance triangles for the Spruce Street driveway and the Locust Street driveway.

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The geometric and traffic control features at the intersection of Locust Street and Spruce Street do not meet AASHTO's criteria for evaluating intersection sight distance. This is the result of westbound Spruce Street traffic being required to stop and yield the right-of-way to all free-flow northbound Locust Street traffic. Therefore, the proposed transmission pole near the southeast corner of the intersection is not in conflict with required sight lines.

Figures 3 and 4 illustrate the sight distance triangles for exiting vehicles at the Spruce Street driveway and the Locust Street driveway.



LOCUST STREET BREAKER STATION
 69/13KV BREAKER STATION & 69/13KV SUBSTATION
 SIGHT DISTANCE TRIANGLES LOCUST/SPRUCE STREET
 FIGURES

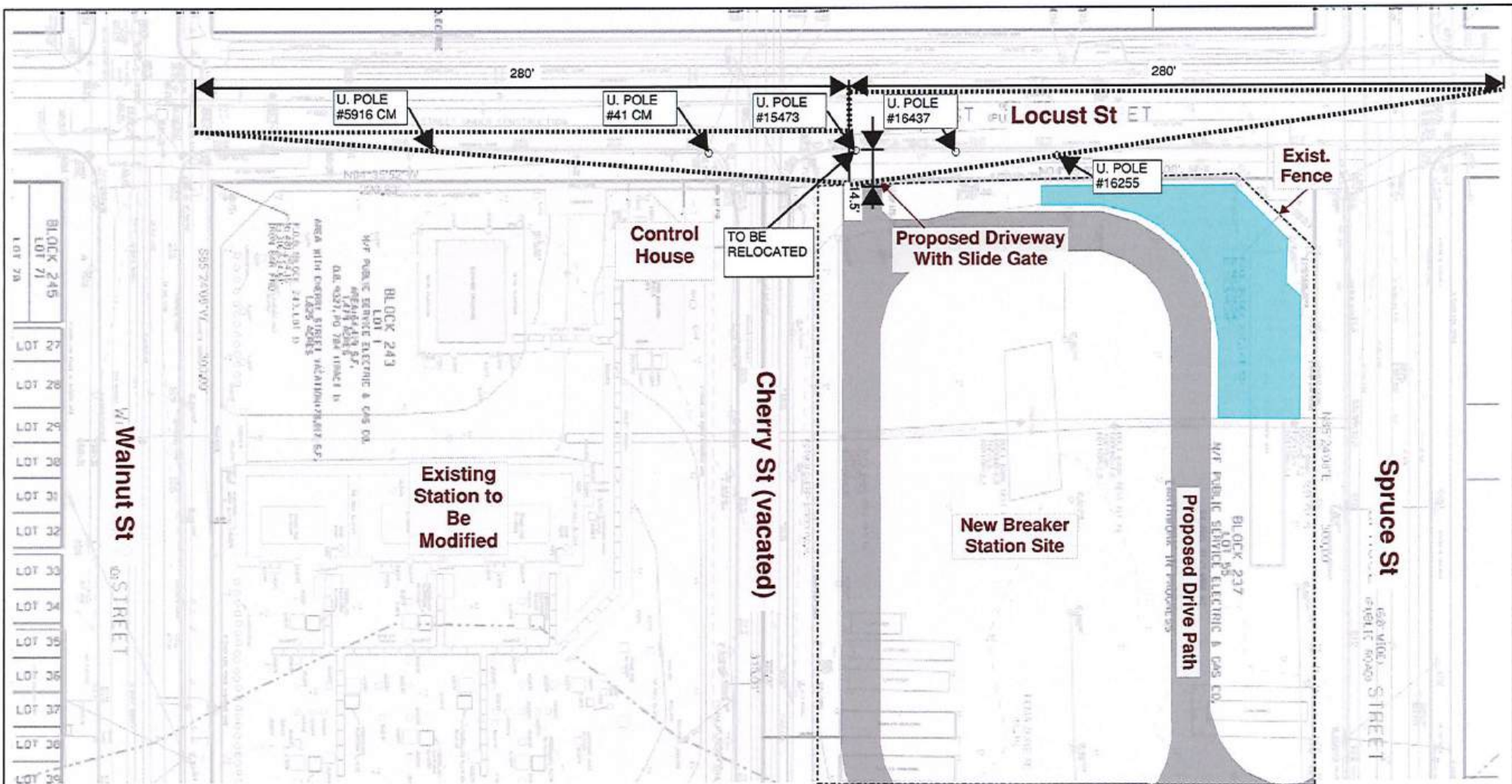
YARD CIVIL

PSE&G
 PUBLIC SERVICE ELECTRIC AND GAS COMPANY
 ELECTRIC DELIVERY COMPANY—ASSET RELIABILITY, NEWARK N.J.



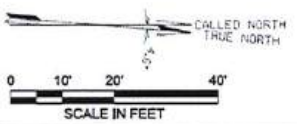
FIGURE 3

DRAWN A. SHUCK CHECKED M. SMITH SCALE 1"=40'-0"
 DATE 10/30/23 EXAMINED
 WPS: C:97302.1.8.1.1.2.1 APPROVED



BLOCK 245
 LOT 21
 LOT 22
 LOT 23
 LOT 24
 LOT 25
 LOT 26
 LOT 27
 LOT 28
 LOT 29
 LOT 30
 LOT 31
 LOT 32
 LOT 33
 LOT 34
 LOT 35
 LOT 36
 LOT 37
 LOT 38
 LOT 39

LOCUST STREET BREAKER STATION
 69/13KV BREAKER STATION & 69/13KV SUBSTATION
 SIGHT DISTANCE TRIANGLES LOCUST/SPRUCE STREET
 FIGURES
 YARD CIVIL



 PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY—ASSET RELIABILITY, NEWARK, N.J.		 BURNS MEDONNELL	<h1>FIGURE 4</h1>
DRAWN <u>A. SHUCK</u> CHECKED <u>M. SMITH</u> SCALE <u>1"=40'-0"</u> DATE <u>10/30/23</u> EXAMINED _____ BY <u>C.92302.1.B.1.1.2.1</u> APPROVED _____			

October 21, 2024

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CONSTRUCTION PHASE PROJECT ACTIVITIES

During construction, the proposed site access points from Spruce Street and Locust Street will support inbound and outbound construction traffic. Construction staging will occur at the laydown area to the east of the new Breaker Station site. This area is indicated in Figure 1.

The proposed Locust Street Substation modification and new Locust Street Breaker Station will be developed in two phases, with groundbreaking and demolition of the existing site commencing approximately in July 2025 and concluding in December 2027. The activities of the phases are summarized below:

- Pre-Construction Demolition Phase:
 - Trucks removing/clearing materials and delivering materials to the site.
 - Truck trips will vary to/from the site, but generally are not expected to occur during the peak hour periods.
 - Dump trucks, flat bed trailers, and excavator machinery will be on-site clearing and grading.
 - Construction worker trips will vary to/from the site, depending on the weekly activities (between 10-30 workers anticipated).
 - 8-10 hour daily shifts during week and/or weekends as required.
 - Parking will occur at the adjacent laydown and parking area.
 - Arrival/departure of workers to/from the site is generally expected to occur before the AM and PM peak hours.

- Construction Phase:
 - Trucks delivering construction materials to the site and laydown yard.
 - Truck trips will vary to/from the site, but generally are not expected to occur during the peak hour periods.
 - Frac tanks, cranes, dump trucks, excavator machinery, flatbed trailers and pickup trucks with buckets will be on-site during construction.
 - Construction worker trips will vary to/from the site, depending on the weekly activities (between 10-30 workers anticipated).
 - 8-10 hour daily shifts during week and/or weekends as required.
 - Parking will occur at the adjacent laydown and parking area.
 - Arrival/ departure of workers to/from the site is generally expected to occur before the AM and PM peak hours.
 - Staging of materials and construction equipment will occur at the adjacent laydown area.
 - Trucks and equipment will be able to move freely between the laydown yard and the Breaker Station as the fence between them will be removed during construction.

October 24, 2024

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- The northbound lane of Locust Street and the southern portion of Spruce Street will require lane closures for short periods of time. Temporary delays may be experienced while trucks enter/exit the site access points.

LOCUST STREET BREAKER STATION – PERMANENT OPERATION PHASE

Upon completion of the Locust Street Breaker Station, the site will shift into the permanent operation phase. The facility will continue with the 2-4 PSE&G employees visiting the facility 2-4 times a month. The following summarizes activities during the permanent phase.

- Trips to / from the site are anticipated for routine maintenance and inspection visits during the operation phase.
- Access to the site will be secured and parking for PSE&G employees or contractors will be available on-site.
- Locust Street and Spruce Street entrances will be the main entrances in/out of the new site and will see no increase in traffic.

October 21, 2024

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CONCLUSIONS

The construction of the Locust Street Breaker Station and modifications to the Locust Street Substation are intended to support future peak power needs for the City of Camden and the surrounding community. Construction of the station is slated to begin in July 2025 and should be completed in December 2027. Construction activities will generate some truck and worker traffic to/ from the site; however, these trips will be insignificant and will mostly occur during weekday, off-peak hours. Once the site construction is completed, the permanent operational phase will be initiated. The operational phase will generate the same minimal trips for routine maintenance and operations by PSE&G workers and contractors. The new Breaker Station and the modified existing Substation will not generate any substantially larger number of vehicular trips than the volumes that are currently occurring at the existing Substation.

Burns & McDonnell
NJ Authorization #: 24GA28066400

John P. Herrman, PE
NJ PE #: 24GE05470600





**ACOUSTICAL EVALUATION OF
ADDITIONAL SYSTEMS**

**PSE&G LOCUST STREET SUBSTATION
Camden, New Jersey**

Prepared for: **PSE&G**
Prepared by: **Michael T. Conaway, P.E.**
mconaway@acousticalconsultant.com
Reviewed by: **Joseph A. Keefe**
jkeefe@acousticalconsultant.com
Date: **1 October 2024**
OAA File: **4737A**

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SUMMARY

PSE&G proposes to add additional systems to the existing Locust Street Substation in Camden, NJ. The site is located in a predominantly commercial area in Camden with some residences nearby. Most existing site equipment will remain; additional equipment/systems to be added include a control house and auxiliary equipment. One of the existing isolation walls will be removed from the site as well. Analyses show that existing steady site sound emissions comply with regulatory limits by wide margins. After planned site improvements, steady sound emissions will marginally increase in some directions, but are reduced in other directions. Overall, future site sound emissions will continue to comply with noise code limits at all receptors by wide margins.

INTRODUCTION

The PSE&G Locust Street Substation is located in Camden, New Jersey. It comprises power transformers and other auxiliary equipment to deliver electric power to customers. Ostergaard Acoustical Associates (OAA) carried out a variety of tasks to assist PSE&G with analysis of sound emitted by transformers and other steady noise sources at the Locust Street Substation. Tasks included surveying and computer-based modeling of existing equipment and site sound emissions as well as modeling of future sound emissions from the planned equipment arrangement. Work for OAA was managed by Michael T. Conaway, P.E., with assistance from OAA staff. The PSE&G representative coordinating this work is Evan Lake.

Our assessment of existing sound emissions relies upon in-situ surveys of noise by various on-site equipment. Predictions of future conditions rely upon manufacturers' sound ratings provided by PSE&G, as well as experience from other sites. Steady sound emissions for present and future conditions were predicted using acoustical modeling software to conveniently sum sound levels from the entire site and graphically present the results. Sound emissions are required to meet limits established by the State of New Jersey, Camden County, and the City of Camden. This report provides the results of these evaluations.

Note that all acoustical modeling for this professional acoustical evaluation relied on analyses in octave frequency bands. However, in the interest of providing a concise report of findings, the results are provided using the most common metric of environmental sound, the A-weighted sound level. Full acoustical data in octave bands for all measurements and modeling are available upon request; these octave band data are consistent with the findings presented within this report.

SITE AND VICINITY

The Locust Street Substation is located northeast of the intersection of Locust Street and Walnut Street in the City of Camden, Camden County, New Jersey. Bisecting the property is the abandoned Cherry Street right-of-way. A majority of the surrounding area is commercial in nature. North of the site across Spruce Street is Macedonia African Methodist Episcopal Church and its associated parking lot. Bordering the site to the east are residences, an abandoned commercial use, and vacant land. Farther east, beyond South 3rd Street, are additional residences and commercial uses. Across Walnut Street to the south are residences, a church with an associated school, and commercial uses; however, this church and associated school do not appear to be in use. Lastly, industrial uses are west of the site including a PSE&G gas facility. The site is shown in Figure 1, which is based on an aerial photo obtained from Google Earth Pro software. Also shown in Figure 1 are the existing major pieces of equipment on the site.

The major existing on-site equipment comprises two transformers (designated as T1 and T3), associated isolation walls, a three-sided isolation wall in the eastern portion of the site, a control house, a switchgear enclosure, and auxiliary equipment. The isolation walls have sound-absorbing materials adhered to the sides of the walls facing T1 and T3. The control house has two 5-ton wall-mounted HVAC units; one is located on the east façade, while the other is on the west façade. The switchgear enclosure also has wall-mounted HVAC units. These units have 3 tons of cooling capacity, with one unit on each of the east and west façades. Most existing equipment will remain; only the isolation wall in the eastern portion of the site will be removed.

Proposed improvements are shown in Figure 2 and include a control house, an isolation wall, and associated buswork. The control house will be approximately 15½ feet tall; there will be no equipment within the bottom 3 feet of the control house in order to mitigate flooding risks. The control house will have two exterior wall-mounted 4-ton HVAC units, with one located on each of the south and east facades. These units will be located approximately 12½ feet above grade; each have a sound power level* of 81 dB(A). A new 22-foot-tall isolation wall constructed of pre-cast concrete panels will be installed east of existing transformers T1 and T3. The associated buswork does not produce significant noise.

* All sound power levels are referenced to 1 picowatt.



Figure 1 — Aerial image showing existing conditions and major equipment at PSE&G Locust Street Substation, Camden, NJ. The site property line is outlined in red.

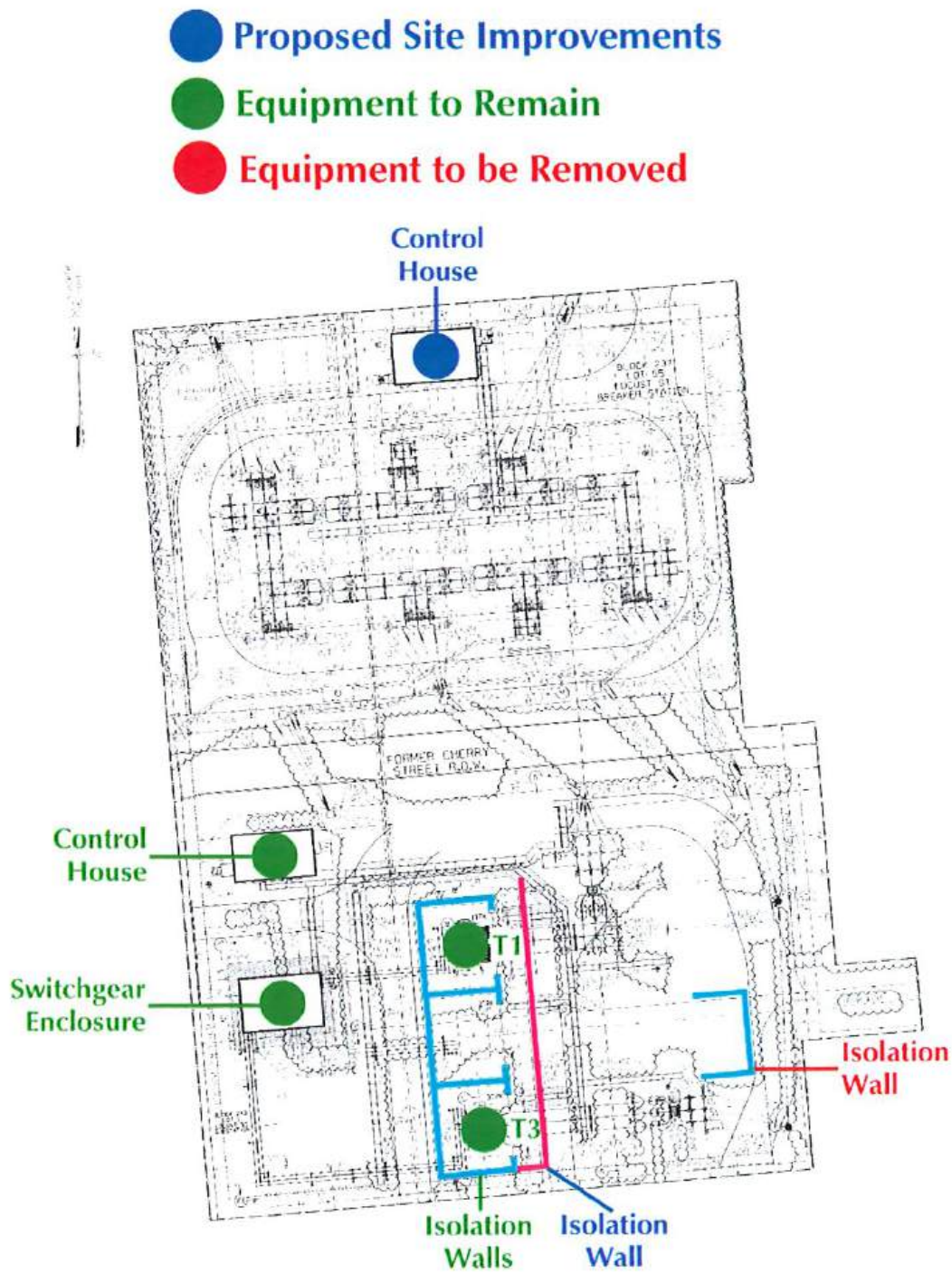


Figure 2 — PSE&G Locust Street Substation, Camden, NJ showing major equipment and systems to be added in blue, equipment to be removed in red, and equipment to remain in green. Existing isolation walls shown in light blue; future isolation wall shown in pink.

CRITERIA

The State of New Jersey Regulation found at N.J.A.C. 7:29 applies to sound emitted from the substation. The State Regulation requires that steady sound from commercial or industrial properties contributes no more than 65 dB(A) at or within the property line of any residential or commercial receptor. During the nighttime hours (2200-to-0700 hours), the limit drops to 50 dB(A) at residential receptors. There are no limits for industrial receptors.

The State Regulation also provides limits in octave frequency bands that correspond to the 65 dB(A) and 50 dB(A) A-weighted limits. These frequency bands cover the audible spectrum, from low-pitched sounds to high. The limits are more permissive at lower frequencies because the human hearing mechanism is less sensitive at low frequencies.

It should be noted that regulatory limits apply at or within the property line of the receptor. Enforcement guidelines issued by the State² provide further direction indicating that compliance measurements are made at the location of the affected person. This is defined as a location where recreation, repose, and conversation will occur. In other words, it is most appropriate to evaluate site sound where a complaint would reasonably occur. Exceedance of code limits does not result in a code violation without a formal complaint. Professional experience is often relied upon to determine the likelihood of a noise complaint.

The Camden County noise ordinance has A-weighted and octave band limits for commercial and residential receptors that are identical to the State regulation. The Camden County ordinance also limits sound received at industrial properties to an A-weighted sound level of 75 dB(A).

The City of Camden discusses noise in Chapter 518: *Noise*. This code chapter is a version of the State Model Noise Ordinance, and thus has limits that mimic the State regulation. In addition, Camden discusses noise in Section 870-222.H. This code sections states that noise produced by all uses must meet limits established by the New Jersey Department of Environmental Protection. Further, this section also states that site sound should not exceed 55 dB(A) in residential districts and 65 dB(A) in all other districts when measured at or beyond the neighboring use, lot line, or district boundary. However, the State, County, and Camden Ch. 518 limits are more stringent, and were relied upon as quantitative criteria for site sound emissions.

Since equipment will operate 24/7, sound from this equipment must meet the more stringent nighttime limits at all nearby residential properties. In summary, noise from the site should not

² Guidelines for the Investigation of Noise Complaints Pursuant to the State of New Jersey *Noise Control* Regulation (N.J.A.C. 7:29) and the *Model Noise Control Ordinance*, 4 February 2022

exceed 50 dB(A) during the nighttime at residential receptors and 65 dB(A) at commercial properties. Associated octave band limits should also be met.

EXISTING CONDITIONS SURVEY

Experience indicates that transformer noise is typically characterized by “hum” at certain harmonics of the 60 Hz line frequency, typically 120 and 240 Hz, as well as broadband cooling fan noise that affects the mid-frequency ranges typified by the 500 and 1,000 Hz octave bands. Transformer hum is often spatially non-uniform; levels can differ significantly with angular position around the transformer. These details are of interest when surveying transformer sound.

OAA Senior Engineer Michael Conaway visited the site in order to become familiar with existing conditions on-site and off-site, to survey sound emitted by individual items of equipment, and to measure existing site sound emissions. This visit occurred on 2 November 2023 between the morning hours of 1000 and 1215. The survey included 83 individual octave band spectra gathered on-site at strategically-selected locations, most close to equipment, that were useful for calibrating the acoustical model of site sound emissions. Weather conditions during the survey were conducive to measurements; conditions included clear skies, a temperature of 51°F, and winds of 1-to-4 mph. The acoustical measurement system used is described in the Appendix.

The existing transformers are served by integral cooling fans. All operable cooling fans on the existing transformers were forced ON during the sound emissions tests. The purpose of having fans ON is to evaluate conditions with the site contributing the highest sound emissions. The control house and switchgear enclosure condensing units were unable to be forced ON due to weather conditions.

An initial review of results from the daytime sound survey indicated that site sound emissions at the boundaries of the site were below 50 dB(A). It is worth noting that measured sound levels far and/or shielded from onsite noise sources were influenced by background sound produced by off-site noise sources in the area. Sound levels measured in these locations were in the 42-to-50 dB(A) range, depending on nearby background sources in the area, such as construction equipment. To evaluate existing site sound emissions more accurately, as well as examine future sound emissions from the proposed changes, an acoustical model was developed. This is discussed in the next section.

MODELING OF SOUND EMISSIONS

State-of-the-art software, CadnaA, was used to model steady site sound emissions from continuously operating equipment. Beginning with the dimensions and strength of the noise sources, the model takes into account relevant parameters between the noise source and receptor positions of interest to predict how sound will propagate. In addition to distance attenuation, the model accounts for the effects of terrain, various types of ground cover, shielding by structures, and reflections from buildings. The acoustical model has the ability to sum the noise from multiple sources and analyze sound propagation at multiple receptors. The model yields site sound emissions, which exclude ambient contributions, and are directly comparable to code limits. All model calculations are carried out in octave frequency bands. Elevation information exterior to the site was obtained from the [New Jersey Geographic Information Network](#) and was incorporated into the model.

The strength of the existing noise sources was determined from field-measured data obtained during the site survey on 2 November 2023 via calibrated measurements near the substation transformers, as well as near other selected equipment. As stated earlier, transformer cooling fans were switched ON during the equipment survey to simulate worst-case conditions. Data were generally acquired 1-foot from transformer surfaces and 6 feet from fans per NEMA Standards, which were in turn used to develop octave band sound power levels for the source. Sound power levels for the existing control house and switchgear enclosure condensing units as well as proposed control house HVAC equipment are based on manufacturer's data or surveyed data from similar equipment and input into the model. To be conservative, all HVAC equipment was modeled as operating simultaneously; HVAC equipment operation is typically cyclical in nature, and therefore this modeling choice is likely conservative.

The modeling software provides A-weighted sound emission contours (in 1 dB increments) for an ear-height elevation typical of a standing observer, 5 feet above grade. The model also tabulates sound emissions for select locations. Locations A through D are at the upper-story receptors of nearby residences, approximately 15 feet above grade. Location E is in the direction of residences to the east, while Locations F through H are at the property line of nearby commercial properties. Locations E through H are at 5 feet above grade. Transformers, buildings, and structures are shown in white. Isolation walls are shown in light blue. The property line is outlined in red. Terrain elevation contours in 1-foot increments are shown in teal.

Model results show only sound contributed by PSE&G, the sound that is appropriate to compare with regulatory limits. Off-site ambient sound sources, such as traffic, are not included.

Existing Conditions

An acoustical model was developed for the steady sound contributed by existing on-site equipment. The model allows evaluation of worst-case sound contributed by the existing transformers with associated cooling fans as well as onsite HVAC equipment ON. While the onsite condensing units were not operating during the survey due to the prevailing ambient temperatures, they were modeled as operating in the existing conditions model to be conservative. Figure 3 shows the modeling results for existing site sound emissions.

Results in Figure 3 show that sound emitted by the site is in the 32-to-41 dB(A) range at nearby residential receptors, specifically Locations A through D. In the direction of residences to the east, maximum emissions are 33 dB(A). Site sound at nearby residences meets the 50 dB(A) nighttime limit by a wide margin, and model results are corroborated with measurements made on site. At commercial properties, emissions are in the 33-to-42 dB(A) range; levels of this magnitude are well below the 65 dB(A) commercial limit.

These results show that, with all HVAC equipment operating, emissions will meet code limits at all nearby properties by wide margins. There is also compliance in all octave bands. In addition, levels of this magnitude are similar in level to low ambient sound levels measured on site during the site visit. Overall, the site currently complies with all code limits at all receptors.

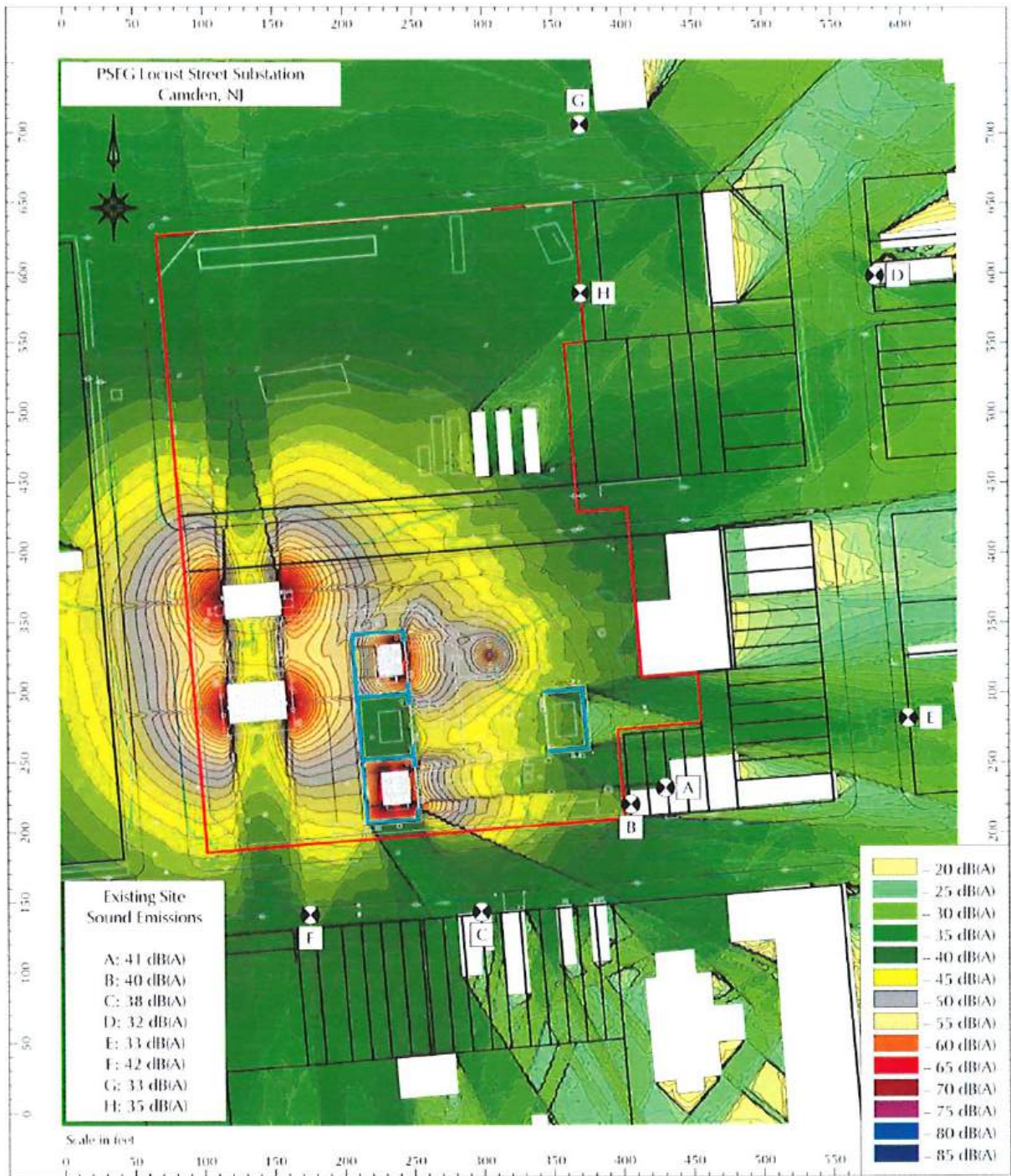


Figure 3 — Acoustical model of existing site sound emissions with HVAC equipment ON, PSE&G Locust Street Substation. A-weighted sound level contours calculated 5 feet above grade. Results at Locations A through D are 15 feet above grade; Locations E through H are 5 feet above grade.

Future Conditions

Proposed plans call for the installation of new equipment and systems. Therefore, modeling of future emissions with the proposed new building and equipment is of greater interest.

Detailed information on the new major items of equipment, including octave band sound power levels and dimensions, was entered into the model. The acoustical ratings used for the new steady noise sources were listed in a previous section.

Figure 4 provides the results of modeling the worst-case steady future sound emissions from the site with all new equipment, including all HVAC equipment operating, as well as the removal of the eastern isolation wall. Maximum sound emissions at the upper-stories of nearby residences to the southeast and south, Receptors A through C, are in the 34-to-37 dB(A) range; this meets the nighttime limit by 13 dB or more. In addition, emissions at these receptors are reduced by 4-to-5 dB from existing conditions. At commercial properties, emissions are in the 40-to-43 dB(A) range; this meets the commercial limit by 22 dB or more, which is significant. There will also be continued compliance in all octave bands at all Receptors. It is worth noting that the red 65 dB(A) contour relating to the commercial limit does not extend past the property line in any direction. Therefore, there is ensured compliance with commercial and industrial limit at nearby non-noise-sensitive properties.

Given the above, future site sound will continue to comply with all applicable code limits. Site sound will also continue to be similar in level to sound currently experienced in the area; therefore, the site will not be a nuisance to any nearby properties.

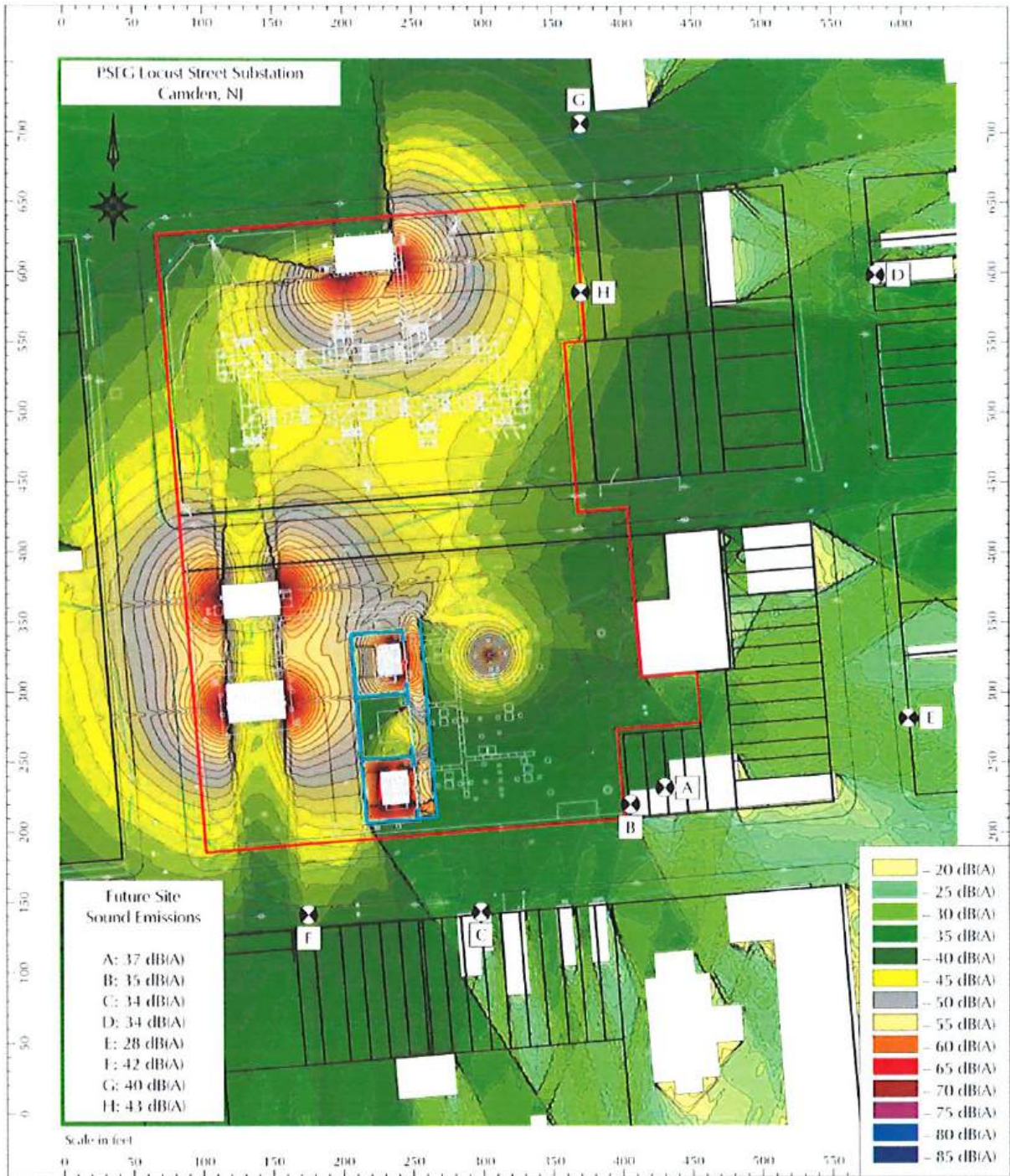


Figure 4 — Acoustical model of future site sound emissions with HVAC equipment ON, PSE&G Locust Street Substation. A-weighted sound level contours calculated at 5 feet above grade. Results at Locations A through D are 15 feet above grade; Locations E through H are 5 feet above grade.

CONCLUSION

The proposed changes to the Locust Street Substation will add systems in the northern portion of the site and an isolation wall in the southern portion of the site. Most on-site equipment will ultimately remain, while the eastern isolation wall will be removed. Existing and future site sound emissions must meet applicable State, Camden County, and City of Camden noise code limits.

Analyses show that existing site sound emissions comply with State noise code regulations at all receptors by significant margins. In addition, site sound is similar in level to existing sound in the area. New equipment will include a control house, an isolation wall, and associated buswork. The control house will have wall-mounted condensing units. Onsite HVAC equipment will operate cyclically as needed and will not be on around the clock. Once the new equipment is installed, site sound will marginally increase to the north, but will remain well below applicable code limits. Emissions to the southeast and south will be reduced. Site sound will also continue to be similar or lower in level to existing sound in the area. No negative acoustical impact is expected from this project.

APPENDIX

DATA ACQUISITION AND ANALYSIS SYSTEM

The measurement system used to obtain acoustical data consisted of an HBK random-incidence condenser microphone 4189, used in conjunction with a preamplifier, HBK Model ZC 0032, and a precision sound level meter and octave band analyzer, HBK Model 2270. A windscreen was used on the microphone to reduce wind noise. For each measurement, the sound level meter was handheld, typically at an elevation 4 feet above grade.

For the on-site tests carried out close to equipment, the measurement technique used did not rely on statistical levels but rather used short averages, 10 seconds in duration.

The entire system was calibrated before and after the measurements by means of a sound pressure level calibrator. The calibrator used was a HBK Model 4231, last calibrated by an outside calibration service within one year of the measurement date. The calibration is traceable to the National Institute of Standards and Technology. Calibration certificates are available upon request. The measurement system complies with the requirements for a Type 1 meter given in ANSI/ASA S1.4 (*Specification for Sound Level Meters*) and IEC 61672 (*Electroacoustics - Sound level meters - Part 1: Specifications*). Overall, the data included in this report can be considered accurate to within a 1-decibel range.

Software developed by HBK was used to recall the statistical octave band and A-weighted sound levels from the data provided by the analyzer. Microsoft Excel software was used to analyze the recalled data and perform acoustical calculations.

CITY OF CAMDEN
DIVISION OF PLANNING
CITY HALL – ROOM 224
PO BOX 95120
CAMDEN, NEW JERSEY 08101-5120
(856) 757-7214

INSTRUCTIONS FOR ZONING/SIGN PERMIT APPLICATION

ALL APPLICANTS WHO NEED A ZONING/SIGN PERMIT MUST SUBMIT THE FOLLOWING:

- 1. Completed Zoning AND/OR Sign Application
- 2. Proof of ownership (deed, tax bill, or lease) (Leases must be notarized)
- 3. A detail floor plan of proposed use, conversion of single family dwelling shall have measurement of all habitable space. Accurate drawing of a proposed sign including dimensions and illustration signed by sign supplier. **Any addition or accessory uses or fences must have a Plot Plan and/or Survey. Additions/Fences must be presented on a Plot Plan/Survey with rear and side set back. You can obtain a Plot Plan from the Engineering Dept. located in City Hall, Room 325.**
*(copy of all/any plans must accompany application.

4. Completed attached Tax Certification (City of Camden Tax Office Room 117 1st floor plus Water/Sewer PNC Bank located Broadway & Market St.)

5. Application fee:
(non-refundable)

Single Family Dwelling	\$ 69.56
Two-Family Dwelling	\$ 139.13
Three-Family Dwelling	\$ 215.51
Or More	
Rooming House	\$ 259.16
Boarding House	\$ 259.16
Commercial Use	\$ 87.30
Industrial Warehousing	
& Manufacturing Use	\$ 139.87
Institutional Use	\$ 69.56
Advertising Billboards	\$ 395.56
Sign Application	\$ 79.11
Rezoning Application	\$ 345.09

Money Order or Check payable to the City of Camden

PLEASE RETURN COMPLETED APPLICATIONS TO THE ABOVE ADDRESS. **INCOMPLETE APPLICATIONS SHALL NOT BE PROCESS. ANY APPLICATION WHICH REMAINS INCOMPLETE FOR MORE THAN 10 BUSINESS DAYS WILL BE DISCARDED.** FALSIFICATION IN ANY FORM SHALL SUBJECT APPLICANT TO A FINE OR MUNICIPAL COURT.

No construction, erection, alteration, repair, remodeling, conversion, renovation or demolition of any building or structure shall begin prior to Zoning approval. Other municipal agency approvals maybe required.

DO NOT REMOVE OR DISCARD ANY PART OF THIS APPLICATION

I. GENERAL

Today's Date: 11/15/2024

Public Service Electric & Gas Co. (PSE&G)

Applicant: c/o Kathy Hering, Permitting Specialist IV Telephone: 732-804-5478

Applicant's Address: 4000 Hadley Road, South Plainfield, NJ 07080

Applicant Interest: (please check one) owner tenant agent/owner

SUBMITTING FOR: Zoning Permit Sign Permit

1. Name and Address of property OWNER if different from that of applicant:

Public Service Electric & Gas Company, c/o Robert Pollock, Sr. Director of Environmental Projects and Services

4000 Hadley Road, South Plainfield, NJ 07080

2. Address and Block and Lot number for which zoning/sign permit is desired:

900 & 942 Locust Street, Camden, NJ Block: 237; 243 Lot: 55; 1

3.

Zone District:	R1	R2	R3	C1	C2	C3	C4	LH	LI2	GI1	GI2
(please circle)	US	PR1	OL1	TOD	MW1	MW2	MS	CV2	CC		

4. Historic District: None

5. What is the property/land **PRESENTLY** being used *entirely as*:

900 Locust Street - Temporary material storage and construction trailers

942 Locust Street - Existing PSE&G Locust Street Substation

6. Is the structure presently vacant? No If so how long? _____

7. How many stories/floors does the building have? 1 Is there a basement/cellar? No

II. ZONING

1. What is being proposed?

New Construction X Addition X Fence X (ht 8.67) Installation _____
New Business _____ Conversion _____ Other (explain: New breaker station and modifications to existing electrical substation)

2. Describe in detail the use & activities **PROPOSED** (attached separate sheet if necessary):

Construct a new electrical breaker station at 900 Locust Street and construct upgrades to the existing Locust Street Substation located at 942 Locust Street. Both stations will be enclosed by an 8'-8" high security fence. See Site Plan application and cover letter for addition details.

3. Are there other activities existing within the same property? No (please describe)

4. Dimensions of Principal Building and/or structure 26' x 42' Control House

5. Dimensions of All Accessory Building and/or structure Please refer to Existing Conditions survey for location of electrical equipment and transformers.

6. Are any of the activities conducted in the principal building existing as a nonconforming use?

No X Yes _____ (please explain) _____

7. To the applicant's knowledge, has there been any prior applications made to the Zoning Board of Adjustment or the Planning Board?

No _____ Yes X (please explain) 2011 - Planning Board & Zoning Board approval for construction of existing Locust Street Substation.

THIS APPLICANT CERTIFIES THAT THE ABOVE INFORMATION HAS BEEN COMPLETED TO THE BEST OF HIS/HER KNOWLEDGE.

11/15/2024

(Date)

Katherine S. Hering
(Signature of Applicant)

Kathy Hering, Permitting Specialist IV
 Public Service Electric and Gas Company (PSE&G)

(Name of Corporation or Association)

DO NOT REMOVE OR DISCARD ANY PART OF THIS APPLICATION

**CITY OF CAMDEN
DEPARTMENT OF PLANNING & DEVELOPMENT**

**DIVISION OF PLANNING
&
ZONING**



**SITE PLAN APPLICATION AND
SUBMISSION ITEMS PACKAGE**

Any question please contact:
Angela Miller, Planning Board Secretary
(856) 757-7214

SITE PLAN APPLICATION AND SUBMISSION ITEMS PACKAGE

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**SITE PLAN APPLICATION
CHECKLIST**

CHECK IF COMPLETED

FOR OFFICE USE ONLY

- | | |
|---|-------|
| <u>X</u> 1. Zoning Application | _____ |
| <u>X</u> 2. Site Plan Applications & Site Plans (15 copies of both) | _____ |
| <u>X</u> 3. Proof of ownership (i.e. Deed, Tax Bill and/or Lease) | _____ |
| <u>X</u> 4. Signed Escrow Fee Agreement | _____ |

PRIOR TO SUBMISSION OF ANY SITE PLAN APPLICATIONS EVERY APPLICANT MUST CALL FOR A PRE-APPLICATION CONFERENCE.

IT IS STRONGLY ADVISED THAT THE APPROPRIATE PROFESSIONALS BE PRESENT AT SAID MEETING.

PRE-APPLICATION CONFERENCE FEE: \$500.00

(ACCORDING TO SECTION 577-270 OF THE CITY'S ZONING CODE)

***NOTE:**

- A. Incomplete applications will not be processed.**
- B. Submission hours are 8:30am to 4:30pm, Monday through Friday. All applications must be stamped "received" by the Division of Planning. No outside drop-offs will be processed.**
- C. All plans must be folded with *Title Block* facing upward.**
- D. Whenever public notice is required, the Division of Planning shall prepare procedures for said notification and advise applicant of its readiness.**

Revised 8/27/2020

Not Applicable

The following checklist pertains to PLOT PLANS:

Check if Completed

For Office Use Only

- | | |
|--|-------|
| <input type="checkbox"/> 1. Name and Address of owner and applicant | _____ |
| <input type="checkbox"/> 2. Name, signature, licenses #, seal and address of engineer, land surveyor, architect, professional planner, and/or landscape architect (as applicable). | _____ |
| <input type="checkbox"/> 3. Title block denoting type of application, tax map sheet, county municipality, block and lot, and street address. | _____ |
| <input type="checkbox"/> 4. Key map not less the 1" – 1000" showing location of tract to surrounding street, municipal boundaries, etc. within 500'. | _____ |
| <input type="checkbox"/> 5. Schedule for required and proposed zone requirements for Lot area, frontage, setbacks, imperious coverage, parking, etc. | _____ |
| <input type="checkbox"/> 6. North arrow to top of sheet, scale and graphic scale. | _____ |
| <input type="checkbox"/> 7. Signature block for board chair, secretary, zoning officer/ administrative officer and engineer. | _____ |
| <input type="checkbox"/> 8. Date of property survey | _____ |
| <input type="checkbox"/> 9. Acreage of tract to nearest tenth | _____ |
| <input type="checkbox"/> 10. Date of original and all revisions | _____ |
| <input type="checkbox"/> 11. Size and location of existing or proposed structures and their dimension of setbacks | _____ |
| <input type="checkbox"/> 12. Location and dimensions of any existing or proposed streets | _____ |
| <input type="checkbox"/> 13. All proposed lot lines and area of lots in square feet | _____ |
| <input type="checkbox"/> 14. Copy of and plan delineation of any existing or proposed deed restriction | _____ |
| <input type="checkbox"/> 15. Any existing or proposed easement or land reserved or dedicated for public use | _____ |
| <input type="checkbox"/> 16. Existing streets, other right-of-way or easements; water courses, wetlands, soils floodplains, or other environmentally Sensitive area within 200' of tract | _____ |
| <input type="checkbox"/> 17. Topographical features of subject property from USGS 7.5 minute maps | _____ |

Not Applicable

CHECK IF COMPLETED

FOR OFFICE USE ONLY

- 18. Boundary, limits, nature and extent of wooded areas, Specimen trees and other significant physical features _____
- 19. Drainage calculations _____
- 20. Proposed utilities: sanitary sewer, water, storm water management, telephone, cable TV and electric _____
- 21. Soil erosion and sediment control plan if more than 5000 sq. ft. _____
- 22. Spot and finished elevations at all property corners, corners of Structures, existing or proposed first floor elevations _____
- 23. Construction details road and paving cross-sections and profiles if no profiles needed _____
- 24. Lighting plan and details _____
- 25. Landscape plan and details _____
- 26. Site identification signs, traffic control signs, and directional signs _____
- 27. Sight triangles _____
- 28. Vehicular and pedestrian circulation patterns _____
- 29. Parking plan indicating spaces, size and type aisle width internal Collectors, curb cuts, drives and driveways and all ingress and Egress areas with dimensions _____
- 30. Preliminary architectural plan and elevations _____
- 31. Environmental impact report, parcels 2 acres or larger _____
- 32. Plan paper size should be 24 by 36 _____

**PURSUANT TO THE CODE OF THE CITY OF CAMDEN
(ARTICLE I, SECTION 233-4)**

SITE PLAN APPLICATION

(Please Answer ALL Questions)

APPLICANT Public Service Electric & Gas Company, c/o Kathy Hering, Permitting Specialist IV

ADDRESS 4000 Hadley Road, South Plainfield, NJ 07080

TELEPHONE# 732-804-5478

FAX# _____

OWNER OF PROPERTY Public Service Electric & Gas Company, c/o Robert Pollock, Sr. Director of
(if other than applicant) Environmental Projects and Services

ADDRESS 4000 Hadley Road, South Plainfield, NJ 07080

TELEPHONE 848-210-0195

**IF APPLICANT IS INCORPORATE OR A PARTNERSHIP, LEGAL REPRESENTATION IS REQUIRED.
PLEASE PROVIDE THE FOLLOWING:**

ATTORNEY'S NAME Thomas Letizia, Esq. of Troutman Pepper

ADDRESS 301 Carnegie Center, Suite 400, Princeton, NJ 08540

TELEPHONE# 609-951-4136

FAX# 609-337-2556

EMAIL ADDRESS Thomas.Letizia@Troutman.com

PLEASE PROVIDE THE FOLLOWING INFORMATION BELOW:

ENGINEER AND/OR ARCHITECT NAME Chris Wilson, P.E. of Burns & McDonnell

ADDRESS 9400 Ward Parkway, Kansas City, MO 64114; cdwilson@burnsmcd.com

TELEPHONE# 816-844-4404

FAX# 816-822-4319

ADDRESS OF DEVELOPMENT 900 & 942 Locust Street, Camden, NJ

BLOCK NO.(S) 237; 243

LOT NO.(S) 55; 1

ZONE R-2

PRESENT USE(S) 900 Locust Street - temporary material storage and construction trailers

942 Locust Street - Existing PSE&G Locust Street Substation

DESCRIBE PROPOSED USES (S):

(attach separate sheet if needed) 900 Locust Street - new electrical Breaker Station

942 Locust Street - modifications to existing Locust Street Substation

SQUARE FOOTAGE OF PROPOSED USE Breaker Station: Block 237, Lot 55: 64,485 s.f.
Existing Substation: Block 243, Lot 1: 70,817 s.f.

LOT AREA (Measured in Square Footage) Block 237, Lot 55: 64,485 s.f. / Block 243, Lot 1: 70,817 s.f.

BUILDING AREA OF GROUND FLOOR 1,092 s.f (26' x 42' Control House)

BUILDING AREA (Total Sq. Ft. – all floors) 1,092 s.f.

NO. OF PROPOSED PARKING SPACES No designated parking spaces proposed

NO. OF EXISTING PARKING SPACES No existing designated parking spaces

AREA IN ACRES OF ANY ADDITION ADJOINING LAND OWNED BY APPLICANT _____

None

DOES THIS APPLICANT CONSTITUTE:

(Please check appropriate box)

New Application

Preliminary Preliminary and Final

Revision or Resubmission of a prior application

*IS THIS APPLICATION FOR A VARIANCE TO CONSTRUCT A MULTI-DWELLING OF 25 OR MORE FAMILY DWELLING UNITS? (Please check) YES NO

*IS THIS APPLICATION INTENDED FOR COMMERCIAL PURPOSE(S)? (Please check) YES NO

IF THE ANSWER TO (A) OR (B) IS "YES", AND/OR IF APPLICANT IS A CORPORATION OR PARTNERSHIP, PLEASE PROVIDE THE FOLLOWING:

1. Name and address of all stockholders or individual partners owning at least 10% of its stock, of any class, or at least 10% of the interest in the partnership, as the case may be. (Additional sheet may be attached if needed).

NAME

ADDRESS

VanGuard Group

100 VanGuard Blvd., Malvern, PA 19355

BlackRock, Inc.

50 Hudson Yards, New York, NY 10001

DOES THIS APPLICATION INCLUDE:

1. AN ADDITION OF 1,000 SQ. FT. OR MORE TO AN EXISTING STRUCTURE?
(Please circle) YES NO
2. AN ADDITION OF 1,000 SQ. FT. OR MORE OF PAVING AREA FOR OFF-STREET PARKING?
(Please circle) YES NO

THIS APPLICANT CERTIFIES THAT THE ABOVE INFORMATION HAS BEEN COMPLETED TO THE BEST OF HIS/HER KNOWLEDGE.

11/15/2024

DATE

Kathy Hering, PSE&G Permitting Specialist IV

APPLICANT'S NAME (PLEASE PRINT)

Katherine L. Hering

APPLICANT'S SIGNATURE

ESCROW DEPOSIT AGREEMENT BETWEEN THE CITY OF CAMDEN AND

DEPOSITOR Public Service Electric & Gas Company (PSE&G)

Address 4000 Hadley Road

South Plainfield, NJ 07080

c/o Kathy Hering, PSE&G Permitting Specialist IV

Telephone No. 732-804-5478

Check No. 40000494075
40000494046

Two thousand, four hundred, eight and 82/100 dollars

Depositor herewith deposits the sum of One thousand, two hundred, four and 41/100 dollars

dollars (\$ ^{2,408.82}_{1,204.41}) with the City of Camden in accordance with an subject to the provisions of the City of Camden Ordinance No. MC-2304, being incorporated by reference and made a part hereof, and agrees to the following:

1. Depositor's payment of said deposit is made in connection with an application for:
Preliminary and Final Site Plan application for the construction of the Locust Street Breaker
Station and expansion of existing Locust Street Substation

At (provide address with block and lot number): 900 Locust Street; Block 243, Lot 1
942 Locust Street; Block 237, Lot 55

2. The Treasure of the City of Camden shall be authorized to disburse to the City Engineer from the funds deposited, those fees required to be paid for the technical and professional review by the Zoning Board of Adjustment and/or Planning Board pursuant to the terms of Ordinance MC-2304.
3. All fees shall be disbursed upon reconciliation of the Engineer & Insurance Escrow Accounts by Ordinance MC-2304.
4. If there are insufficient funds in the depositor's escrow account to pay all pending bill attribute to the aforementioned project, depositor shall be notified by the appropriate agency and requested to make an additional deposit into the escrow account.
5. Depositor understands that if he/she fails to make any additional deposit required, depositor's application shall be denied.
6. Any additional deposits shall be made to the Treasure, City of Camden, by way of the Division of Planning, in accordance with the terms set forth herein unless otherwise agreed to by the depositor and the approving agency.
7. The City of Camden shall not be required to pay interest on any sums held pursuant to this agreement.

IN WITNESS WHEREOF the undersigned hereby accepts the terms and conditions of this agreement.

11/15/2024

DATE:

Katherine L. Hering
Applicant or Authorized Signature

§ 870-294. Preliminary checklist.

Note: See §§ 870-277 through 870-282 for further details of submission requirements and procedures.

Preliminary Checklist

- X Application form and plans for completeness review (3 copies).
- X Application form (15 copies).
- X Plats of plans (15 copies) signed and sealed by a New Jersey professional engineer and folded into eighths with title block revealed.
- W Scale of not less than one inch equals 30 feet on one of the following standard sheet sizes (8 1/2 inches x 13 inches; 15 inches x 21 inches; or 24 inches x 36 inches).
- X Key map no less than one inch equals 1,000 feet.
- X Title block:
 - Name of subdivision or development, City of Camden, Camden County;
 - Name, title, address and telephone number of subdivider or developer;
 - Name, title, address and license number of the professional or professionals who prepared the plot or plan;
 - Name, title and address of the owner or owners of record;
 - Scale (written and graphic); and
 - Date of original preparation and of each subsequent revision thereof and a list of specific revisions entered on each sheet.
 - Application number.
- X North arrow.
- X Certification of ownership or authorization to file application.
- X Approval signature lines.
- X Acreage to the nearest tenth of an acre and a computation of the area of the tract to be disturbed.
- N/A All adopted master plan proposals affecting the proposed development.
- X The proposed location, direction of illumination, power and type of proposed outdoor lighting, including details and luminaries.
- X The proposed screening, buffering and landscaping plan, with the information required by ordinance.
- X The location and design of any off-street parking area, showing size and location of bays, aisles and barriers.
- X All means of vehicular access or egress to and from the site onto public streets, with the information required by ordinance.
- X Plans and computations for any storm drainage systems as required by the City Engineer.

- PW The location of existing utility structures on the tract and within 200 feet of its boundaries. [Utilities are shown along property frontages, but not within 200 feet.](#)
- N/A Plans of proposed improvements and utility layouts as required by ordinance; and required letters from appropriate state and county agencies granting approval for the extension of utility service(s).
- N/A Plans, typical cross sections and construction details, horizontal and vertical alignment of the center line of all proposed streets and of existing streets abutting the tract as required by ordinance.
- X A copy of any protective covenants or deed restrictions applying to the land being developed or an indication of them on the submitted plat or plan.
- X The location and width of all existing and proposed utility easements, the use(s) for which they are intended to be limited, and the manner in which the easements will be controlled.
- N/A Proposed permanent monuments. [No monuments proposed](#)
- X Certification from the City Tax Collector that all taxes and assessments are paid to date.
- N/A Architectural or historic significance of any existing buildings to remain or to be removed.
- N/A Scale model of proposed development.
- X Traffic study, including but not necessarily limited to:
 - Anticipated traffic volumes;
 - Capacity of existing and proposed roadways;
 - Traffic volume impact from other developments;
 - Roadway network problems, i.e., unsafe intersections, turns, grades;
 - Need for traffic signals and other improvements.
- X Photographs of any unusual topographic, environmental, historic or physical aspect.
- X Location of all structures with all setbacks, heights, yards, and floor area ratios, and finished floor elevations.
- X Sketches, plans and photographs of other known similar developments. [Photos and renderings being provided of the exist. Locust St. Substation](#)
- N/A Common open space including acreage calculations and proposed recreation facilities.

The Planning Board may waive submission of any required exhibits in appropriate cases and for specific reasons. Requests for such waivers shall accompany a major subdivision or site plan application, stating the reasons that such a waiver is being requested.

The Board reserves the right to acquire additional information before granting preliminary approval when unique circumstances affect the tract and/or when the application for development poses special problems for the tract and the surrounding area. Such information may include, but not be limited to, drainage calculations and traffic analyses; provided, however, that no application shall be declared incomplete for lack of such additional information.

<u><i>Katherine L. Hering</i></u>	<u>11/15/2024</u>
Signature and title of person who completed checklist	Date

§ 870-295. Final checklist.

Note: See §§ 870-277 through 870-285 for further details of submission requirements and procedures.

Final Checklist

- X Application form and plans for completeness review (3 copies).
- X Application form (15 copies).
- X Plats of plans (15 copies) signed and sealed by a N.J.P.L.S. or N.J.P.E., as required, and folded into eighths with title block revealed.
- W Scale of not less than one inch equals 30 feet on one of the following standard sheet sizes (8 1/2 inches x 13 inches; 15 inches x 21 inches; or 24 inches x 36 inches).
- X All details stipulated in other applicable sections of the Ordinance.
- X All additional details required at the time of preliminary approval.
- X A section or staging plan, if proposed.
- X Detailed architectural and engineering data as required by ordinance.
- X Certification from the City Tax Collector that all taxes and assessments are paid up-to-date.
- N/A Letters directed to the Chairman of the Board and signed by a responsible official of all utility companies, etc., providing service to the tract as required by ordinance.
- X Certification in writing from the applicant to the Board that the applicant has:
 - (a) Installed all improvements in accordance with the requirements of the Ordinance; and/or,
 - (b) Posted a performance guarantee. [Will be provided, as noted in cover letter.](#)
- N/A A statement from the City Engineer that all installed improvements have been inspected.
- X Detailed soil erosion and sediment control plan
- X Detailed engineering data including:
 - Ground floor or other floor plans;
 - Cross sections, profiles and established grades of all streets, aisles, lanes and driveways;
 - Sanitary sewer and water main profiles;
 - All dimensions of the exterior boundaries of any subdivision.
- X Architectural elevations for all proposed buildings, walls, fences and signs, and samples of building materials to be used shall be submitted to the Planning Board for approval. Architectural elevation drawings shall include:
 - Fully dimensioned exterior buildings walls.
 - Architectural features and design.

Exterior doors and windows.

Exterior materials to be used and treatment of materials.

Roof design and method of screening air conditioning units, etc.

Fully dimensioned building signs.

Fully dimensioned retaining walls and fences.

X Approximate date of project beginning/completion.

X Estimated cost of project.

X Photographs of project site and neighboring properties.

The Planning Board may waive submission of any required exhibits in appropriate cases and for specific reasons. Requests for such waivers shall accompany a final subdivision or site plan application, stating the reasons that such a waiver is being requested.

The Board reserves the right to acquire additional information before granting final approval when unique circumstances affect the tract and/or when the application for development poses special problems for the tract and the surrounding area. Such information may include, but not be limited to, drainage calculations and traffic analyses; provided, however, that no application shall be declared incomplete for lack of such additional information.

	11/15/2024
Signature and title of person who completed checklist	Date
Kathy Hering, PSE&G Permitting Specialist IV	

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



PHOTO LOCATION VIEWS - Aerial view of proposed PSE&G Locust Street Breaker Station and existing Substation

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #1 – View from Locust Street looking east into the Station property at the existing driveway



View #2 – View from Locust Street facing north towards Spruce Street, Station property on the right

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #3 – View from Spruce Street, mid lot, looking south towards Station property



View #4 – View from Spruce Street looking west, Station property is on the left

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #5 – View from Spruce Street looking south towards Station property at the existing driveway



View #6 – View from 1002 Locust Street looking east at PSE&G Locust Street Substation at existing driveway

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #7 – View from 1002 Locust Street looking west at PSE&G Camden Gas M&R Station



View #8 – View from 225 Spruce Street looking south at PSE&G Camden Gas M&R Station

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #9 – View from intersection of Spruce Street and Locust Street looking southeast at Station



View #10 – View from intersection of Spruce Street and S. 3rd Street looking west at Station on left

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #11 – View from Spruce Street looking southwest at Station on left



View #12 – View from intersection of Locust Street and Walnut Street looking northeast toward PSE&G Locust Street Substation on right

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #13 – Aerial View from Walnut Street looking north at Station



View #14 - Aerial View from Locust Street looking east at Station

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #15 - Aerial View from Spruce Street looking south at Station



View #16 - Aerial View from S 3rd Street looking west at Station

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #17 - Aerial of Macedonia Church and Pine Street Parking from S. 2nd Street facing east



View #18 - Aerial View of Industrial and Residential Areas from S. 3rd Street facing northeast

PSE&G LOCUST STREET BREAKER STATION & SUBSTATION

900 LOCUST STREET; BLOCK 237, LOT 55

942 LOCUST STREET; BLOCK 243, LOT 1

CITY OF CAMDEN, CAMDEN COUNTY NJ



View #19 - Aerial of Industrial Area to the northwest from S. 2nd Street



PSE&G LOCUST STREET BREAKER STATION & SUBSTATION
BLOCK 237, LOT 55; 900 LOCUST STREET
BLOCK 243, LOT 1; 942 LOCUST STREET

CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY
LAND DEVELOPMENT ORDINANCE & SITE PLAN CHECKLIST
COMPLIANCE STATEMENT

NOVEMBER 2024

I. PROJECT NEED

PJM Interconnection (“PJM”) is the regional transmission organization that coordinates the transmission of electricity in all, or parts of, thirteen states and the District of Columbia. PJM uses a comprehensive process called Regional Transmission Expansion Planning (“RTEP”) to examine the three interrelated components of electric power system reliability: load, generation, and transmission and to analyze and assess each component to ensure that reliability remains firm. The RTEP Process is designed to meet established reliability criteria, keep markets robust and competitive, and ensure stable operations.

This project, which will convert the existing 69kV straight bus at PSE&G’s Locust Street Electric substation (the “Substation”) into a 69kV ring bus by constructing the new Locust Street 69kV Breaker Station (the “Breaker Station”), is part of a program to increase service reliability to PSE&G’s 6,000+ customers in the City of Camden and the surrounding areas during various contingencies identified in PJM’s 2022 Series 2027 Summer RTEP Study.

II. EXISTING SITE DESCRIPTION

The Project site consists of two (2) lots, the existing Locust Street Substation located at 942 Locust Street between Walnut Street and the vacated Cherry Street right-of-way on Block 243, Lot 1, and the adjacent lot to the north which is identified as and Block 237, Lot 55 at 900 Locust Street which this application proposes be developed with the new Locust Street Breaker Station. Both subject lots are in the R-2 Residential Zone in the City of Camden and development of the lots is subject to the R-2 Zone requirements. The lots to the north, east and south of the site are also in the R-2 Zone. The lots across Locust Street, which are developed with a PSE&G Camden Gas Metering and Regulating (M&R) Station, are zoned PRI - Port Related Industrial. Overall, the site is in a heavy industrial neighborhood bound by Spruce Street to the north, Walnut Street to the south, Locust Street to the west, and a combination of vacant lots and residential buildings to the east. Certain adjacent lots to the east owned by the City of Camden are proposed to be cleared, cleaned up and used as a construction laydown area in support of the utility improvements. The laydown area improvements are the subject of a separate site plan with variance application.

The existing Locust Street Substation is currently developed as an electrical substation with a combination of transformers, breakers and switchgear. The substation is surfaced with loose crushed gravel throughout

the station yard and a macadam access drive around the station. The substation is currently enclosed with an eight-foot high chain-link fence.

The site (Block 237, Lot 55) for the Locust Street Breaker Station is currently vacant, surfaced with a combination of gravel and impervious surfaces, and is temporarily being used to support construction activities at the Gas Metering and Regulating (M&R) Station located across Locust Street.

III. PROJECT DESCRIPTION

A. New Breaker Station on Block 237, Lot 55

The new Breaker Station will include a 26' x 42' control house and six (6) circuit breakers and equipment with associated overhead line exits, gravel surfacing, macadam and paved access driveway. A small-scale bioretention basin system is proposed for stormwater management for the breaker station. An 8'-8" high security fence is proposed around the site perimeter. The security fence will not include any barbed wire, nor be angled in/out at the top. The completed Breaker Station will include four (4) access points. The existing access point from Locust Street on the west will be reconstructed slightly south of the existing location. The existing access points from Spruce Street on the north side of the site and Cherry Street on the south side of the site will be reused in their existing locations. The Cherry Street access is intended to be used as an emergency/maintenance access point only.

The following is a list of the major equipment and site improvements proposed at the new Breaker Station:

- Six (6) 69kV breakers and their associated foundations
- Various electrical equipment supports for the operation of the Breaker Station
- A 26' x 42' Control House (FFE = 12.0' NAVD)
- An 8'-8" high security fence around the perimeter
- Underground concrete-encased electrical cable duct banks and manholes
- Stormwater conveyance system
- Stormwater Bioretention BMP
- Macadam and paved access driveways
- Substation gravel surfacing
- Two (2) 51-foot high lightning masts
- One (1) 51-foot high H-frame
- Four (4) 72-foot high 69 kV transmission poles

B. Existing Substation Improvements on Block 243, Lot 1

To accommodate the development of the new Breaker Station, minor equipment changes are proposed at the existing Locust Street Substation on Block 243, Lot 1. Work in the existing Substation will include removal of some existing foundations, drive areas, a transformer and landscaping, and the installation of new cable trenches. A new 22-foot high free-standing isolation wall will be installed on the east side of the existing transformers to provide added protection to the transformers. There are no changes proposed to the stormwater management system at the Locust Street Substation as no additional impervious surface or grading changes are being proposed. The Substation will also be enclosed by an 8'-8" high, non-barbed wire, security fence.

Below is a list of major equipment and site improvements to be installed at the existing Substation as part of the project:

- One (1) 69kV open-air seven position ring bus and associated equipment
- An 8'-8" high security fence around the perimeter
- Underground concrete-encased electrical cable duct banks and manholes
- Minor electrical equipment and structures
- Macadam and paved access driveways
- Substation gravel surfacing
- Four (4) 72-foot high 69 kV transmission poles
- One (1) 22-foot high free-standing isolation wall for existing transformers
- Two (2) 27-foot high 13kV transmission poles to replace existing 27-foot high poles

IV. EFFECT OF PROPOSED DEVELOPMENT ON SURROUNDING PROPERTIES

Historically, the subject lots and the properties to the west have been developed as public utility facilities for decades. The addition of the proposed improvements on the subject lots will not change the character of the neighborhood, nor create any undue hazard. In fact, the installation of the proposed improvements will improve the health, safety, and welfare of residents and businesses in the surrounding area by increasing the reliability and safety of the Substation.

The operation of the proposed Breaker Station and improved Substation will not generate any dust, smoke, smog, observable gas, fumes, odors or other atmospheric pollution, glare, heat, noise, or vibration beyond the boundaries of the site. Further, the proposed improvements will not cause or result in a hazard of fire or explosion or other physical impact to any adjacent building or to any plant growth on land adjacent to the site. The proposed improvements will not result in any hauling of materials, goods, or products to or from the site nor the dissemination of thermal energy, chemicals, waste, or other matter.

V. ZONING COMPLIANCE

1. Conditional Use Standards

Both subject lots are in the R-2 Residential Zone District. Pursuant to City Ordinance §870-55, public utility facilities (i.e., electric substations) are a permitted conditional use in the R-2 Residential Zone District subject to the requirements for public utility facilities of §870-191 as set forth below. In addition, the general conditions and standards that must be met for all conditional uses are listed at §870-40 and are also set forth below. As indicated below in bold, the PSE&G project requires deviations from three conditional use specifications related to compliance with certain bulk requirements of the zone, landscaping and buffer requirements.

§870-191 Public Utility – Conditional Use Standards

- A. Such uses shall be subject to site plan review and approval.

Satisfied. This application is responsive to Condition A.

- B. The use shall meet with the area and bulk requirements of the zone in which it is located.**

Not satisfied. Although the proposed Breaker Station will meet most area and bulk requirements of the R-2 Zone a front yard setback variance along Spruce Street is required for two (2) 69kV

transmission poles. The pole foundations will be set back 3.7' from the property line where 10 feet is required. Additionally, height variances are required for the transmission structures. In 2011, the Zoning Board granted height variances for utility poles at the existing Substation.

- C. The Planning Board may impose reasonable requirements on the use including, but not limited to, off-street parking, landscaping, screening and buffering, depending on the nature of the site and surrounding uses.

Satisfied. PSE&G will work with the Zoning Board to meet reasonable requirements it imposes and will therefore comply with this requirement.

- D. No storage of materials and trucks and no repair facilities or staging of repair crews shall be permitted, except within a completely enclosed building.

Satisfied. No storage of materials and trucks and no repair facilities or staging of repair crews will occur within the station properties during normal operation and will therefore comply with this requirement.

- E. The exterior of any structure shall be in keeping with the other structures in the immediate neighborhood.

Satisfied. The proposed Control House will be similar to the existing control house at the Locust Street Substation. The proposed electrical equipment will be similar in appearance to the existing equipment at the Substation. The proposed project therefore complies with this requirement.

- F. Adequate fences and other safety devices must be provided as may be required. Fences, when used to enclose public utility facilities such as electrical power substations, shall be built in accordance with the applicable requirements of the New Jersey Board of Public Utility Commissioners and the National Electrical Code in effect at the time of the construction.

Satisfied. The proposed 8'-8" high security fence used to enclose the proposed Breaker Station and the existing Substation will be built in accordance with the applicable requirements of the New Jersey Board of Public Utility Commissioners. The proposed project will therefore comply with this requirement.

- G. **Landscaping, including shrubs, trees, and lawns, shall be provided and properly maintained at all times.**

Not Satisfied. Due to the compact size of the property and the nature of the development of electrical facilities, PSE&G is unable to include planted landscaping other than the seed mix in the bioretention basin in accordance with the NJDEP's BMP manual and some low-maintenance shrubs around the driveway entrance from Spruce Street. In 2011, the Zoning Board granted PSE&G a "d" variance for this deviation from the conditional use standards for landscaping in connection with the existing Substation on Block 243, Lot 1.

- H. Off-street parking shall be provided as determined by the Planning Board during site plan review.

Satisfied. Adequate off-street parking will be available on the gravel areas within the stations for PSE&G personnel. The stations will not be open to the public. The proposed project will therefore comply with this requirement.

§870-40 Conditional Uses – General Standards

Any use listed as a conditional use in a particular zone district may be permitted by the Planning Board, but only after it has determined that the development proposal complies with the conditions and standards set forth in this chapter for the location and operation of such use. All conditional uses shall comply with the following requirements and standards in addition to those set forth elsewhere in this chapter:

- A. Before a building permit or certificate of occupancy shall be issued for any conditional use as permitted by this article, application shall be made to the Planning Board. The Planning Board shall grant or deny said application within 95 days of submission of a complete application by a developer to the Zoning Officer/Administrative Officer, or within such further time as may be consented to by the applicant.

Satisfied. This application is responsive to this standard.

- B. All proposed structures, equipment, or material shall be readily accessible for fire and police protection.

Satisfied. All proposed structures, equipment, or material will be sufficiently accessible for the required fire and police protection to comply with this requirement. In the event of an emergency, PSE&G personnel act as the first responders and must confirm that the stations are completely de-energized before allowing City emergency services (i.e. police, fire, EMS) to enter. A Truck Circulation Plan is included in the set of engineering drawings to demonstrate vehicular access around the new Breaker Station.

- C. The proposed use shall be of such location, size and character that, in general, it shall be in harmony with the existing development in the general area in which it is proposed to be situated, shall be free of nuisance characteristics, and shall not be detrimental to the orderly development of adjacent properties (particularly if it is located in an historic, historic conservation or residential zone) in accordance with the zoning classification of such properties.

Satisfied. The proposed Breaker Station and upgrades to the existing Substation have been designed such that they will be free of nuisance characteristics and will not be detrimental to the orderly development of adjacent properties in accordance with the zoning classification of such properties. The proposed Breaker Station and upgrades to the existing Substation will therefore comply with this standard.

- D. In addition to the above, in the case of any use located in, or directly adjacent to, a residential zone or use:

1. The location and size of such use, the nature and intensity of operations involved in or conducted in connection therewith, its site layout and its relation to access street shall be such that both pedestrian and vehicular traffic to and from the use and the assembly of persons in connection therewith will not be hazardous or inconvenient to, or incongruous with, the said residential zone or use, or conflict with the normal traffic of the neighborhood; and

Satisfied. As noted above, this project is located in the R-2 Residential Zone District. The stations are not open to the public such that pedestrian and vehicular access by the public to or around the stations is provided. Pedestrian circulation along the sidewalks around the stations will not be impeded, nor will there be any impact or conflict with the normal traffic of

the neighborhood. The stations will be un-manned and visited approximately once a week by PSE&G technicians for routine inspections and maintenance of the equipment.

2. The location and height of buildings; the location, nature, and height of walls and fences, and the nature and extent of landscaping on the site, shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings, nor materially affect the value of property.

Satisfied. The two station properties have been developed as power generating facilities for decades and have been a long-time part of the developed neighborhood such that the use as an electrical utility facility does not hinder or discourage the appropriate development and use of adjacent land and buildings, nor materially affect the value of property.

- E. Each application for a conditional use shall be accompanied by a proposed site plan showing the size and location of the lot, the location of all buildings and proposed facilities including access drives, parking areas, and all streets.

Satisfied. This application includes a site plan showing the size and location of the lots and the location of all proposed buildings, structures, and access roads.

- F. In all requests for approval of a conditional use, the burden of proof shall be on the applicant. In making its decision on an application for a conditional use, the Board shall take no action which will be detrimental to the public welfare or which will substantially impair the intent or purpose of this chapter. The Board shall be guided by the following principles:

- (1) The proposed use will not be prejudicial to the character of the neighborhood.

Satisfied. The proposed Breaker Station and upgrades to the existing Substation are not prejudicial to the character of the neighborhood.

- (2) The proposed use does not affect adversely the general plans for the physical development of the City, as embodied in this chapter and in any master plan or portion thereof.

Satisfied. The proposed Breaker Station and upgrades to the existing Substation do not adversely affect the general plans for the physical development of the City as embodied in the Ordinance and the City's Master Plan.

- (3) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.

Satisfied. The proposed Breaker Station and upgrades to the existing Substation will not be detrimental to the use or development of adjacent properties or the general neighborhood.

- (4) The proposed use will not be affected adversely by the existing uses.

Satisfied. The proposed Breaker Station and upgrades to the existing Substation will not be adversely affected by the existing uses.

- (5) The proposed use will adequately provide for access facilities for the estimated traffic from public streets and sidewalks.

Satisfied. The design of the proposed Breaker Station and upgrades to the existing Substation provides adequate vehicular access from public streets. As unmanned stations, the anticipated traffic to the sites will be very low. Pedestrian circulation on the sidewalks around the stations will not be impacted.

- (6) The proposed use shall be subject to the off-street parking, loading and service requirements of this chapter.

Satisfied. Adequate off-street parking will be available on the gravel areas within the stations for PSE&G personnel. The stations will not be open to the public.

- (7) **Screening or buffer strips, as required, shall be installed.**

Not satisfied. Due to the nature of the development of the properties as electrical facilities, PSE&G is requesting a waiver from the landscaping requirements set forth in §870-244, if the Planning Board determines that the proposed fence does not meet the buffer requirements. Furthermore, PSE&G is seeking a waiver from 870-244.A.(3)(g)[4] which limits the height of fences and screening to eight feet. PSE&G is proposing 8'-8" high security fencing.

- (8) No outdoor floodlighting or spotlighting shall be permitted to shine directly or indirectly on any abutting property.

Satisfied. No floodlighting or spotlighting is proposed that will shine directly or indirectly on any abutting property. The proposed lighting will be mounted on equipment support structures and on the Control House 8 to 9 feet above grade. There are no abutting residential properties at the Locust Street Breaker Station, and the lighting levels will decrease at the Locust Street Substation along the east side.

- (9) The proposed use shall be reasonable in terms of the logical, efficient and economical extension of public services and facilities, such as water, sewers, police and fire protection, transportation, recreation and public schools.

Satisfied. The purpose of the new Breaker Station and the upgrades to the existing Substation is to provide service reliability to PSE&G's 6,000+ customers in the area.

- (10) Each proposed use shall be further subject to specific conditions as set forth in this chapter.

Satisfied. The proposed Breaker Station and the upgrades to the existing Substation are further subject to the specific conditions set forth in §870-191 as addressed separately in this statement.

- G. Any lot for which a conditional use may be granted shall be deemed to be a conforming use in the district in which such use is located, except as provided in Subsection H below, provided that such approval shall affect only the lot or portion thereof for which such use shall have been granted.

Satisfied. Applicant agrees.

- H. In case of review of the conditional use, the Planning Board may impose such reasonable conditions, including but not limited to the placing of fencing and screening as will minimize the impact it has upon surrounding residential properties. In such cases, the Planning Board may also permit reasonable changes in existing structures on the land, within the limitation of the zone in which said use is located, for the purpose of limiting the open use of the land.

Satisfied. Applicant agrees to comply with reasonable conditions imposed by the Board subject to the limitations of development of the subject property for an electrical substation.

2. d Variance Relief

- A. *Conditional Use Variance—d(3).* As referenced above, Applicant requests a variance pursuant to N.J.S.A. 40:55D-70d(3) of the Municipal Land Use Law (MLUL) for deviations from certain conditional use standards for public utilities. Specifically, some the equipment for the new Breaker Station and existing

Substation does not comply with the minimum front yard setback and maximum height for principal structures in the R-2 Zone. The proposed location and height of these structures are necessary to facilitate the safe and reliable operation of the Breaker Station and upgraded Substation. Increasing the setback of poles or lowering the height of equipment will lead to an ineffective electrical utility use on the site. The project does not include landscaping due to the compact nature of the site resulting inadequate space for the installation of landscaping and BPU regulations prohibiting the placement of trees and other landscaping that will interfere with the operation of the electrical equipment.

B. *Height Variance(s) – d(6)*. The R-2 Zone permits a maximum height of 35 feet for principal structures. The subject utility project proposes several tall structures above 35 feet as follows:

New Breaker Station:

- Two (2) 51-foot high lightning masts
- One (1) 51-foot high H-frame
- Four (4) 72-foot high 69 kV transmission poles

Existing Substation:

- Four (4) 72-foot high 69 kV transmission poles

Pursuant to N.J.S.A. 40:55D-70d(6) of the MLUL, the Zoning Board may grant a variance for a height of a principal structure which exceeds by 10 feet or 10 percent the maximum height permitted in the zone (in this case, more than 38.5 feet). The height of the PSE&G equipment at these locations is necessary to effectuate the use for the Substation upgrades and new Breaker Station and increase the service reliability to PSE&G's customers. The proposed equipment height is the minimum necessary for the stations to operate efficiently and safely. The requested height deviations are required to comply with power industry standards for the protection and design of an electrical station equipment as well as with PSE&G's best engineering practices. If the requested heights are not achieved the facilities will not safely function as planned and PSE&G cannot fulfill its PJM and BPU mandates of providing reliable service to the region. The Zoning Board granted height variances in 2011 for 70-foot utility poles at the existing Substation.

3. c Variance Relief

A. *Bulk Standards*

The existing Locust Street Substation and the proposed Breaker Station properties are located in the R-2 – Residential Zoning District.

There are four (4) separate sets of area and bulk standards for the R-2 Zone, depending on the type of residential development being proposed (single-family, semi-detached, duplex or townhouses). Given that there are no standards for nonresidential uses, the Applicant has selected the most conservative criteria as set forth in the table below. Variances pursuant to N.J.S.A. 40:55D-70c of the MLUL for non-compliance with certain bulk standards are also identified.

Area & Design Standards	Required	Breaker Station		Substation	
		Proposed (Block 237, Lot 55)	New Variance (Y/N)	Proposed (Block 243, Lot 1)	New Variance (Y/N)
Minimum Lot Area (s.f.)	4,000	64,485	N	70,825	N
Maximum Lot Area per dwelling unit or site area (s.f.)	3,000	64,485	N-ENC	70,825	N
Minimum Lot Width (feet)	40	221	N	221.83	N
Minimum Lot Depth (feet)	100	285	N	300	N
Maximum height (feet)	3 stories/ 35 feet	72 (transmission structures)	Y	72 (transmission structures)	Y
Minimum height (feet)	30 feet	17.6 (Control House)	Y	22 (Isolation Wall)	Y
Minimum depth of front yard (feet)	10	10.9 (Control House)	N	9.9 (Isolation Wall)	Y
Minimum aggregate width of side yards (feet)	25	N/A	N/A	N/A	N/A
Minimum width of each side yard (feet)	10	20.6 (transmission structure)	N	23.2 (transmission structure)	N
Minimum depth of rear yard (feet)	20	27.1	N	33.3	N
Maximum lot building coverage (%)	40%	1.6%	N	2.9%	N
Maximum lot impervious coverage (%)	60%	93.4%	Y	92.1%	Y

ENC: Existing Non-Conforming Condition – no changes proposed.

PSE&G requests the following bulk variances:

- Front yard variance for transmission structure foundation on Block 237, Lot 55
- Minimum structure height, if required, to allow the proposed Control House on the Breaker Station site at approximately 17'-7".
- Maximum impervious coverage for Block 237, Lot 55.

B. *Supplemental Zoning Standards*

This application requests c variances from the following supplemental zoning standards.

- §870-192. Landscaping in all zones. Other provisions of this chapter notwithstanding, in any district, the entire lot, except for areas covered by buildings or surfaced as parking, recreation or service areas, shall be seeded, sodded, or planted with ground cover and suitably landscaped to include trees, shrubs, edging materials, stones, rocks or gravel, in accordance with an overall

landscape plan consistent with the natural surroundings and neighborhood. All landscaping shall be properly maintained throughout the life of any use on said lot.

Variance relief is requested for not providing vegetative cover on areas that are not covered by buildings and/or the gravel substation yard. Upon completion of the construction of the Breaker Station, the station yard will be restored with gravel. In addition, the existing landscaping along Walnut Street inside the existing Substation will be removed because it poses a fire hazard to the facility.

- §870-197. Fences and Walls

870-197.F. A fence not more than six feet in height is permitted along the rear lot line and along the side lot line to the front building line. A fence not more than four feet tall is permitted along the side lot line from the front building line to the front lot line and along the front lot line.

Variance relief is requested for the proposed 8'-8" high security fence along the front, side, and rear lot lines to provide the required security for the station.

§870-197.G. Except where a taller fence is required by the provisions of §467-13 (junkyards), §500-5 (open lots) and §785-12 (storage yards), no fence hereinafter erected, altered or reconstructed shall exceed a height of six feet above ground level.

PSE&G requests variance relief for the proposed 8'-8" high security fence around the Substation and the Breaker Station.

VI. SITE PLAN DESIGN WAIVERS

The following exceptions from the requirements of site plan approval are being sought in accordance with N.J.S.A. 40:55D-51b of the MLUL:

- §870-243.A(6) Luminaires shall be provided with hoods to prevent uplighting.

Waiver relief is requested because PSE&G's stations are equipped with emergency lights that shine up on the overhead/elevated equipment to allow PSE&G's technicians to see/inspect the electrical equipment and confirm the system is properly de-energized/disconnected before proceeding with work. Under normal station operations, these lights are off, and are manually operated by technicians only when overhead light is needed.

- §870-243.A(10) All outdoor lighting systems shall be designed and operated so that the area 10 feet beyond the property line of the premises receives no less than 0.25 (one quarter) of a foot-candle of light from the premises' lighting system.

Waiver relief is requested as no illumination 10 feet off its property is proposed. It should be noted that overhead street lights on the utility poles exist along Spruce Street, Locust Street and Walnut Street that provide lighting along the sidewalks around the stations.

- §870-243.D(2) The minimum level of lighting in any portion of a parking lot shall not be LESS than 0.25 footcandle. The average horizontal illumination level of lighting within the parking lot shall be not less than ½ footcandle nor greater than two footcandles. The maximum level of lighting in any portion of the parking lot shall not be greater than three footcandles, except directly under light fixtures where a maximum of five footcandles is permitted.

Waiver relief is requested because the proposed lighting levels within the stations have been designed to provide illumination based on PSE&G standards and lighting needs for an unmanned station and which do not meet the illumination standards for parking lots.

- §870-244 – Landscaping and Buffering

§870-244.A(3)(g)[4] Where the Planning Board deems it necessary to assure an effective visual screen between nonresidential uses and streets or residentially zoned properties, the Board may require, in addition to landscaping, the provision of a fence of a type, height, and design suitable for the purpose, provided that the height of such fence or screening shall not be exceed eight feet.

Waiver relief is requested to permit the 8 feet 8-inch-high fences around the perimeters of the stations.

- §870-253 – Signs

§870-253.N – The following types of signs and no others shall be permitted in the R-1 thru R-3 Residential zoning districts:

(4) Non-illuminated nameplate signs containing the name or address of the occupant or of the permitted occupation, with a maximum size of two square feet. There shall be a maximum of one to a lot.

Waiver relief is requested, if required, to allow the following ID and safety signs. Station identification signs for the Breaker Station will be installed at the Spruce Street and Locust Street entrance drive gates. The Breaker Station identification signs will be 3' wide x 2' high (6 square feet) and therefore exceed the two square feet maximum and quantity permitted.

- (9) Identification signs for places of worship, hospitals, schools, playgrounds, parks and public utility installations, each of which shall be permitted one sign not to exceed 24 square feet in area. In addition, a changeable copy sign not exceeding 12 square feet in area and six feet in height shall also be permitted.

Waiver relief is requested, if required. Although signs for public utility installations are permitted under this section, more than one sign will be installed at each station, as noted above.

VII. COMPLIANCE WITH SITE DESIGN PRINCIPLES

§870-224 of the City Ordinance lists principles to be considered for the planning and layout of nonresidential developments. Sections identified below are applicable to this application.

- B.(3) Building Appearance. PSE&G requests a wavier, if required, from the prohibition of using pre-engineered metal buildings in to allow the proposed new control house at the breaker station.
- B.(5) Parking and Circulation. The Breaker Station and Substation are not accessible by the public and traditional lined parking spaces are not provided. PSE&G technicians can park on the macadam access drive and in a gravel area in the northeast corner of the breaker station. A truck circulation plan is included in the set of engineering drawings to demonstrate vehicular access around the new breaker station.
- B.(6) Traffic Management and Planning – A Traffic Impact Statement has been provided with this Site Plan Application.

- B.(7) Landscaping – Due to the nature of the development of the properties as electrical facilities, PSE&G is requesting a waiver from the landscaping requirements set forth in §870-224.
- B(8) Drainage – Grading and stormwater management information is included with this submission.
- B(9) Lighting – Lighting information is included with this submission.
- B(10) Signage – ID and safety signage is proposed. Signage information is included with this submission.
- B.(14) Refuse Collection and Recycling – As unmanned stations, there is no need for garbage, refuse, or recycling facilities. PSE&G maintains a carry-in/carry-out policy. Any trash or recycling will be removed by PSE&G technicians.

During construction, waste discharge and construction debris will be managed in accordance with the Federal United States Environmental Protection Agency (USEPA) and the New Jersey Department of Environmental Protection (NJDEP). PSE&G will manage and/or recycle all waste materials at state-permitted facilities or Class B permitted material recovery facility.

- B.(16) Fences and Walls – In accordance with §870-191.F, fencing used to enclose public utility facilities, such as electrical stations, will be built in accordance with the applicable requirements of the New Jersey Board of Public Utility Commissioners.
- B.(19) Mechanical Screening – §870-224.B.(19) requires electrical and mechanical equipment to be screened from view. As landscaping and/or visual barrier walls cannot be installed due to station constraints, PSE&G seeks a waiver to not provide screening for electrical or mechanical equipment.

VIII. SITE PLAN CHECKLIST SUBMISSION WAIVER REQUESTS

The following site plan requirements under §870-294 Preliminary Site Plan Checklist and §870-295 Final Site Plan Checklist, as applicable to this application, are addressed below.

§870-294 Preliminary Site Plan Checklist

- Scale of not less than one inch equals 30 feet on one of the following standard sheet sizes (8 1/2 inches x 13 inches; 15 inches x 21 inches; or 24 inches x 36 inches).

A submission waiver is requested from this checklist item. PSE&G utilizes a standard sheet size of 44" x 34".

- The location of existing utility structures on the tract and within 200 feet of its boundaries.

A partial submission waiver is requested from this checklist item. The location of all existing utility structures on the subject site and within the abutting street rights-of-way have been provided.

§870-295 Final Site Plan Checklist

- Scale of not less than one inch equals 30 feet on one of the following standard sheet sizes (8 1/2 inches x 13 inches; 15 inches x 21 inches; or 24 inches x 36 inches).

A submission waiver is requested from this checklist item. PSE&G utilizes a standard sheet size of 44" x 34".

IX. SUMMARY OF APPROVALS AND RELIEF REQUESTED

This application requests Preliminary and Final Site Plan Approval together with Conditional Use Approval for public utility improvements on the two subject lots. The following variance and waiver relief is also requested:

- A. d(3) variance relief for deviation from the following conditional use standards:
 - The requirement of Section 870-191B to meet all area and bulk requirements of the zone in which the property is located.
 - The requirement of Section 870-191G to provide landscaping.
 - The requirement of Section 870-40F(7) to provide screening or buffer strips.
- B. d(6) variance relief to allow certain structures to exceed the allowable height of 35 feet by more than 10%.
- C. c variance relief for the following:
 - To allow structures less than 2 stories or 30 feet in height.
 - To allow a front yard setback of 9.9 feet where 10 feet is required.
 - To allow an impervious coverage for the new breaker station of 93.4% where a maximum of 60% is required.
 - To allow gravel instead of vegetative cover in the breaker station and substation (§870-192).
 - To allow the proposed 8'-8" high security fences around both the breaker station and the substation. (§870-197F and §870-197G).
- D. Design waivers for the following:
 - To allow emergency lights that will shine in an upward direction toward equipment (§870-243A(6)).
 - To allow this application to not provide at least 0.25 footcandles to illuminate the area within 10 feet of the property line. (§870-243A(10)).
 - To allow this application to not provide at least 0.25 footcandles, no more than 3 footcandles, which are the required levels for parking lots and an average of between 0.5 and 2 footcandles. The application proposes no lined parking spaces and lighting as needed for an unmanned secured utility station, not a parking lot open to the public. (§870-243D(2)).
 - To allow the proposed fence surrounding the breaker station and substation which are between nonresidential uses and residentially zoned properties to be 8 feet-8 inches high where the maximum fence height allowed is 8 feet. (§870-244A(3)(g)[4]).
 - Two (2) Station Identification signs of 6 square feet each at the breaker station Spruce Street and Locust Street gates where only one (1) sign with a maximum area of 2 square feet is allowed. §870-253N(4) and §870-253N(9) to allow more than one(1) Public Utility ID sign).
 - Waiver from the prohibition of using pre-engineered metal buildings in §870-224B(3)b to allow the new control house at the breaker station.
 - Waiver from the landscaping criteria is §870-224B(7) because landscaping cannot safely be installed at these stations.

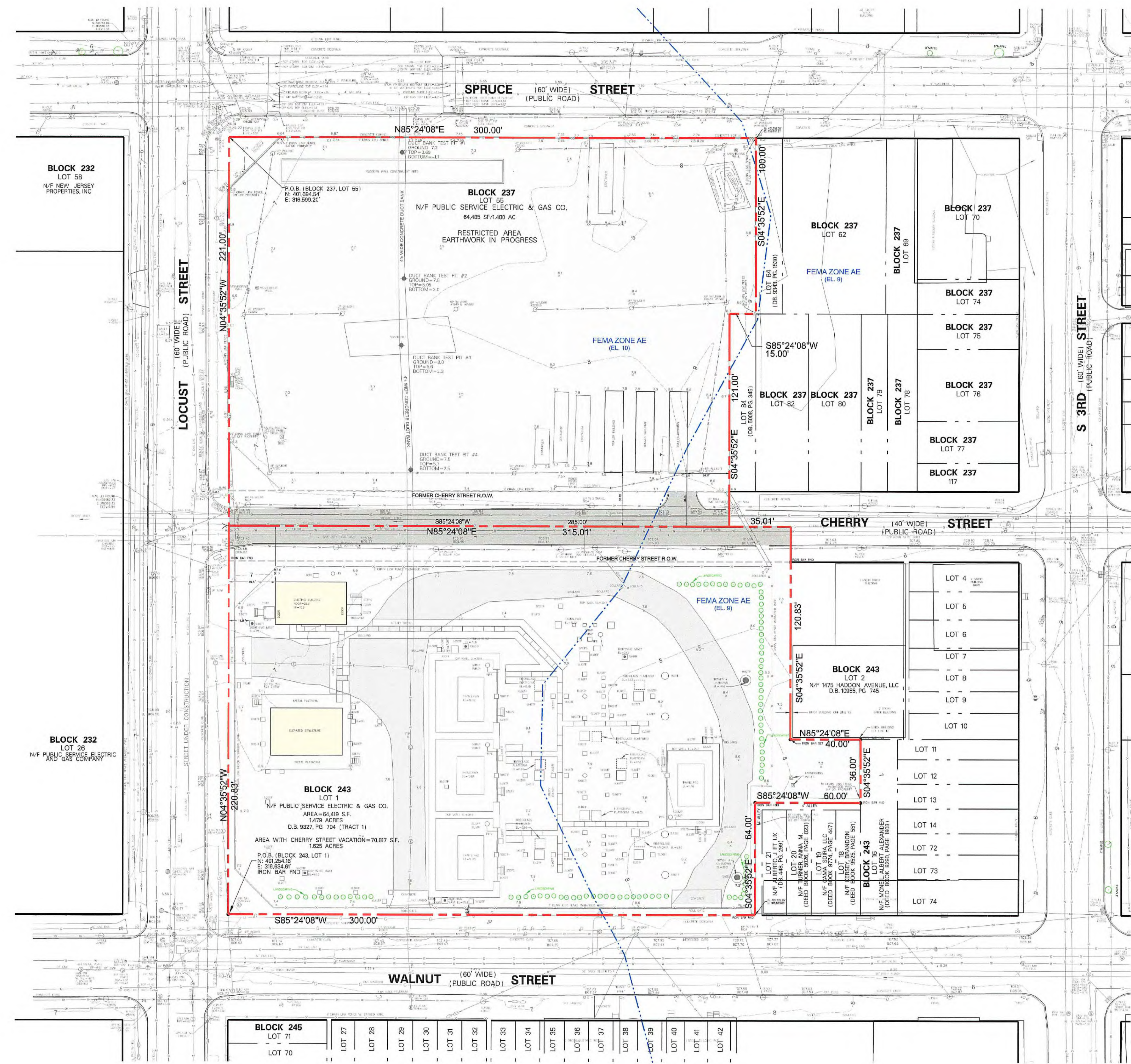
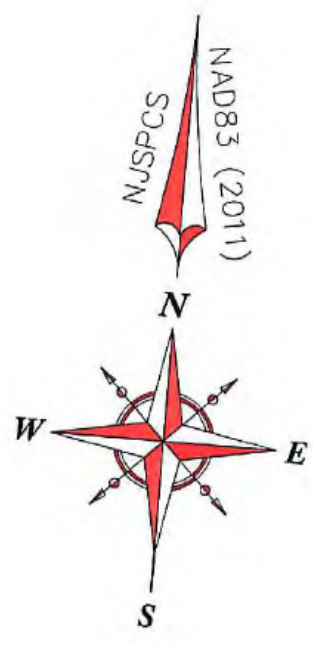
- Waiver from the requirement of §870-224B(19) to screen all electrical and mechanical equipment at ground level.

E. Submission waivers as outlined in Section VIII of this Compliance Statement.

X. LICENSES, PERMITS AND OTHER APPROVALS REQUIRED BY LAW

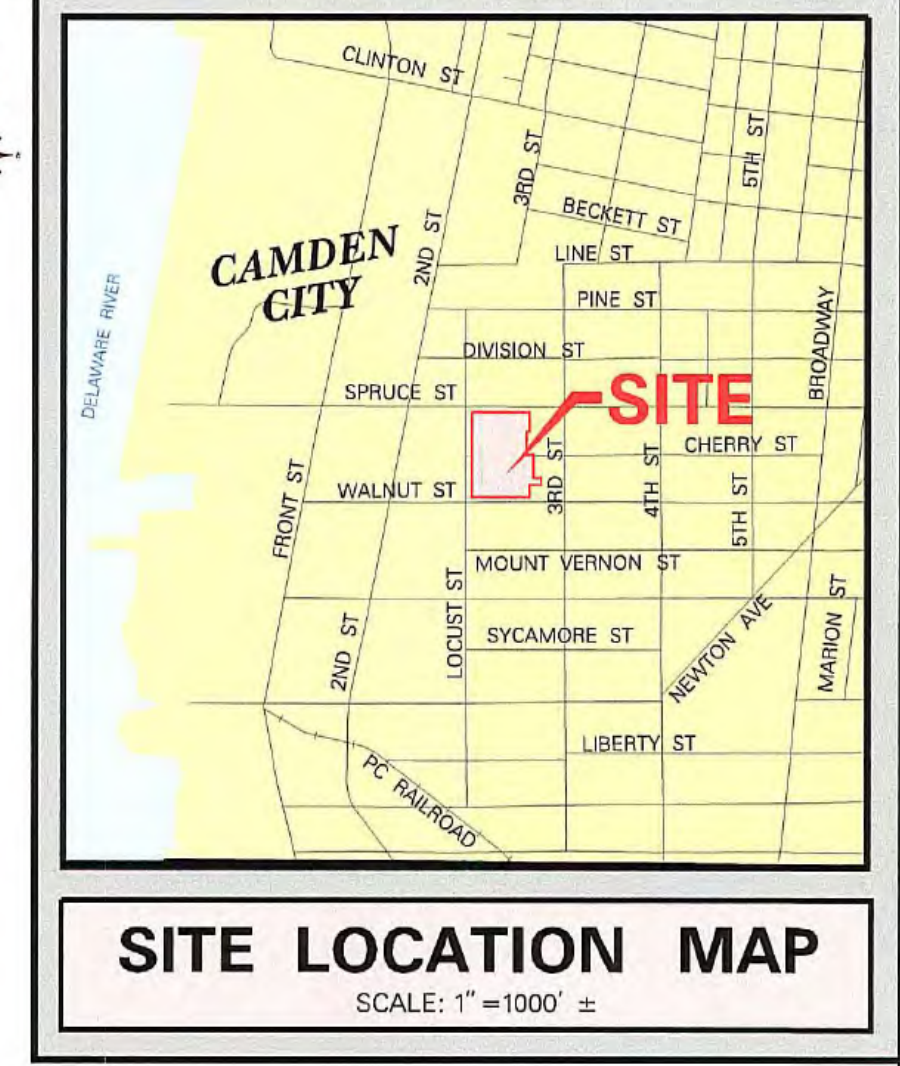
Below are the other governmental approvals, permits and/or certifications required for this project, with status indicated:

- Federal Aviation Administration (FAA) – **To Be Submitted**
- New Jersey Department of Environmental Protection – Flood Hazard Area Verification and Individual Permit – **To be submitted on or about December 6, 2024**
- City of Camden Zoning Board of Adjustment – Preliminary and Final Major Site Plan approval with variances – **Pending – this application**
- Camden County Planning Board Site Plan Exemption – **To be submitted upon receipt of review letter from Zoning Board Engineer**
- Camden County Soil Conservation District for Soil Erosion and Sediment Control Certification – **To be submitted on or about November 22, 2024**
- City of Camden Construction Office for Construction Permits – **To Be Submitted**



LEGEND:

- PROPERTY BOUNDARY LINE
- BLOCK / RIGHT OF WAY LINE
- TAX LOT LINE
- EASEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FEMA ZONE LINE
- FEMA ZONE (ref.1)
- EXISTING FENCE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND WATER
- EXISTING BUILDING
- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXISTING TREE
- EXISTING UTILITY POLE
- TEST PIT LOCATION (SEE REF #7)



- NOTES:**
- HORIZONTAL DATUM = N.J.S.P.C.S. (NAD 1983 (2011))
VERTICAL DATUM = NAVD 1988 (GEOID 12A)
UNITS = U.S. SURVEY FEET
 - ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES, UNLESS OTHERWISE NOTED. GROUND DISTANCES MAY BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999940.
 - ALL COORDINATES SHOWN ARE GRID.
 - UNLESS OTHERWISE NOTED, COORDINATES SHOWN ON THIS SURVEY ARE NAD 1983 (2011) AND NAVD 1988 (GEOID12A) WITH A ZDRMS NETWORK ACCURACY OF ±0.03 HORIZONTAL AND ±0.06' VERTICAL. LOCAL ACCURACY AT ZDRMS IS ±0.02' HORIZONTAL AND ±0.02' VERTICAL.
 - PROPERTY LIES WITHIN FLOOD HAZARD ZONE AE AS SHOWN ON REFERENCE #4.
 - THE LOCATION OF SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE AND BASED ON VISIBLE ABOVE GROUND EVIDENCE AND AVAILABLE MAPPING FROM VARIOUS UTILITY PROVIDERS. A LIMITED UTILITY INVESTIGATION WAS PERFORMED WITHIN THE RIGHT-OF-WAYS OF WALNUT STREET, LOCUST STREET, SPRUCE STREET AND SOUTH 3RD STREET RELATING TO THE INSPECTION & CONDITION OF STORM AND SANITARY SEWER PER REFERENCES #5 & #7.

- REFERENCES:**
- THE TAX MAP FOR THE CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY; SHEET #5.07.
 - PSEG LAND RECORDS D-2045 THRU D-2068 (INCLUSIVE) DEED BOOK 578, PAGE 154 GRANTOR: THE HOLLAND COMPANY GRANTEE: PUBLIC SERVICE ELECTRIC & GAS COMPANY DATED OCTOBER 21, 1924 RECORDED OCTOBER 31, 1924
 - "TOPOGRAPHIC SURVEY UPDATE, PSEG LOCUST STREET @ KV SUBSTATION, BLOCK 243, LOT 1, LOCUST STREET & WALNUT STREET", PREPARED BY FRALINGER ENGINEERING, PA., BRIDGETON, N.J., DATED JANUARY 16, 2023.
 - FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR CAMDEN COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL NUMBERS 17 & 38 OF 905 MAP NUMBERS 34007C007F & 34007C008F, WITH AN EFFECTIVE DATE OF AUGUST 17, 2016.
 - "PSEG PROJECT 22156 LOCUST STREET SUBSTATION, 6/9, 6/12 & 6/14/23 - REVERSED CITY INSPECTION (SPRUCE STREET, 2ND TO LOCUST)", PREPARED BY SAS GEOSPATIAL, LLC.
 - CITY OF CAMDEN ORDINANCE MC-5203 APPROVED MAY 14, 2019, ADOPTED JUNE 11, 2019 (VACATES A PORTION OF CHERRY STREET AS SHOWN).
 - TEST PITS PERFORMED BY PSE&G AND FIELD-LOCATED BY SAS GEOSPATIAL IN JANUARY & FEBRUARY 2024.

NO.	DATE	DESCRIPTION	BY	CHKD.
2	2/29/2024	ADD DUCT BANK TEST PIT INFORMATION	PF	PF
1	1/16/2024	ADD DUCT BANK TEST PIT INFORMATION	PF	PF

PSEG Services Corporation
CORPORATE HEADQUARTERS
80 Park Plaza T20
Newark, N.J. 07102-4194
Email: surveying@pseg.com

PSEG SERVICES CORPORATION
110 PARK PLAZA - NEWARK - NEW JERSEY - 07102-4104

I AM A FULLY REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW JERSEY AND I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND I AM A MEMBER IN GOOD STANDING WITH THE BOARD OF SURVEYING AND MAPPING ENGINEERS OF THE STATE OF NEW JERSEY.

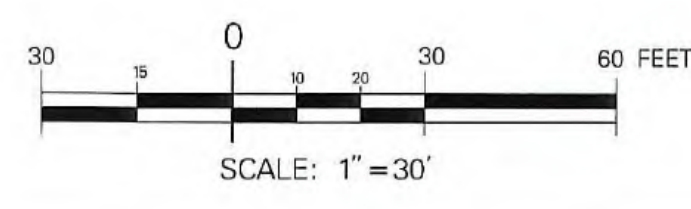
MICHAEL D. RAGSDALE
No. 2452079500
12/18/2023

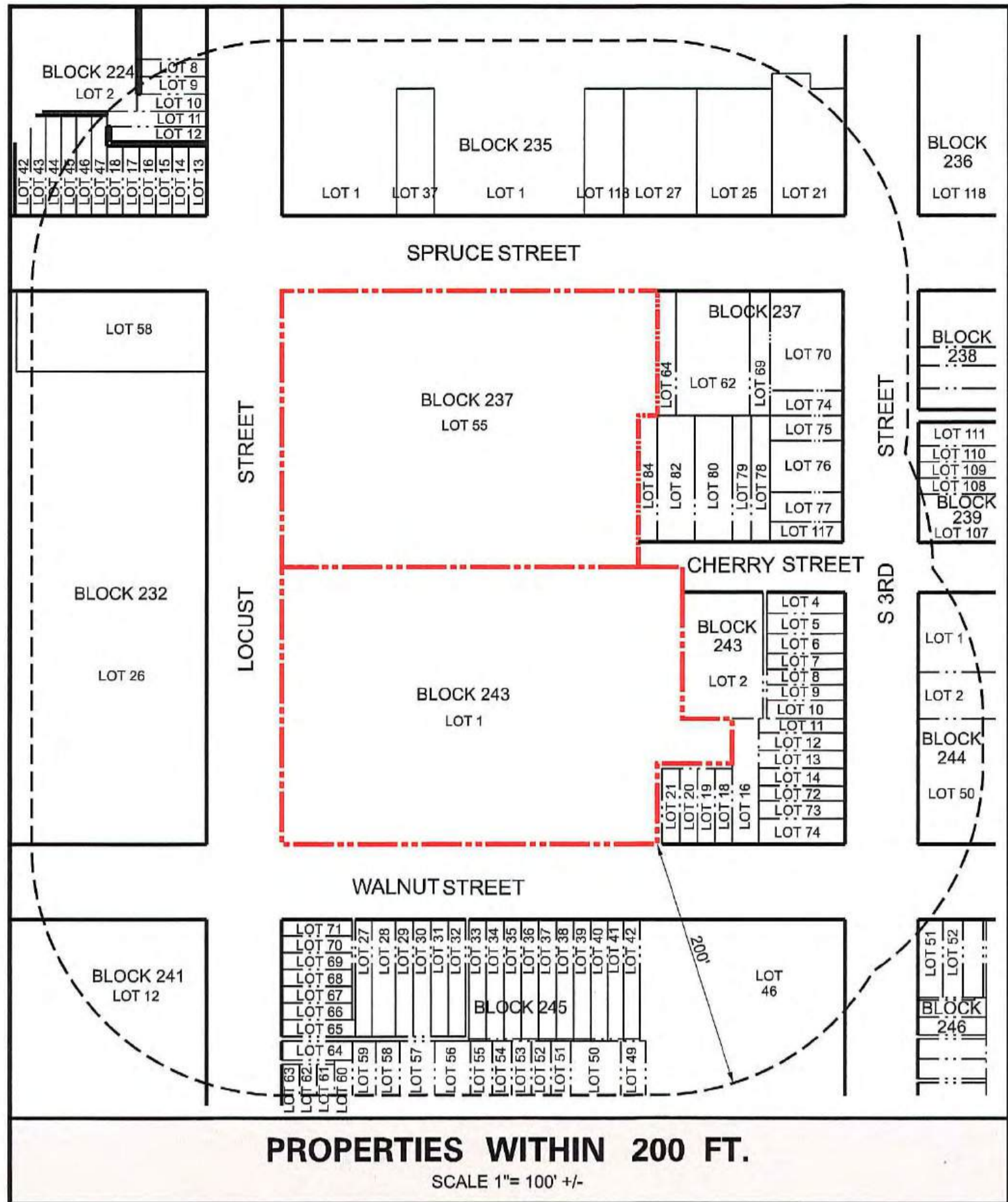
PSE&G
LOCUST STREET SUBSTATION
BLOCK 237 - LOT 55
BLOCK 243 - LOT 1
LOCUST STREET, WALNUT STREET
AND SPRUCE STREET

CITY OF CAMDEN CAMDEN COUNTY, N.J.

BOUNDARY & TOPOGRAPHIC SURVEY

DRAWN _____ MP _____ CHECKED _____ PE _____ SCALE _____ AS SHOWN _____
DATE 12/18/2023 EXAMINED _____ BSG _____ AUTH. _____ PRJ:22156



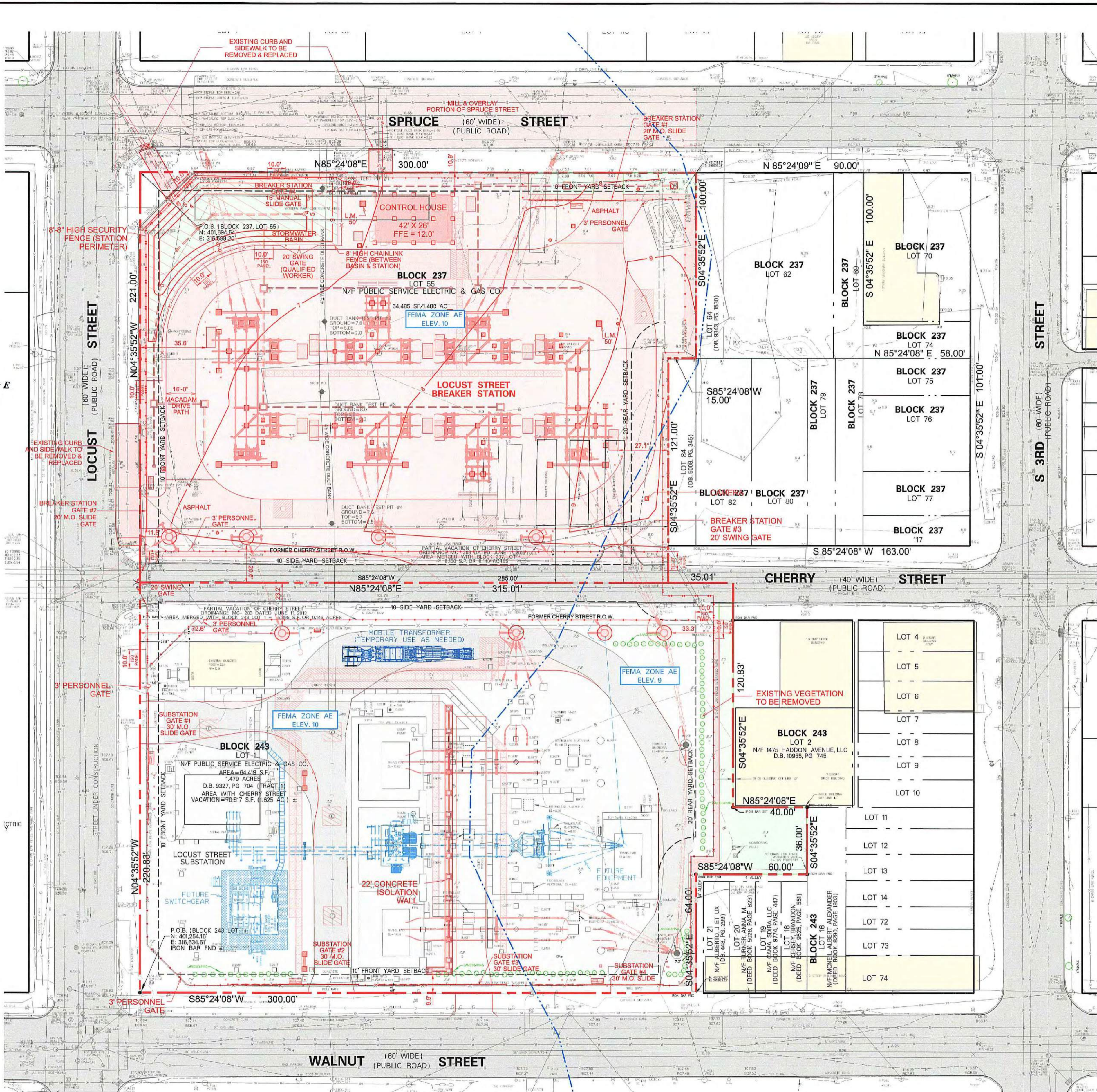


- NOTES:**
- HORIZONTAL DATUM = N.T.S.P.C.S. [NAD 1983 (2011)]
VERTICAL DATUM = NAVD 1988 (GEOID 12A)
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 - ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED. GROUND DISTANCES MAY BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9999400.
 - ALL COORDINATES SHOWN ARE GRID.
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 - PROPERTY LIES WITHIN FLOOD HAZARD ZONE AS SHOWN ON REFERENCE 4.
 - THE LOCATION OF SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE AND BASED ON VISIBLE ABOVE GROUND EVIDENCE AND AVAILABLE MAPPING FROM VARIOUS UTILITY PROVIDERS.
 - EXISTING CONDITION OF BLOCK 237, LOT 55 IS CURRENTLY UNDEVELOPED WITH LIMITED GRAVEL COVER AND TEMPORARY STRUCTURES ONLY. SOME EARTH-MOVING WORK WAS BEING PERFORMED AT THE TIME OF THE SURVEY.
 - A PORTION OF CHERRY STREET HAS BEEN VACATED PER ORDINANCE P-2019-202 ADOPTED JUNE 11, 2019 AND RECORDED IN THE CAMDEN COUNTY CLERK'S OFFICE ON JULY 24, 2019 IN VACATION BOOK 1176, PAGE 534.

- REFERENCES:**
- THE TAX MAP FOR THE CITY OF CAMDEN, CAMDEN COUNTY, NEW JERSEY; SHEETS #9.05 & #9.07.
 - PSEG LAND RECORDS D-2045 THRU D-2068 (INCLUSIVE)
DEED BOOK 578 PAGE 154
GRANTOR: THE HOLLAND COMPANY
GRANTEE: PUBLIC SERVICE ELECTRIC & GAS COMPANY
DATED OCTOBER 21, 2024
RECORDED OCTOBER 31, 2024
 - "BOUNDARY & TOPOGRAPHIC SURVEY, PSE&G LOCUST STREET SUBSTATION, BLOCK 237, LOT 55 & BLOCK 243, LOT 1, CITY OF CAMDEN, CAMDEN COUNTY, N.J.," PREPARED BY PSEG SERVICES CORPORATION SURVEYS & MAPPING, NEWARK, N.J.; DATED DECEMBER 18, 2023 (LAST REVISED FEBRUARY 28, 2024).
 - FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR CAMDEN COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL NUMBERS 17 & 36 OF 305, MAP NUMBERS 34007C0017F & 34007C0036F, WITH AN EFFECTIVE DATE OF AUGUST 17, 2016.
 - "PSEG PROJECT 22156 LOCUST STREET SUBSTATION, 6/9, 6/12 & 6/14/23 - REVISED, CCTV INSPECTION (SPRUCE STREET, 2ND TO LOCUST)", PREPARED BY SAS GEOSPATIAL, LLC.

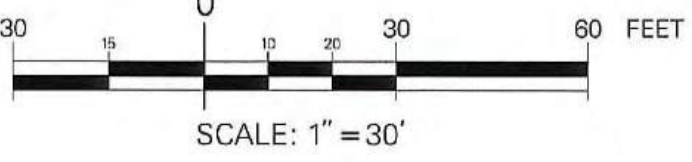
SCHEDULE OF BULK REQUIREMENTS LOCUST STREET SUBSTATION & BREAKER STATION CITY OF CAMDEN, CAMDEN COUNTY, N.J. ZONE R-2 (RESIDENTIAL ZONING DISTRICT)							
AREA & DESIGN STANDARDS	REQUIRED	EXISTING BLOCK 237, LOT 55	PROPOSED BLOCK 237, LOT 55	VARIANCE	EXISTING BLOCK 243, LOT 1	PROPOSED BLOCK 243, LOT 1	VARIANCE
MINIMUM LOT AREA	4,000 S.F.	64,485 S.F.	NC	NO	70,825 S.F.	N/C	NO
MINIMUM LOT WIDTH	40 FT	221 FT	NC	NO	221.83 FT	N/C	NO
MINIMUM LOT DEPTH	100 FT	285 FT	NC	NO	300 FT	N/C	NO
MINIMUM HEIGHT	30 FT	0 FT	17.8 FT	YES	15.8 FT*	22 FT ISOLATION WALL	YES
MAXIMUM HEIGHT	3 STORIES/ 35 FT	N/A (SEE NOTE #7)	72 FT MONOPOLE	YES	70 FT***	72 FT MONOPOLE	YES
MINIMUM SETBACKS							
FRONT YARD	10 FT	N/A (SEE NOTE #7)	10.9 FT CONTROL HOUSE FND.	NO	6.2 FT* WALNUT ST.	9.9 FT ISOLATION WALL	YES
SIDE YARD (ONE)	10 FT	N/A (SEE NOTE #7)	20.8 FT MONOPOLE FND.	NO	31.9 FT	23.2 FT MONOPOLE FND.	NO
SIDE YARD (BOTH)	25 FT	N/A (SEE NOTE #7)	N/A	NO	N/A	N/A	NO
REAR YARD	20 FT	N/A (SEE NOTE #7)	27.1 FT	NO	7.2 FT* MONOPOLE FND.	33.3 FT	NO
MAXIMUM LOT COVERAGE EXCLUSIVE OF ALL BUILDINGS	40%	0%	1.6%	NO	2.9%	2.9%	NO
MAXIMUM LOT COVERAGE INCLUSIVE OF ALL BUILDINGS	80%	94.7%	93.4%	NO	95.7%	92.1%	YES

N/A - NOT APPLICABLE
N/C - NO CHANGE
* EXISTING NON-COMFORMITY
** EXISTING EXCESSIVE HEIGHTS. NO PROPOSED STRUCTURES ARE DESIGNED TO EXCEED EXISTING STRUCTURE HEIGHTS.
*** EXISTING HEIGHT OF LIGHTNING MAST IS 70 FEET ABOVE GRADE



ENGINEERING REFERENCE PLANS
DESIGN DRAWING PREPARED BY:
BURNS MCDONNELL
KANSAS CITY, MO

DRAWING TITLE:	LATEST REV. DATE:
798280 A - 0Pgr ELECTRICAL KEY PLAN	10/18/2024
798477 A - 0Pgr GRADING & DRAINAGE PLAN	10/18/2024



I CONSENT TO THE FILING OF THIS PLAT WITH THE PLANNING BOARD OF THE CITY OF CAMDEN

OWNER: PUBLIC SERVICE ELECTRIC & GAS COMPANY
DATE: _____
ROBERT POLLOCK
SENIOR DIRECTOR ENVIRONMENTAL PROJECTS & SERVICES
4500 HADLEY ROAD
SOUTH PLAINFIELD, NJ 07080
848-210-0395

APPLICANT: PUBLIC SERVICE ELECTRIC & GAS COMPANY
KATHERINE L. HERING
PERMITTING SPECIALIST
4500 HADLEY ROAD
SOUTH PLAINFIELD, N.J. 07080
732-804-5476

I HAVE REVIEWED THIS PLAT AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

PLANNING BOARD ENGINEER: _____ DATE: _____
APPROVED BY THE PLANNING BOARD OF THE CITY OF CAMDEN: _____ DATE: _____
CHAIRMAN: _____ DATE: _____
SECRETARY: _____ DATE: _____

- LEGEND:**
- PROPERTY BOUNDARY LINE
 - BLOCK / RIGHT OF WAY LINE
 - TAX LOT LINE
 - EASEMENT
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - FEMA ZONE LINE
 - FEMA ZONE AE (EL. 10)
 - EXISTING FENCE
 - OVERHEAD WIRE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND WATER
 - EXISTING BUILDING
 - EXISTING PAVEMENT
 - EXISTING GRAVEL
 - PROPOSED SECURITY FENCE (SEE ENGINEERING REFERENCES FOR DETAIL)
 - PROPOSED NON-CONDUCTIVE FENCE (SEE ENGINEERING REFERENCES FOR DETAIL)
 - PROPOSED BUILDING
 - PROPOSED ACCESS DRIVE (MACADAM/ASPHALT AS SHOWN)
 - PROPOSED GRAVEL
 - PROPOSED VEGETATION
 - FUTURE IMPROVEMENTS
 - TEMPORARY IMPROVEMENTS (AS NEEDED)

NO.	DATE	DESCRIPTION	BY	CHKD.
1				

PSEG
Services Corporation
CORPORATE HEADQUARTERS
80 Park Plaza 120
Newark, N.J. 07102-4194
Email: surveying@pseg.com

BURNS MCDONNELL
3800 WARD PARKWAY - KANSAS CITY - MISSOURI - 64111

I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF NEW JERSEY AND I HEREBY CERTIFY THAT THE PROPOSED STRUCTURE LOCATIONS SHOWN ARE ACCURATE AND CORRESPOND WITH THE DETAIL ENGINEERING REFERENCE PLANS

Christopher D. Wilson
11/14/24
CHRISTOPHER D. WILSON
N.J. PROFESSIONAL ENGINEER No. 24G053369600 COA No. 24G128265400

PSEG SERVICES CORPORATION
80 PARK PLAZA - NEWARK - NEW JERSEY - 07102-4194

I AM A DULY REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW JERSEY AND I HEREBY CERTIFY THAT THE PROPOSED STRUCTURE LOCATIONS SHOWN ARE ACCURATE AND CORRESPOND WITH THE DETAIL ENGINEERING REFERENCE PLANS

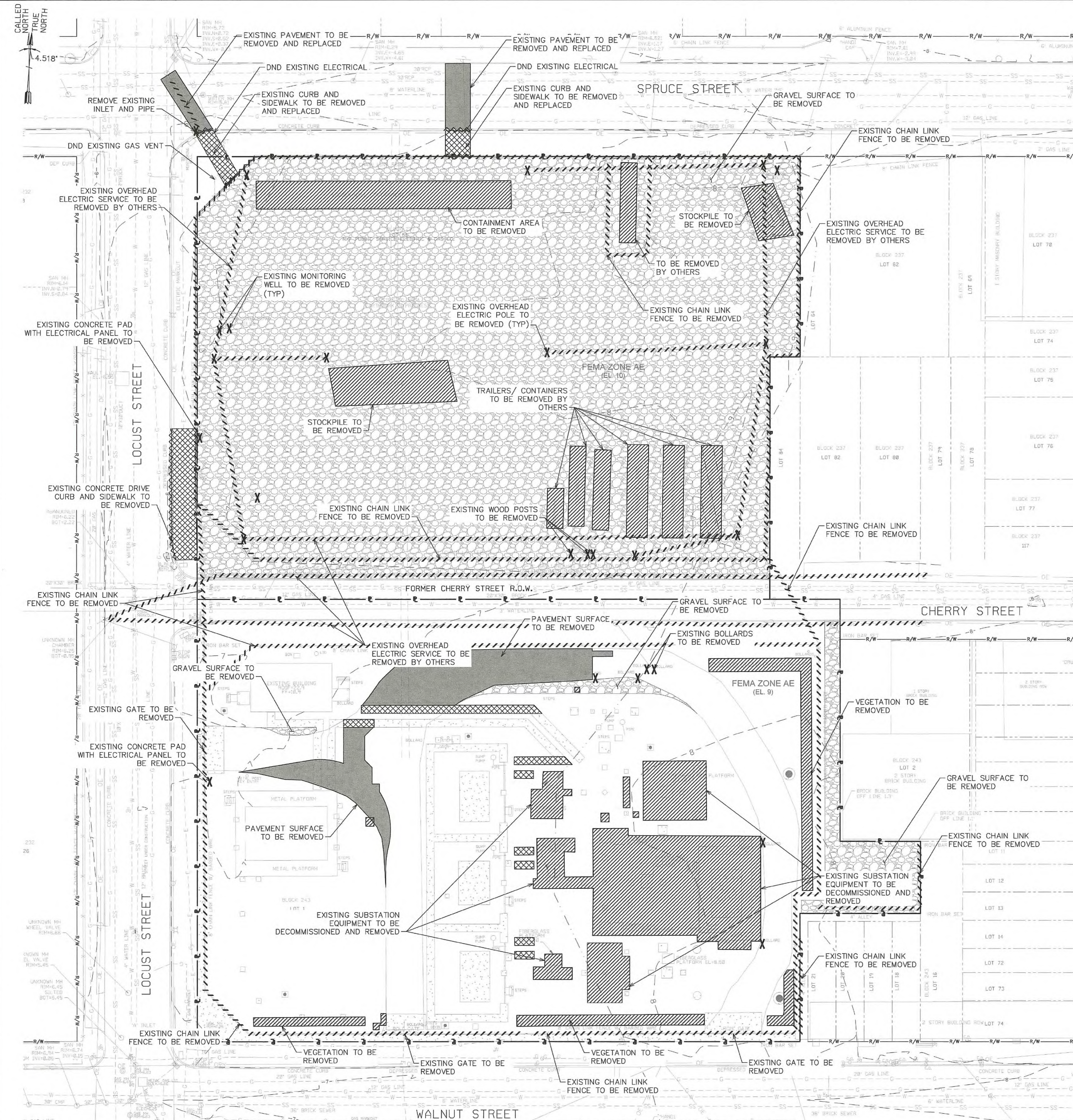
Michael D. Ragsdale
11-13-24
MICHAEL D. RAGSDALE
N.J. PROFESSIONAL LAND SURVEYOR No. 24G034323200 COA No. 24G2428076500

PSE&G
LOCUST STREET
BREAKER STATION
AND SUBSTATION
BLOCK 237, LOT 55 (900 LOCUST STREET)
BLOCK 243, LOT 1 (942 LOCUST STREET)

CITY OF CAMDEN CAMDEN COUNTY, N.J.

SITE PLAN

DRAWN: _____ CHECKED: _____ SCALE: AS SHOWN
DATE: 11/13/2024 EXAMINED: _____ AUTH: _____



- NOTES:**
1. REMOVAL OF EXISTING FEATURES AND STRUCTURES SHALL BE COORDINATED WITH CONSTRUCTION OF NEW BREAKER STATION BUILDINGS AND EQUIPMENT.
 2. THERE SHALL BE NO ONSITE BURIAL OF CONSTRUCTION DEBRIS. ALL MATERIAL SHALL BE DISPOSED OF AT AN OFFSITE LANDFILL/RECYCLING CENTER IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS.
 3. ANY PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAW CUT.
 4. SEE ELECTRICAL DRAWINGS FOR LOCATIONS OF ANY PROPOSED ELECTRICAL EQUIPMENT, STRUCTURES, FOUNDATIONS, ETC.
 5. THIS DRAWING IS NOT ALL INCLUSIVE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO NEW CONSTRUCTION. INFORM ENGINEER OF DISCREPANCIES.
 6. ALL EXISTING STORM SEWERS AND SANITARY LINES TO BE ABANDONED MUST BE REMOVED FROM THE GROUND PER THE CITY OF CAMDEN ORDINANCES.
 7. ALL ABOVE-GRADE/BELOW-GRADE ITEMS WITHIN THE PROPERTY LIMITS OF BLOCK 237, LOT 55 TO BE REMOVED INCLUDING CONCRETE CURBS, CONCRETE EQUIPMENT PADS, CONDUITS AND BUS, TREES AND SHRUBS, UTILITY POLES, FENCING, BOLLARDS, ETC. AS NOTED.
 8. CONCRETE FOUNDATIONS TO BE REMOVED ARE TO BE REMOVED ENTIRELY.
 9. CONTRACTOR TO NOTIFY NEW JERSEY ONE CALL AT 1-800-272-1000 A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION ACTIVITIES.
 10. ALL WASTE MATERIAL AND/OR SOIL TO BE HAULED OFF SITE SHALL BE TESTED FOR CONTAMINANTS AND HAZARDOUS REQUIREMENTS PRIOR TO DISPOSAL.
 11. BACKFILL AND COMPACT ALL VOID SPACES AND EXCAVATIONS PER PSE&G 'GENERAL SPECIFICATION NO. '21-CIVIL05, 'EXCAVATION AND TRENCHING FOR SWITCHING AND SUBSTATIONS.'
 12. CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK CONSTRUCTION FENCING TO SECURE WORK SITES AS NEEDED DURING CONSTRUCTION. SEE DWG*799486 FOR DETAILS.

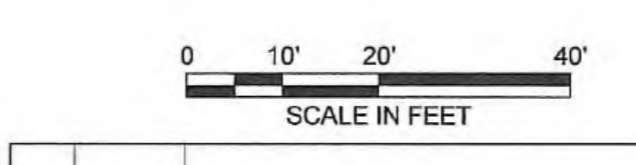
REFERENCE DRAWINGS

1. SITE PLAN DWG*788745
2. GRADING AND DRAINAGE PLAN DWG*799477
3. UTILITY PLAN DWG*799478
4. STORM DRAIN & BASIN PROFILES DWG*799479
5. SOIL EROSION & SEDIMENT CONTROL PLAN DWG*799480
6. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2 DWG*799481
7. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2 DWG*799482
8. CIVIL DETAILS - SHEET 1 OF 5 DWG*799483
9. CIVIL DETAILS - SHEET 2 OF 5 DWG*799484
10. CIVIL DETAILS - SHEET 3 OF 5 DWG*799485
11. CIVIL DETAILS - SHEET 4 OF 5 DWG*799486
12. CIVIL DETAILS - SHEET 5 OF 5 DWG*799526

LEGEND:

	PROPERTY LINE		MISCELLANEOUS REMOVAL
	RIGHT-OF-WAY		DO NOT DISTURB
	EXISTING CONTOURS		
	CURB REMOVAL		
	FENCE AND UTILITY REMOVAL		
	CONCRETE SURFACE REMOVAL		
	GRAVEL SURFACE REMOVAL		
	PAVEMENT SURFACE REMOVAL		
	MISCELLANEOUS REMOVAL		

WARNING: STATION CONTAINS KNOWN UNDERGROUND UTILITIES THAT EXIST WITHIN THE WORK AREA AND MAY ONLY BE SHOWN ON OTHER DISCIPLINE OR DIVISION DRAWINGS. ADDITIONAL UNKNOWN UTILITIES MAY ALSO BE PRESENT. CONTRACTOR TO FOLLOW PSE&G'S EXCAVATION PROCEDURE FOR ALL UNDERGROUND WORK.



REV#	DATE	DESCRIPTION
A	10-18-24	ISSUED FOR PERMITTING
B		
C		

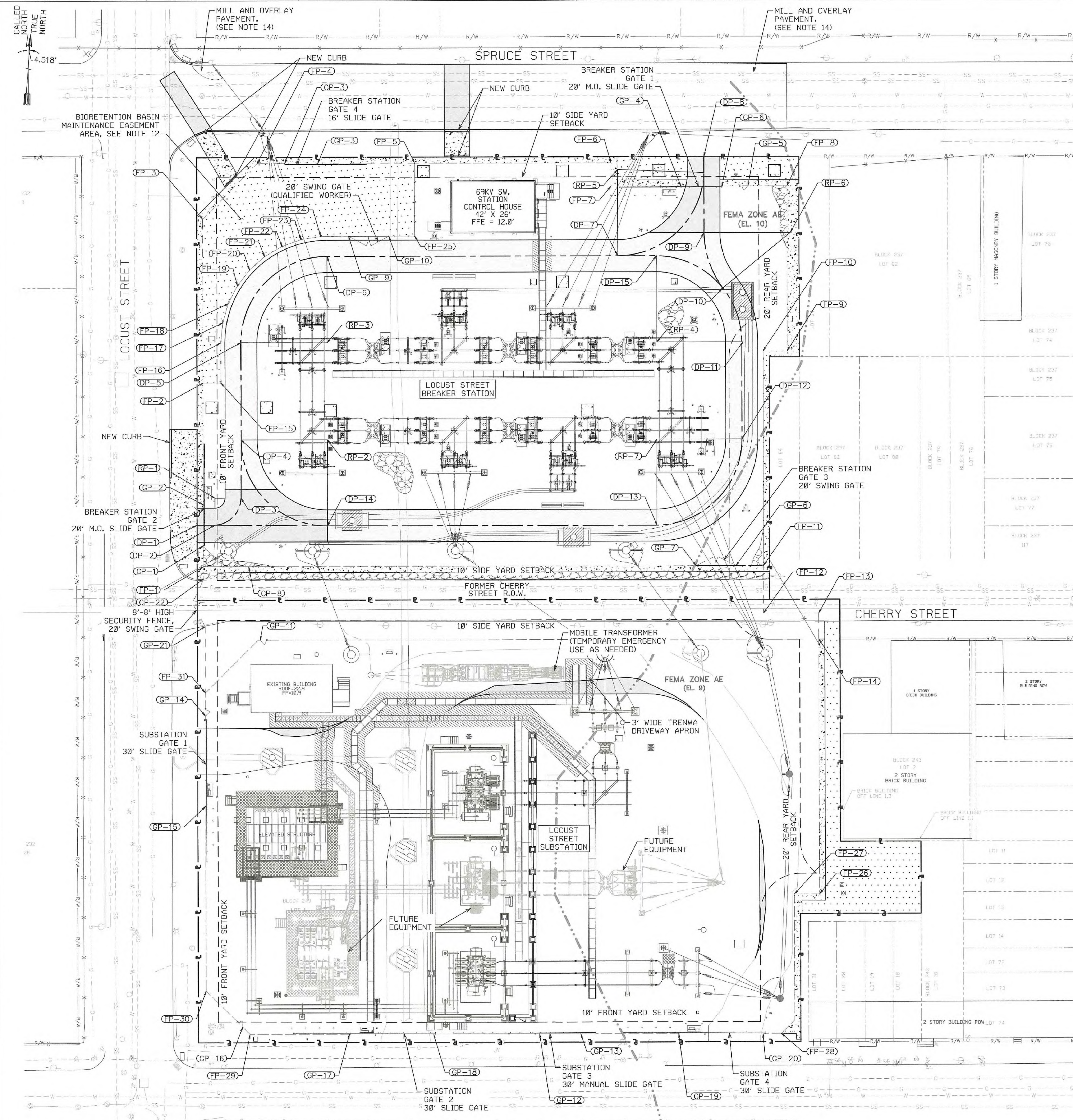
FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING
THIS DRAWING SUPERSEDES NONE
CHRISTOPHER D. WILSON
N.J. PROFESSIONAL ENGINEER
L.I.C. NO. 240E05369800
C.O.A. NO. 24GA28066400

NO.	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION 69/13KV BREAKER STATION & 69/13KV SUBSTATION REMOVAL PLAN						
YARD			CIVIL			

PSEG
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN A. GALLAGHER CHECKED C. WILSON SCALE 1"=20'-0"
DATE 10/06/23 EXAMINED
WBS C.92382.1B.1.1.2.1 APPROVED

799476 A **-0R**



DRIVEWAY CONTROL POINTS

POINT #	NORTHING	EASTING
DP-1	401511.7121	316613.8978
DP-2	401512.4255	316622.7687
DP-3	401526.9241	316634.6447
DP-4	401555.8521	316632.3290
DP-5	401604.3210	316628.4202
DP-6	401650.4833	316667.8465
DP-7	401662.0862	316812.1308
DP-8	401714.7878	316851.0167
DP-9	401676.9266	316854.0761
DP-10	401650.1772	316865.5092
DP-11	401624.2282	316877.7933
DP-12	401575.8242	316886.9336
DP-13	401529.5758	316842.2669
DP-14	401516.4161	316678.6285
DP-15	401663.6426	316831.4850

RADIUS CONTROL POINTS

POINT #	RADIUS	NORTHING	EASTING
RP-1	5'-0" R	401525.8820	316621.6865
RP-2	43'-0" R	401559.2785	316675.1818
RP-3	43'-0" R	401607.6216	316671.2934
RP-4	43'-0" R	401620.7811	316834.9318
RP-5	43'-0" R	401704.9729	316808.6713
RP-6	43'-0" R	401680.3735	316896.9376
RP-7	43'-0" R	401572.4375	316838.8222

FENCE CONTROL POINTS

POINT #	NORTHING	EASTING
FP-1	401491.2747	316618.6175
FP-2	401582.7293	316611.2628
FP-3	401664.2160	316604.7097
FP-4	401693.9630	316629.4882
FP-5	401700.2559	316707.7350
FP-6	401708.0912	316805.1706
FP-7	401696.4638	316806.1057
FP-8	401703.4845	316893.4070
FP-9	401621.4163	316900.0269
FP-10	401620.4543	316888.0455
FP-11	401513.6340	316896.6366
FP-12	401489.9593	316898.5405
FP-13	401492.1636	316925.9513
FP-14	401479.2024	316926.9936
FP-15	401583.4373	316620.0666
FP-16	401603.3732	316618.4639
FP-17	401613.3721	316618.6062
FP-18	401623.1664	316620.6242
FP-19	401632.4073	316624.4460
FP-20	401640.7658	316629.9356
FP-21	401647.9444	316636.8975
FP-22	401653.6875	316645.0838
FP-23	401657.7907	316654.2833
FP-24	401660.1078	316663.9311
FP-25	401663.9570	316710.6541
FP-26	401352.3652	316937.1938
FP-27	401351.3632	316924.7340
FP-28	401281.5526	316923.6600
FP-29	401260.3435	316659.9286
FP-30	401280.2544	316636.4236
FP-31	401428.5444	316624.4982

- ### NOTES:
- BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY FRANLINGER ENGINEERING, PA, BRIDGETON, NJ, ON BEHALF OF PSE&G SURVEYS & MAPPING, DATED 1/16/2023.
 - ELEVATIONS ARE BASED ON VERTICAL DATUM NAD83.
 - ALL EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE SITE GEOTECHNICAL REPORT AS PREPARED BY GZA GEOTECHNICAL, INC DATED 4/11/2023.
 - CONTRACTOR SHALL ESTABLISH NEW BENCHMARKS FOR HORIZONTAL AND VERTICAL CONTROL NECESSARY FOR CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF CONSTRUCTION. SHOULD THE FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND RECEIVE WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH WORK.
 - ALL DIMENSIONS ARE IN FEET (FT) UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAYOUT AND ELEVATION CONTROL FOR THE PROJECT.
 - THE CONTRACTOR SHALL REPAIR ANY CURB, SIDEWALK, OR LANDSCAPING DAMAGED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL RESTORE ANY DAMAGES INCURRED TO SURROUNDING PUBLIC OR PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION.
 - ANY STRIPING OR SIGNAGE ALTERED OR DAMAGED DURING CONSTRUCTION WILL BE RETURNED TO THE ORIGINAL CONDITION PER CITY OF CAMDEN STANDARD REQUIREMENTS.
 - REINFORCED CONCRETE SHALL EXTEND A MINIMUM OF 3 FEET OR TO THE PROPERTY LINE BEYOND THE PERIMETER SECURITY FENCE.
 - EASEMENT FOR STORMWATER FACILITY INSPECTION/MAINTENANCE PER CITY ORDINANCE 070-229.C.3.E THE CITY OF CAMDEN SHALL HAVE RIGHT OF ACCESS AT ALL REASONABLE TIMES TO THE VEGETATED BIORETENTION BASIN AREA IN THE NORTHWEST CORNER OF THE BREAKER STATION PROPERTY SHOWN ON THIS DRAWING. SUCH ACCESS SHALL BE REQUESTED AT LEAST THREE (3) DAYS IN ADVANCE OF THE ACCESS DATE AND ALL CITY REPRESENTATIVES MUST BE ESCORTED BY PSE&G PERSONNEL.
 - SOME STORMWATER FEATURES ARE NOT SHOWN ON THIS DRAWING FOR CLARITY.
 - MILL AND RE-PAVE SPRUCE STREET FROM THE INTERSECTION WITH LOCUST STREET TO THE EASTERN PROPERTY LINE. SEE DWG#799483 FOR DETAILS.

GATE CONTROL POINTS

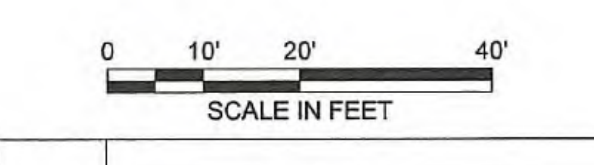
POINT #	NORTHING	EASTING
GP-1	401501.7409	316617.7758
GP-2	401522.1749	316616.1325
GP-3	401695.0652	316643.1939
GP-4	401696.3819	316659.5678
GP-5	401699.2493	316840.7438
GP-6	401700.8926	316861.1778
GP-7	401701.9347	316874.1359
GP-8	401512.5443	316883.1013
GP-9	401510.9407	316863.1628
GP-10	401662.9367	316697.7668
GP-11	401456.8938	316649.5568
GP-12	401271.9000	316803.6310
GP-13	401273.5433	316824.0650
GP-14	401417.0814	316625.4201
GP-15	401372.2263	316629.0273
GP-22	401485.3916	316619.3559
GP-8	401493.0850	316641.1281
GP-9	401661.3114	316677.7608
GP-16	401263.6589	316655.9580
GP-17	401264.3048	316709.1861
GP-18	401267.5416	316751.0813
GP-19	401277.4511	316872.6580
GP-20	401280.8178	316914.5228
GP-21	401461.5212	316621.8461

- ### REFERENCE DRAWINGS
- REMOVAL PLAN DWG#799476
 - GRADING AND DRAINAGE PLAN DWG#799477
 - UTILITY PLAN DWG#799478
 - STORM DRAIN & BASIN PROFILES DWG#799479
 - SOIL EROSION & SEDIMENT CONTROL PLAN DWG#799480
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 - CIVIL DETAILS - SHEET 3 OF 5 DWG#799485
 - CIVIL DETAILS - SHEET 4 OF 5 DWG#799486
 - CIVIL DETAILS - SHEET 5 OF 5 DWG#799487

LEGEND:

	PROPERTY LINE		MACADAM DRIVE PATH
	RIGHT-OF-WAY		ASPHALT
	CONTROL POINT		REINFORCED CONCRETE
	8'-8" SECURITY FENCE		SUBSTATION CRUSHED STONE
	8'-8" SECURITY FENCE, INSULATED FOOTINGS		VEGETATION
	8'-8" SECURITY FENCE, ISOLATION PANEL		3' WIDE TRENCHWAY DRIVEWAY CONCRETE APRON DETAIL
	8' CHAIN-LINK FENCE, ISOLATION FOOTINGS		3' WIDE CABLE TRENCH
	8' CHAIN-LINK FENCE, ISOLATION PANEL		FOUNDATION
	SETBACKS		
	FEMA FLOOD ZONE LIMITS		

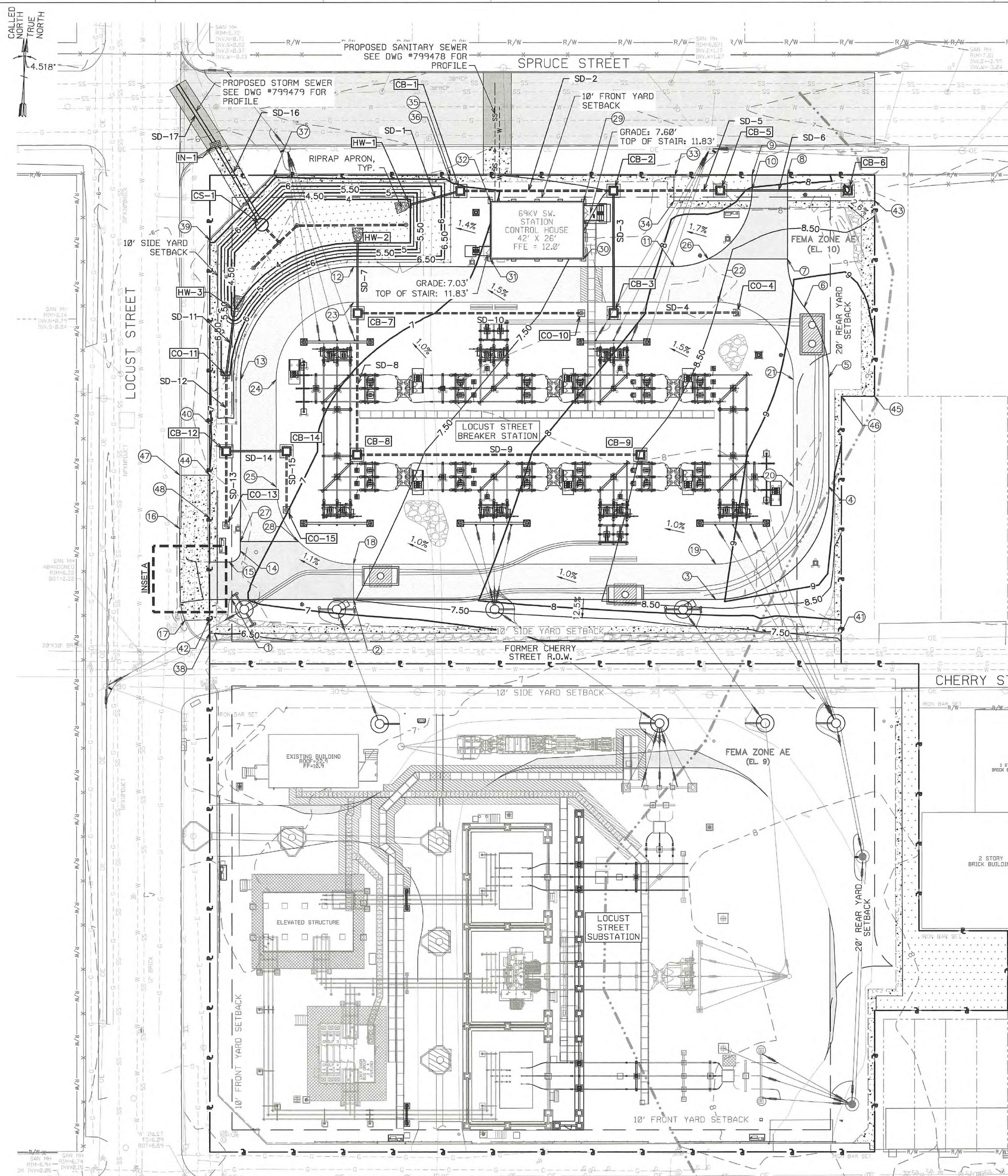
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REV	DATE	DESCRIPTION
A	10-18-24	ISSUED FOR PERMITTING

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING.
 THIS DRAWING SUPERSEDES NONE
 CHRISTOPHER WILSON
 N.J. PROFESSIONAL ENGINEER
 LIC. NO. 246E05369800
 C.O.A. NO. 246A2066400

NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION 69/13KV BREAKER STATION & 69/13KV SUBSTATION CIVIL SITE PLAN						
YARD			CIVIL			
PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.						
DRAWN A. GALLAGHER		CHECKED C. WILSON		SCALE 1"=20'-0"		
DATE 10/26/23		EXAMINED		APPROVED		
WBS C.92302.1.B.1.1.2.1		APPROVED				
708745 A			-0R			

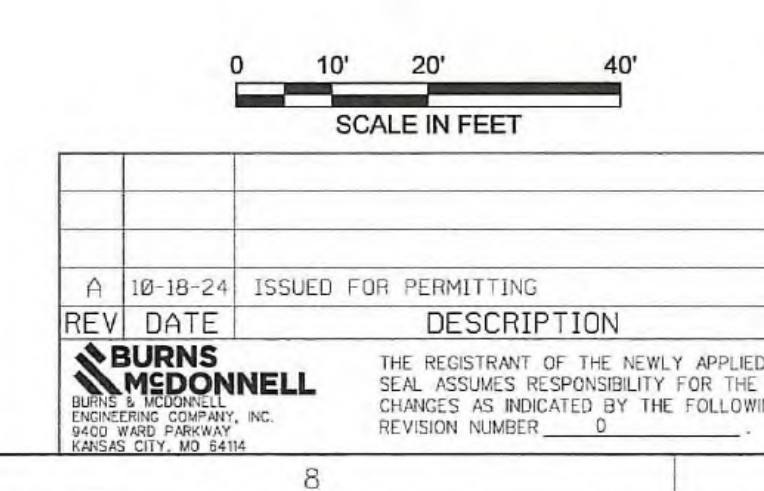
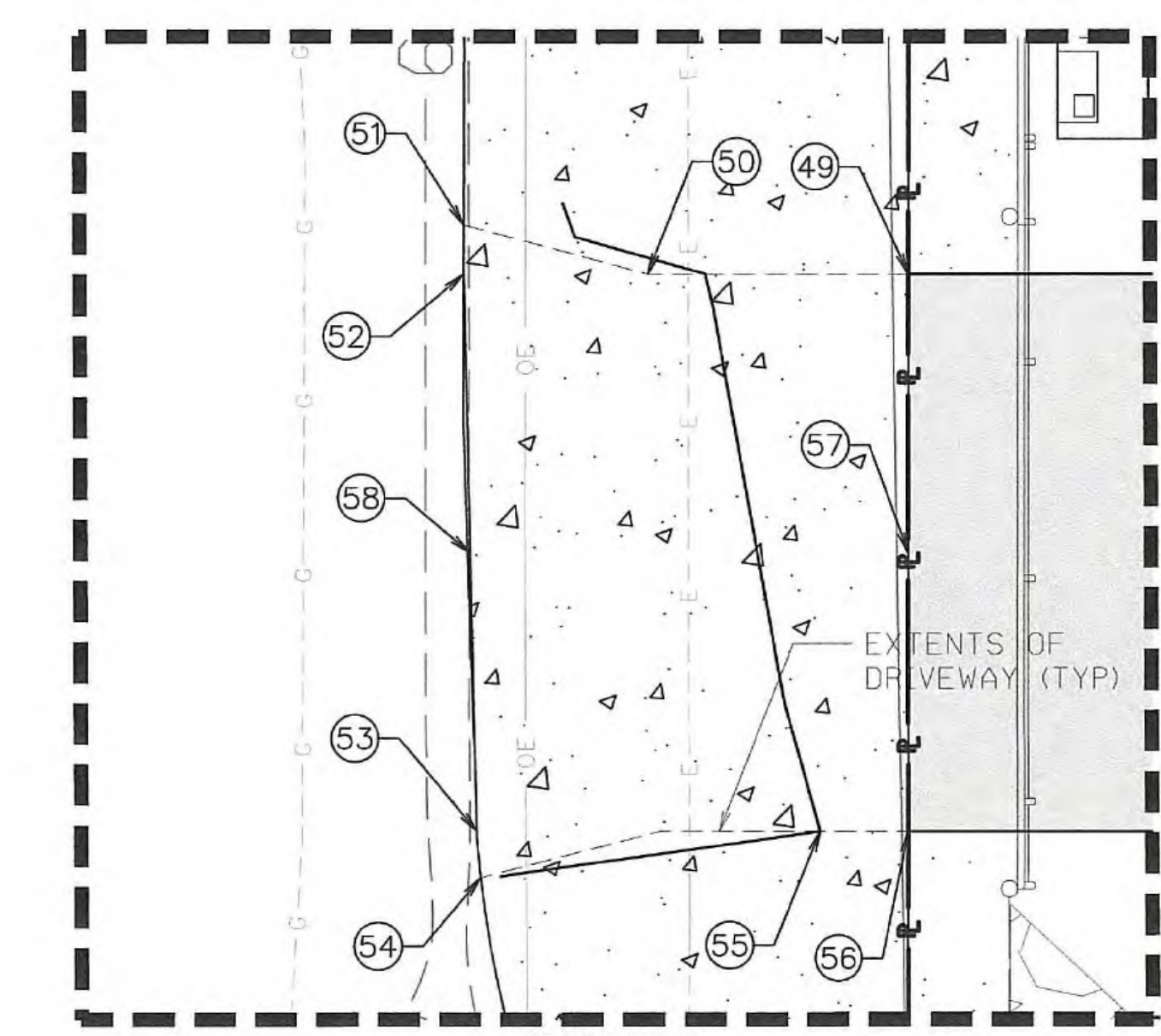


GRADING CONTROL POINTS				
POINT #	ELEVATION	NORTHING	EASTING	DESCRIPTION
1	6.83	401504.04	316624.55	EDGE OF DRIVE
2	7.49	401508.44	316679.27	EDGE OF DRIVE
3	8.96	401521.54	316842.16	EDGE OF DRIVE
4	9.27	401576.47	316888.91	EDGE OF DRIVE
5	9.20	401625.74	316884.95	EDGE OF DRIVE
6	9.09	401656.47	316871.37	EDGE OF DRIVE
7	8.77	401677.57	316862.05	EDGE OF DRIVE
8	7.73	401715.43	316859.01	EDGE OF DRIVE
9	7.64	401714.15	316843.06	EDGE OF DRIVE
10	8.07	401707.54	316843.59	EDGE OF DRIVE
11	8.12	401670.06	316811.49	EDGE OF DRIVE
12	6.77	401658.46	316667.21	EDGE OF DRIVE
13	6.76	401603.53	316620.46	EDGE OF DRIVE
14	6.87	401526.28	316626.67	EDGE OF DRIVE
15	6.84	401520.90	316622.09	EDGE OF DRIVE
16	6.21	401534.24	316598.52	EDGE OF DRIVE
17	6.07	401492.92	316604.28	EDGE OF DRIVE
18	7.41	401524.39	316677.99	EDGE OF DRIVE
19	8.94	401537.49	316840.88	EDGE OF DRIVE
20	9.20	401575.18	316872.96	EDGE OF DRIVE
21	9.07	401623.53	316869.07	EDGE OF DRIVE
22	8.50	401655.67	316832.13	EDGE OF DRIVE
23	6.85	401642.51	316668.49	EDGE OF DRIVE
24	6.84	401604.82	316636.41	EDGE OF DRIVE
25	6.89	401556.47	316640.29	EDGE OF DRIVE
26	8.34	401674.71	316826.31	EDGE OF DRIVE
27	6.85	401530.52	316626.33	EDGE OF DRIVE
28	7.12	401532.62	316652.50	EDGE OF DRIVE
29	7.42	401696.18	316768.26	BLDG CORNER
30	7.57	401670.26	316770.34	BLDG CORNER
31	7.08	401666.90	316728.48	BLDG CORNER
32	6.97	401692.81	316726.39	BLDG CORNER
33	7.93	401711.19	316808.43	EDGE OF CONCRETE
34	7.88	401699.69	316808.86	EDGE OF CONCRETE
35	6.07	401703.25	316707.49	EDGE OF CONCRETE
36	7.03	401700.26	316707.74	EDGE OF CONCRETE
37	6.07	401696.85	316627.94	EDGE OF CONCRETE
38	6.60	401488.04	316615.87	EDGE OF CONCRETE
39	6.07	401665.26	316601.55	EDGE OF CONCRETE
40	6.07	401582.48	316608.21	EDGE OF CONCRETE
41	7.69	401510.88	316899.87	EDGE OF CONCRETE
42	8.51	401494.11	316615.26	EDGE OF CONCRETE
43	6.17	401706.96	316899.15	EDGE OF CONCRETE
44	6.99	401559.42	316610.06	EDGE OF CONCRETE
45	9.20	401618.91	316906.23	EDGE OF CONCRETE
46	9.25	401617.71	316891.28	EDGE OF CONCRETE
47	6.07	401558.33	316596.58	SPOT GRADE
48	6.96	401540.02	316611.62	SPOT GRADE
49	6.80	401520.18	316613.22	EDGE OF DRIVE
50	6.41	401519.55	316605.32	EDGE OF DRIVE
51	6.15	401520.60	316599.61	EDGE OF DRIVE
52	6.14	401519.10	316599.73	EDGE OF DRIVE
53	6.07	401502.19	316601.49	EDGE OF DRIVE
54	6.35	401500.79	316601.72	EDGE OF DRIVE
55	6.50	401503.02	316611.91	EDGE OF DRIVE
56	6.61	401503.24	316614.58	EDGE OF DRIVE
57	6.70	401511.71	316613.90	CENTER OF DRIVE
58	6.16	401510.64	316600.61	CENTER OF DRIVE

- NOTES:**
- BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY FRANLINGER ENGINEERING, PA, BRIDGETON, NJ, ON BEHALF OF PSE&G SURVEYS & MAPPING, DATED 1/16/2023.
 - ELEVATIONS ARE BASED ON VERTICAL DATUM NAD83.
 - ALL EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE SITE GEOTECHNICAL REPORT AS PREPARED BY GZA GEOTECHNICAL, INC DATED 08/25/2023.
 - ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND PSE&G GENERAL SPECIFICATIONS.
 - NO. 16-CIVIL 04-PAVING (DEC. 2021)
 - NO. 21-CIVIL 05-EXCAVATION AND TRENCHING (OCT. 2021)
 - NO. 19-CIVIL 18-CIVIL/STRUCTURAL/ENVIRONMENTAL DESIGN AND CONSTRUCTION STANDARDS (JUL. 2019)
 - NO. 21-CIVIL 20-STANDARD PERIMETER FENCING AND MISCELLANEOUS SITE PROTECTIVE BARRIERS (APR. 2021)
 - ELEVATIONS SHOWN IN THE DRAWING ARE TO FINISHED GRADE/TOP OF PAVEMENT ELEVATION.
 - CONTRACTOR TO NOTIFY NEW JERSEY ONE CALL AT 1-800-272-1000 A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION ACTIVITIES.
 - CONTRACTOR SHALL CONFINE GRADING AND CONSTRUCTION ACTIVITIES TO WITHIN THE DISTURBANCE LIMITS SHOWN ON THIS PLAN.
 - ALL NON-DISTURBED AREAS ON SITE SHALL BE DEMARCATED BY SNOW FENCE DURING CONSTRUCTION AND THE SNOW FENCE SHALL BE INSTALLED ON SITE PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - THE SITE SHALL BE GRADED SO THAT IT DOES NOT IMPED THE EXISTING SURFACE FLOW OF WATER.
 - PROVIDE UNIFORM SLOPE BETWEEN INDICATED ELEVATIONS SO THAT ALL AREAS SLOPE TO DRAIN AND NO STORMWATER IS ALLOWED TO POND ON SITE BOTH DURING AND AFTER CONSTRUCTION.
 - COORDINATES FOR STORM STRUCTURES IS AT CENTER OF STRUCTURE. COORDINATES FOR STORM SEWER PIPE IS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. SEE DWG #799478 FOR STORM SEWER COORDINATES.
 - ROADWAY REPLACEMENT ELEVATIONS SHALL MATCH EXISTING ELEVATIONS UNLESS OTHERWISE NOTED.
 - DETAILS ON SHEETS #799483 THROUGH #799486 AND #799526.
 - SEE SHEET #799479 FOR PROPOSED STORM SEWER STRUCTURES AND PIPE RIM, INVERT, MATERIAL, SIZES AND SLOPES.
 - PORTIONS OF NEW FENCE ARE TO BE ELECTRICALLY ISOLATED. REFER TO ELECTRICAL DRAWINGS #336347 AND #798352 FOR LOCATIONS AND DETAILS OF ISOLATION.
 - ALL SITE WORK CONSTRUCTION AND DETAILS MUST CONFORM TO THE STANDARDS OF THE CITY OF CAMDEN.
 - PER SECTION 878-229.C.3.D, ALL NEW MANHOLES AND CATCH BASIN INLETS SHALL HAVE AN EXTERIOR COATING OF CARBOLINE COAL TAR EPOXY 300M OR EQUAL, TWO COATS. EACH MANHOLE BASE AND INLET BOX SHALL BE PROVIDED WITH CIRCULAR OPENINGS AT THE REQUIRED LOCATIONS AND ELEVATIONS FOR THE PROPER CONNECTION OF ALL PIPES. THE FLEXIBLE CONNECTIONS SHALL BE A-LOK FLEXIBLE CONNECTOR BY A-LOK PRODUCTS, OR APPROVED EQUAL.
 - PER SECTION 878-229.C.3.E, EACH INLET BOX SHALL BE PROVIDED WITH CIRCULAR OPENINGS AT THE REQUIRED LOCATIONS AND ELEVATIONS FOR THE PROPER CONNECTION OF ALL PIPES. THE CIRCULAR CONNECTIONS SHALL BE SEALED WITH A FLEXIBLE SEAL ASSEMBLY SUCH AS G3-FLEXIBLE CONNECTOR BY A-LOK PRODUCTS, INC OR APPROVED EQUAL.
 - a. TO THE EXTENT PERMITTED BY LAW, THE CITY WILL AT ALL REASONABLE TIMES HAVE A RIGHT OF INGRESS AND EGRESS OVER THE EASEMENT AREA AND RIGHT TO ENTER THE EASEMENT AREA VIA ANY ROAD OR PARKING LOT LOCATED WITHIN ANY COMMON AREA OWNED BY THE GRANTEE TO INSPECT THE SYSTEM LOCATED IN THE EASEMENT AREA.
 - b. EXCEPT IN THE CASE OF AN EMERGENCY, THE CITY WILL PROVIDE NOT LESS THAN SEVEN (7) DAYS PRIOR NOTICE TO THE PERFORMING ANY INSPECTION OR MONITOR OF THE SYSTEM IN ACCORDANCE WITH APPROVED PLAN. THE APPLICANT AGREES THAT THE FAILURE TO TIMELY OBJECT AFTER RECEIVING NOTICE FROM THE CITY CONSTITUTES CONSENT TO INSPECTION OF THE PROPERTY WITHIN THE TIMEFRAME SPECIFIED IN THE NOTICE.
 - c. IF, AFTER REASONABLE NOTICE BY THE CITY, THE APPLICANT FAILS TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH THE APPROVED MANUAL AND THE MAINTENANCE PLAN, THE CITY MAY PERFORM ANY MAINTENANCE NEEDED TO CORRECT A CONDITION THAT IMPACTS THE EFFECTIVENESS OF ROUTINE MAINTENANCE AND OPERATIONS OF THE SYSTEM AND COLLECT ANY COSTS INCURRED AS A RESULT FROM EACH OWNER OF THE SYSTEM AND IN THE SAME MANNER AS REAL PROPERTY TAXES ARE COLLECTED. IN ADDITION, THE CITY MAY SEEK REIMBURSEMENT UNDER ANY METHOD LEGALLY AVAILABLE TO COLLECT DEBTS OWED.
 - d. THE APPLICANT AGREES TO INDEMNIFY AND SAVE THE CITY HARMLESS FROM ANY AND ALL CLAIMS FOR DIRECT DAMAGES TO PERSONS OR PROPERTY ARISING FROM INSPECTIONS PERFORMED BY THE CITY.
 - ALL ELECTRICAL MANHOLES, CATCH BASINS, AND PIPE CLEANOUTS SHALL HAVE A CONCRETE APRON INSTALLED AROUND THEIR RIMS PER DETAILS ON DWG #799484.

REFERENCE DRAWINGS

- | | |
|---|------------|
| 1. REMOVAL PLAN | DWG#799476 |
| 2. SITE PLAN | DWG#788745 |
| 3. UTILITY PLAN | DWG#799478 |
| 4. STORM DRAIN & BASIN PROFILES | DWG#799479 |
| 5. SOIL EROSION & SEDIMENT CONTROL PLAN | DWG#799480 |
| 6. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2 | DWG#799481 |
| 7. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2 | DWG#799482 |
| 8. CIVIL DETAILS - SHEET 1 OF 5 | DWG#799483 |
| 9. CIVIL DETAILS - SHEET 2 OF 5 | DWG#799484 |
| 10. CIVIL DETAILS - SHEET 3 OF 5 | DWG#799485 |
| 11. CIVIL DETAILS - SHEET 4 OF 5 | DWG#799486 |
| 12. CIVIL DETAILS - SHEET 5 OF 5 | DWG#799526 |



- LEGEND:**
- | | | | |
|-------|--|---|---|
| —●— | PROPERTY LINE | ▨ | MACADAM DRIVE PATH |
| —R/W— | RIGHT-OF-WAY | ▨ | ASPHALT |
| - - - | 8'-8" SECURITY FENCE | ▨ | CONCRETE |
| - - - | 8'-8" SECURITY FENCE, INSULATED FOOTINGS | ▨ | SUBSTANTION CRUSHED STONE |
| - - - | 8'-8" SECURITY FENCE, ISOLATION PANEL | ▨ | VEGETATION |
| - - - | 8' CHAIN-LINK FENCE, INSULATED FOOTINGS | ▨ | 3' WIDE SYNERTCH DRIVEWAY CONCRETE APRON DETAIL |
| - - - | 8' CHAIN-LINK FENCE, ISOLATION PANEL | ▨ | 3' WIDE CABLE TRENCH |
| - - - | SETBACKS | ▨ | STORMWATER INLET, SEE NOTE 14 |
| - - - | FEMA FLOOD ZONE LIMITS | ▨ | NJDOT HEADWALL, SEE NOTE 14 |
| - - - | EXISTING CONTOURS | ▨ | CATCH BASIN, SEE NOTE 14 & 19 |
| —5.5— | PROPOSED CONTOURS | ▨ | CLEANOUT, SEE NOTE 14 & 19 |
| —SS— | PROPOSED SANITARY SEWER | ▨ | GRADING POINT |
| —W— | PROPOSED WATER SERVICE | ▨ | PERFORATED STORM SEWER |
| — | SOLID WALL STORM SEWER | | |

- ABBREVIATIONS:**
- | | |
|----|--------------------|
| SD | =STORM SEWER PIPE |
| CB | =CATCH BASIN |
| CO | =CLEAN OUT |
| HW | =HEADWALL |
| IN | =INLET |
| MH | =MANHOLE |
| CS | =CONTROL STRUCTURE |

WARNING: STATION CONTAINS KNOWN UNDERGROUND UTILITIES THAT EXIST WITHIN THE WORK AREA AND MAY ONLY BE SHOWN ON OTHER DISCIPLINE OR DIVISION DRAWINGS. ADDITIONAL UNKNOWN UTILITIES MAY ALSO BE PRESENT. CONTRACTOR TO FOLLOW PSE&G'S EXCAVATION PROCEDURE FOR ALL UNDERGROUND WORK.

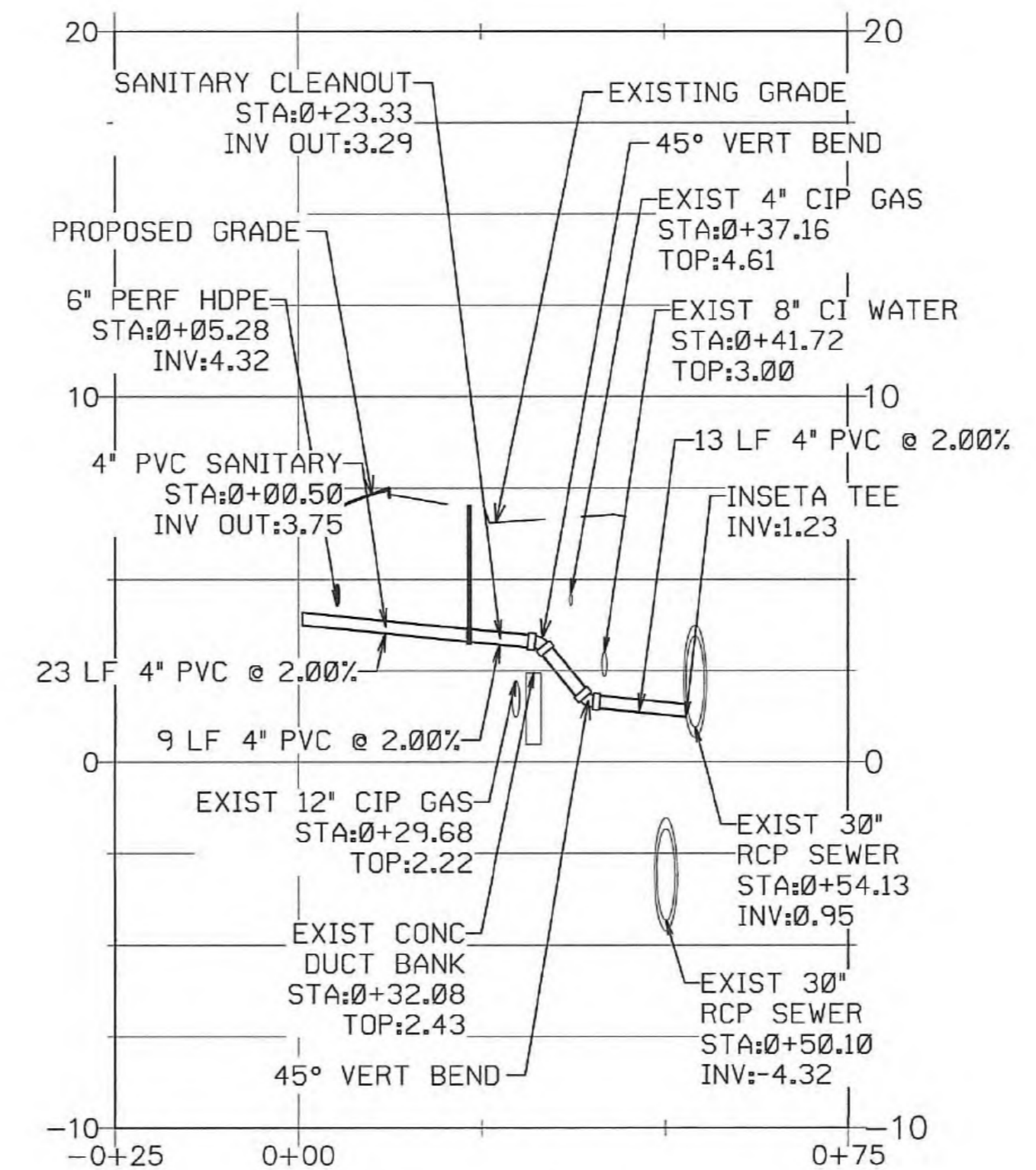
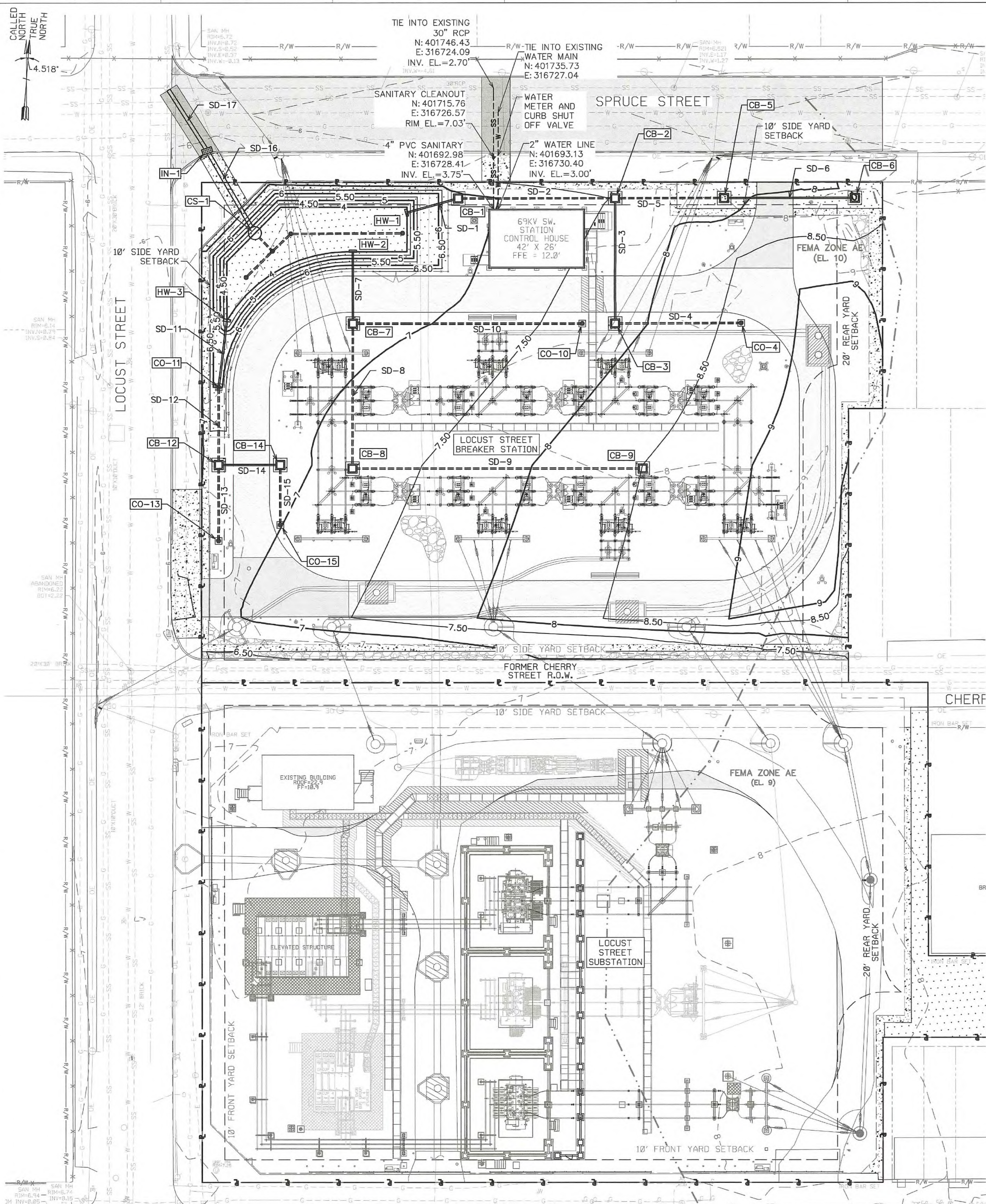
FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING

THIS DRAWING SUPERSEDES: NONE

CHRISTOPHER D. WILSON

N.J. PROFESSIONAL ENGINEER
LIC. NO. 2460539000
C.D.A. NO. 246A28066400

NO.	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION 69/13KV BREAKER STATION & 69/13KV SUBSTATION GRADING & DRAINAGE PLAN						
YARD CIVIL						
PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.						
DRAWN: G. GALLAGHER, CHECKED: C. WILSON, SCALE: 1"=20'-0"						
DATE: 10/06/23, EXAMINED: _____						
WBS: C.923821.B.1.1.2.1, APPROVED: _____						
799477 A -OR						



UTILITY COMPANIES:

GAS: PUBLIC SERVICE ELECTRIC & GAS - GAS DIVISION, AUDOBON-BURLINGTON-TRENTON
 ADDRESS: 3000 CONNECTICUT DRIVE, BURLINGTON TOWNSHIP, NJ 08016
 CONTACT INFO: DENNIS GUNN, DISTRIBUTION SUPERVISOR PLANNING DENNIS.GUNN@PSEG.COM

ELECTRIC: PUBLIC SERVICE ELECTRIC & GAS - ELECTRIC DIVISION, SOUTHERN HEADQUARTERS MOORESTOWN
 ADDRESS: 300 NEW ALBANY ROAD, MOORESTOWN, NJ 08057
 CONTACT INFO: ERIC DEGRAVE, DISTRIBUTION MANAGER ELECTRIC MAINTENANCE ERIC.DEGRAVE@PSEG.COM

WATER: AMERICAN WATER ENTERPRISES CONTRACT SERVICES GROUP
 ADDRESS: 100 SOUTH 17TH ST, CAMDEN, NJ 08105
 CONTACT INFO: LARRY MARKEL, WATER DISTRIBUTION OPERATIONS SUPERVISOR LAWRENCE.MARKEL@AMWATER.COM

SANITARY AND STORM SEWER: CAMDEN COUNTY MUNICIPAL UTILITY AUTHORITY
 ADDRESS: 520 FERRY AVE, CAMDEN, NJ 08104
 CONTACT INFO: (856) 541-3700

TELECOMMUNICATIONS: VERIZON
 CONTACT INFO: 1-800-837-4966

CITY OF CAMDEN PLANNING & DEVELOPMENT: ENGINEERING
 ADDRESS: 520 MARKET ST, SUITE 325, CAMDEN, NJ 08103
 CONTACT INFO: ORION JOYNER, P.E., MUNICIPAL ENGINEER ORIONJOYNER@CITYOFCAMDEN.NJ.US
 PHONE: 856-757-7600

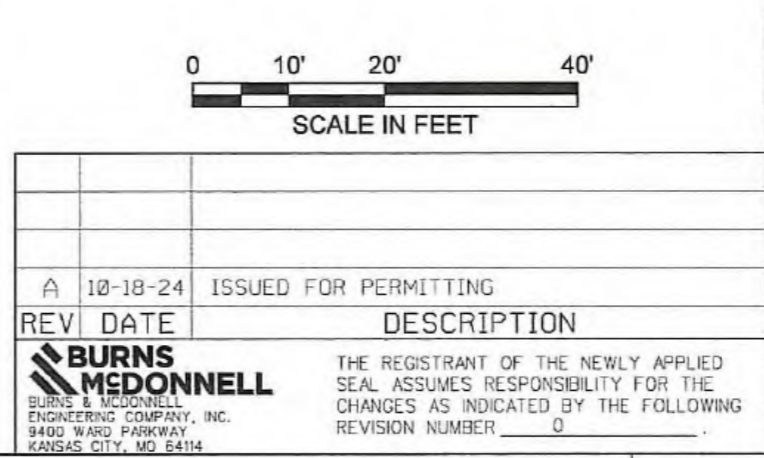
- NOTES:**
- BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY FRANLINGER ENGINEERING, PA, BRIDETON, NJ, ON BEHALF OF PSEG SURVEYS & MAPPING, DATED 1/16/2023.
 - ELEVATIONS ARE BASED ON VERTICAL DATUM NAD83.
 - ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SITE GEOTECHNICAL REPORT AS PREPARED BY GZA GEOTECHNICAL, INC DATED 4/11/2023.
 - CONTRACTOR TO NOTIFY NEW JERSEY ONE CALL AT 1-800-272-1000 A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION ACTIVITIES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION, DEPTH, SIZE, ALIGNMENT, ETC. OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK. IN THE EVENT CONFLICTS ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER.
 - ALL MATERIAL SHALL BE DISPOSED OF AT AN OFFSITE LANDFILL/RECYCLING CENTER IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS.
 - WATER SERVICE SHALL MAINTAIN MINIMUM 42 INCHES OF COVER.
 - INSTALLATION OF PRESSURE PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FOR PIPE JOINT ASSEMBLY AND APPURTENANCE INSTALLATION IN AWWA M23, CHAPTER 7 "INSTALLATION" AND AS INDICATED.
 - PERFORM FIELD TESTING OF PVC PIPE IN ACCORDANCE WITH ASTM F1417 AND AWWA M23.
 - CONTRACTOR SHALL BEAR ALL EXPENSES IN CONNECTION WITH TESTING PIPE AND UTILITIES AND SHALL CORRECT ALL DEFECTS DISCOVERED TO THE SATISFACTION OF THE OWNER OR ENGINEER.
 - TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING UTILITY TIE IN CONSTRUCTION.
 - INVERT LOCATIONS ARE CENTER OF STRUCTURE.
 - PIPE LENGTHS ARE TO CENTER OF STRUCTURE.
 - CURB STOP SHALL BE LOCATED BEHIND THE BACK OF CURB AND AVAILABLE FOR INSPECTION. WATER CONNECTION TO BE CONSTRUCTED PER DETAIL ON DWG#799483.
 - SANITARY CLEANOUT AND LATERAL SHALL BE CONSTRUCTED PER DETAILS ON DWG#799483.
 - TOP OF PIPE ELEVATION AT TIE-IN TO EXISTING WATER MAIN LINE IS UNKNOWN. CONTRACTOR SHALL FIELD-VERIFY THE ELEVATION PRIOR TO CONSTRUCTION.
 - MAINTAIN A MINIMUM 1 FOOT OF VERTICAL OR HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SERVICES.
 - REMOTE-READ WATER METER SHALL BE LOCATED OUTSIDE OF DRIVEWAY AND WITHIN THE STATION PROPERTY LIMITS. THE WATER METER AND BACKFLOW PREVENTER ARE LOCATED WITHIN THE BUILDING. REFERENCE THE CITY OF CAMDEN DOMESTIC WATER LINE AND METER INSTALLATION ON DWG#799484.
 - WATER PIPE 2" DIAMETER AND SMALLER SHALL BE COPPER TUBING AND SHALL COMPLY WITH THE LATEST STANDARD SPECIFICATIONS FOR SEAMLESS COPPER TUBE, ASTM DESIGNATION: 88 SOFT TEMPER, TYPE K.
 - CAMDEN STANDARD CURB GATE VALVE TO BE LOCATED OUTSIDE FENCE LINE FOR CITY INSPECTION. SEE DETAIL ON DWG#799484.
 - SELECT FILL FOR WATER/SEWER TRENCH INSTALLATION SHALL BE DENSE GRADED AGGREGATE 1-5, IN ACCORDANCE WITH THE SPECIFICATION SUBSECTION 901.08 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION AND CONFORM TO THE TABLE IN SECTION 870-229.B.(h) OF THE ORDINANCE.
 - ALL RCP SHALL BE LINED ON THE INTERIOR WITH A COAT TAR EPOXY SEAL COAT WITH A MINIMUM OF FOUR (4) MILS IN THICKNESS (DFT).
 - ALL PIPES SHALL BE MANUFACTURED AND SUPPLIED WITHOUT LIFTING HOLES.
 - ALL PROPOSED UTILITIES THAT SERVICE THE CONTROL HOUSE SHALL BE INSTALLED WITH UNDERGROUND CONNECTIONS.

- REFERENCE DRAWINGS:**
- | | |
|---|------------|
| 1. REMOVAL PLAN | DWG#799476 |
| 2. SITE PLAN | DWG#708745 |
| 3. GRADING AND DRAINAGE PLAN | DWG#799477 |
| 4. STORM DRAIN & BASIN PROFILES | DWG#799479 |
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| 11. CIVIL DETAILS - SHEET 4 OF 5 | DWG#799486 |
| 12. CIVIL DETAILS - SHEET 5 OF 5 | DWG#799526 |

- LEGEND:**
- | | | | |
|--|--|--|----------------------------|
| | PROPERTY LINE | | MACADAM DRIVE PATH |
| | 8'-8" SECURITY FENCE | | ASPHALT |
| | 8'-8" SECURITY FENCE, INSULATED FOOTINGS | | CONCRETE |
| | 8'-8" SECURITY FENCE, ISOLATION PANEL | | SUBSTATION CRUSHED STONE |
| | 8' CHAIN-LINK FENCE, INSULATED FOOTINGS | | VEGETATION |
| | 8' CHAIN-LINK FENCE, ISOLATION PANEL | | 3' WIDE SYNERTECH DRIVEWAY |
| | SETBACKS | | CONCRETE APRON DETAIL |
| | EXISTING CONTOURS | | 3' WIDE CABLE TRENCH |
| | PROPOSED CONTOURS | | STORMWATER INLET |
| | EXISTING SANITARY SEWER | | NJDOT HEADWALL |
| | PROPOSED SANITARY SEWER | | CATCH BASIN |
| | EXISTING WATER MAIN | | CLEANOUT |
| | PROPOSED WATER SERVICE | | PERFORATED STORM SEWER |
| | SOLID WALL STORM SEWER | | |

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WARNING: STATION CONTAINS KNOWN UNDERGROUND UTILITIES THAT EXIST WITHIN THE WORK AREA AND MAY ONLY BE SHOWN ON OTHER DISCIPLINE OR DIVISION DRAWINGS. ADDITIONAL UNKNOWN UTILITIES MAY ALSO BE PRESENT. CONTRACTOR TO FOLLOW PSEG'S EXCAVATION PROCEDURE FOR ALL UNDERGROUND WORK.



FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING.

THIS DRAWING SUPERSEDES NONE

CHRISTOPHER J. WILSON

Christopher J. Wilson

10/23/24

N.J. PROFESSIONAL ENGINEER
 LIC. NO. 246095369800
 C.O.A. NO. 24628066400

NO.	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION						
69/13KV BREAKER STATION & 69/13KV SUBSTATION						
UTILITY PLAN						
YARD			CIVIL			

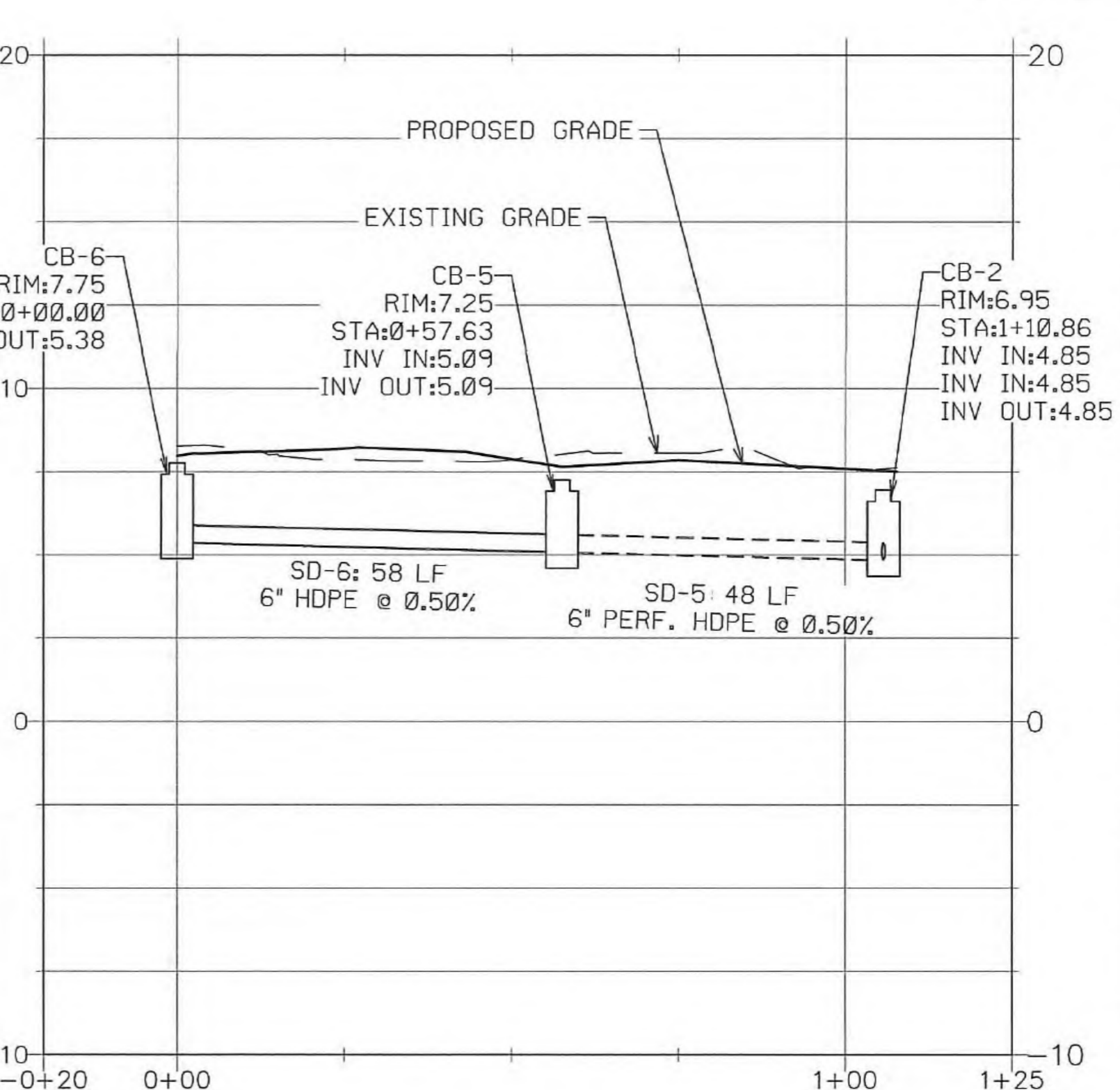
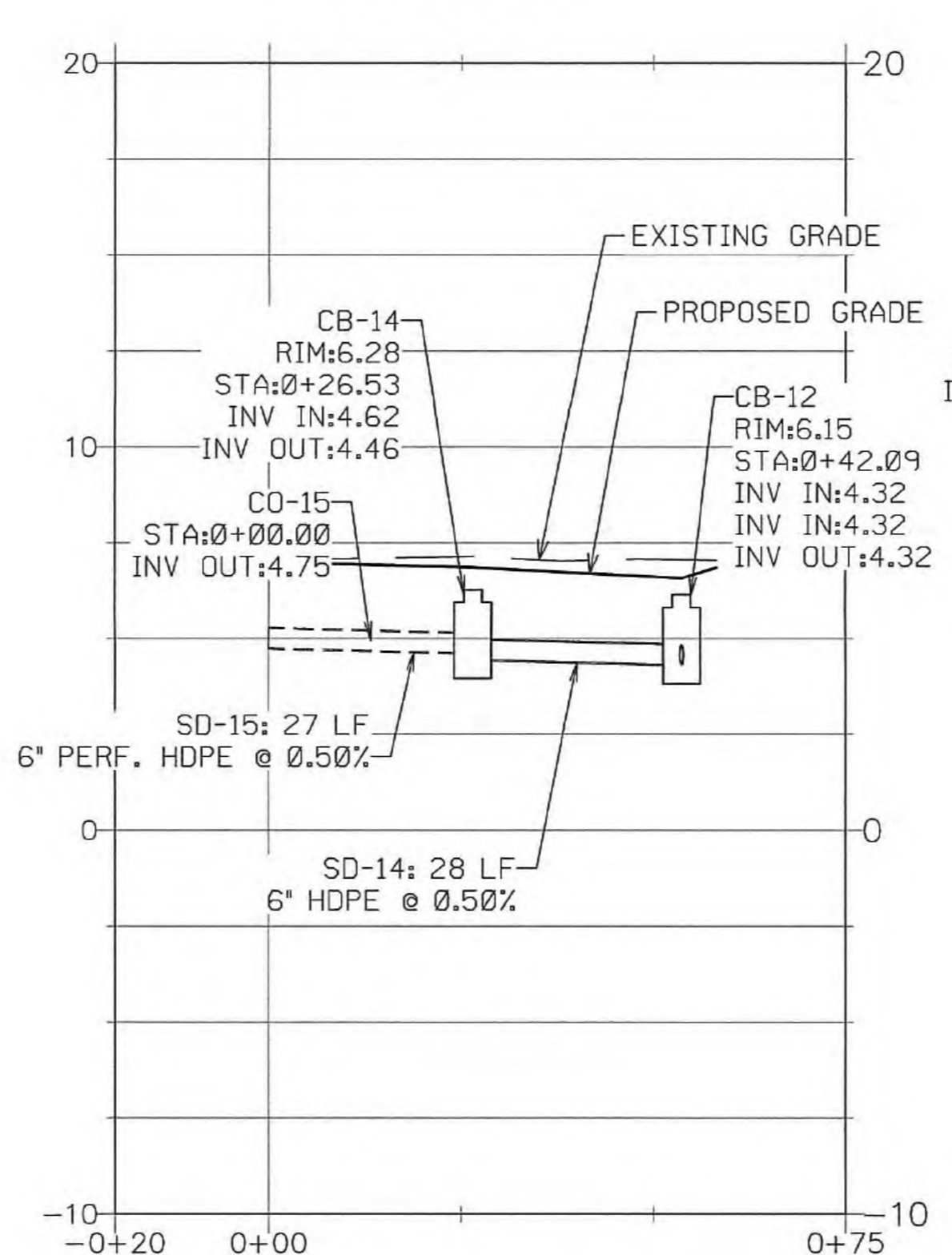
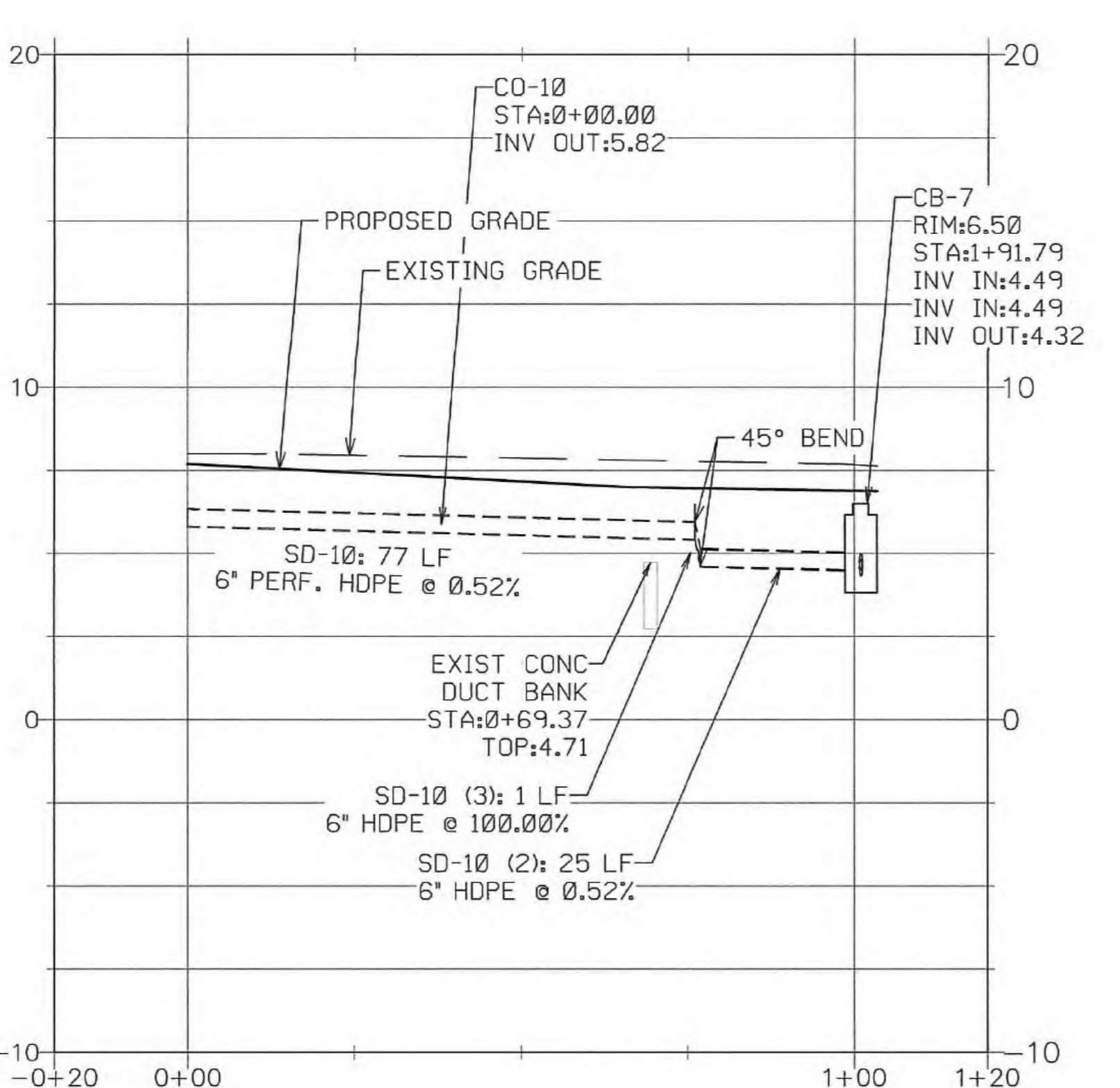
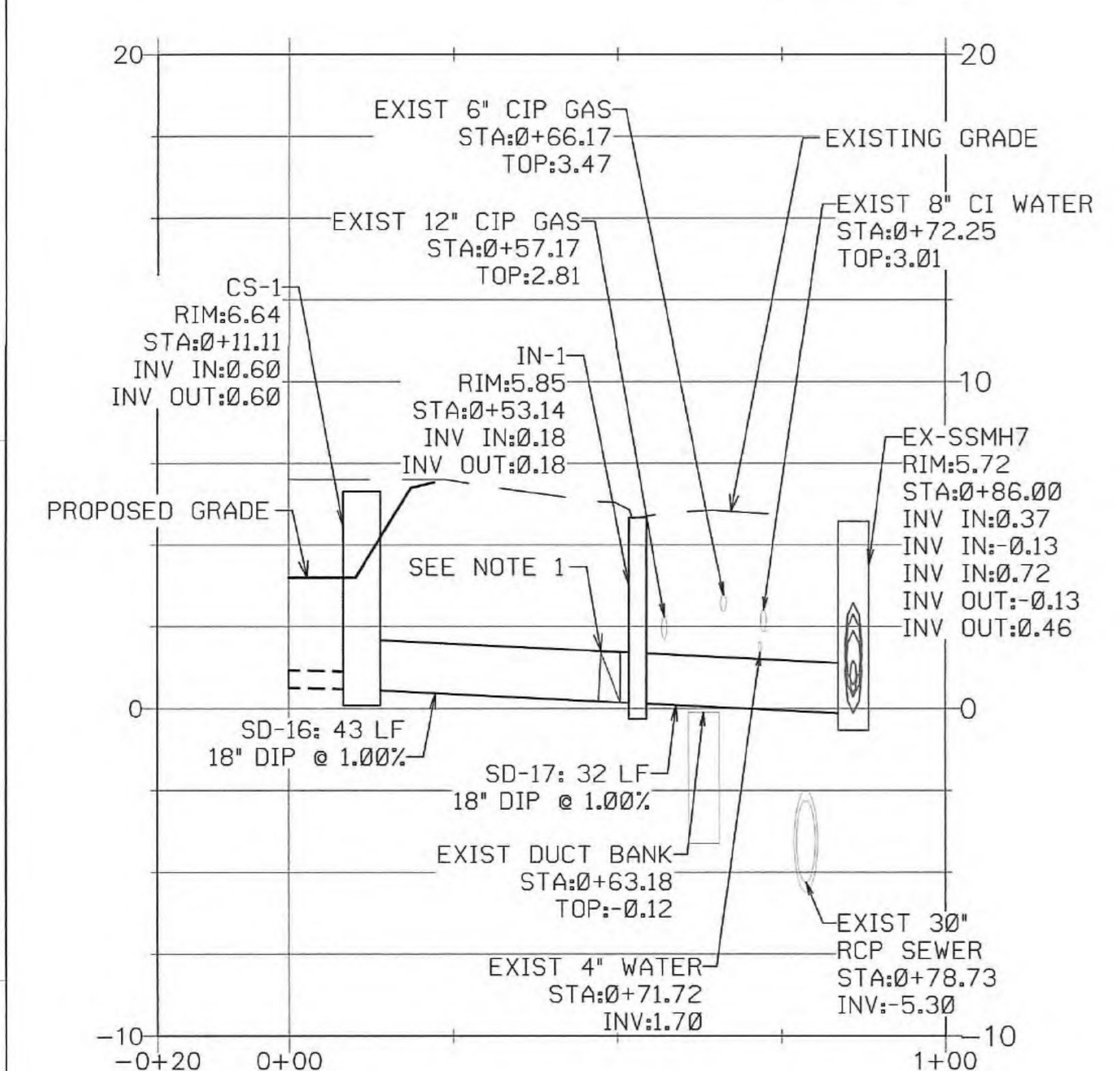
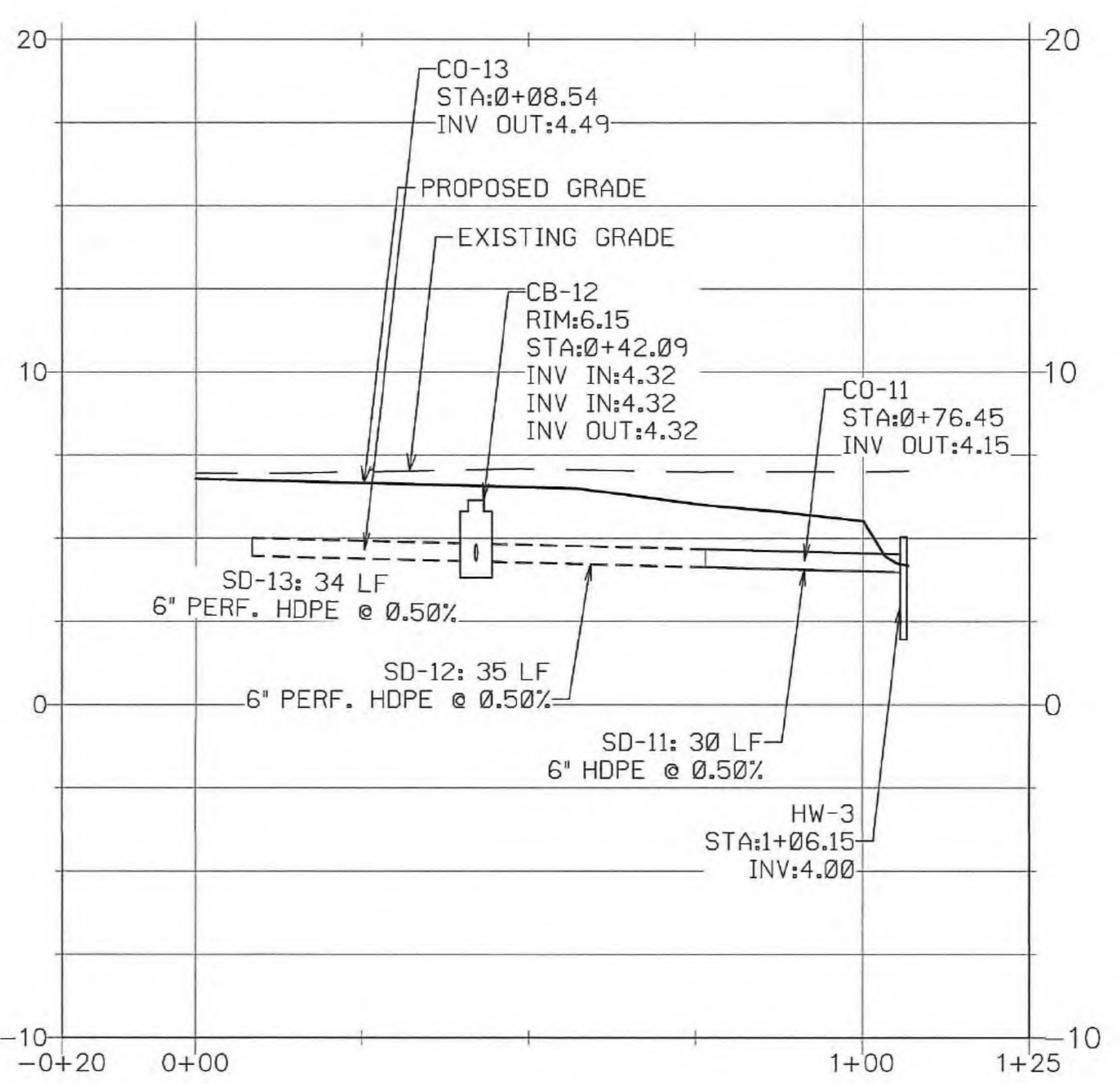
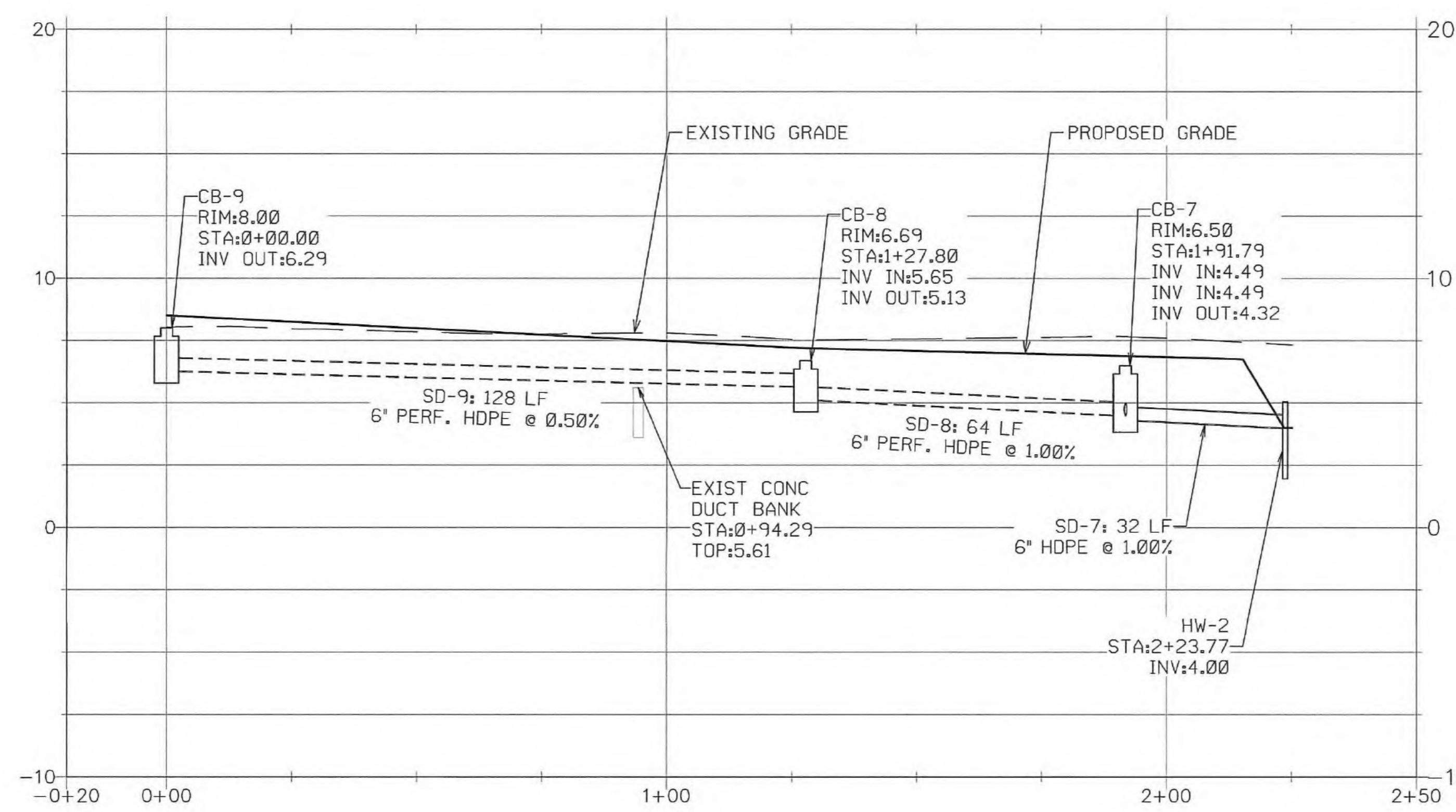
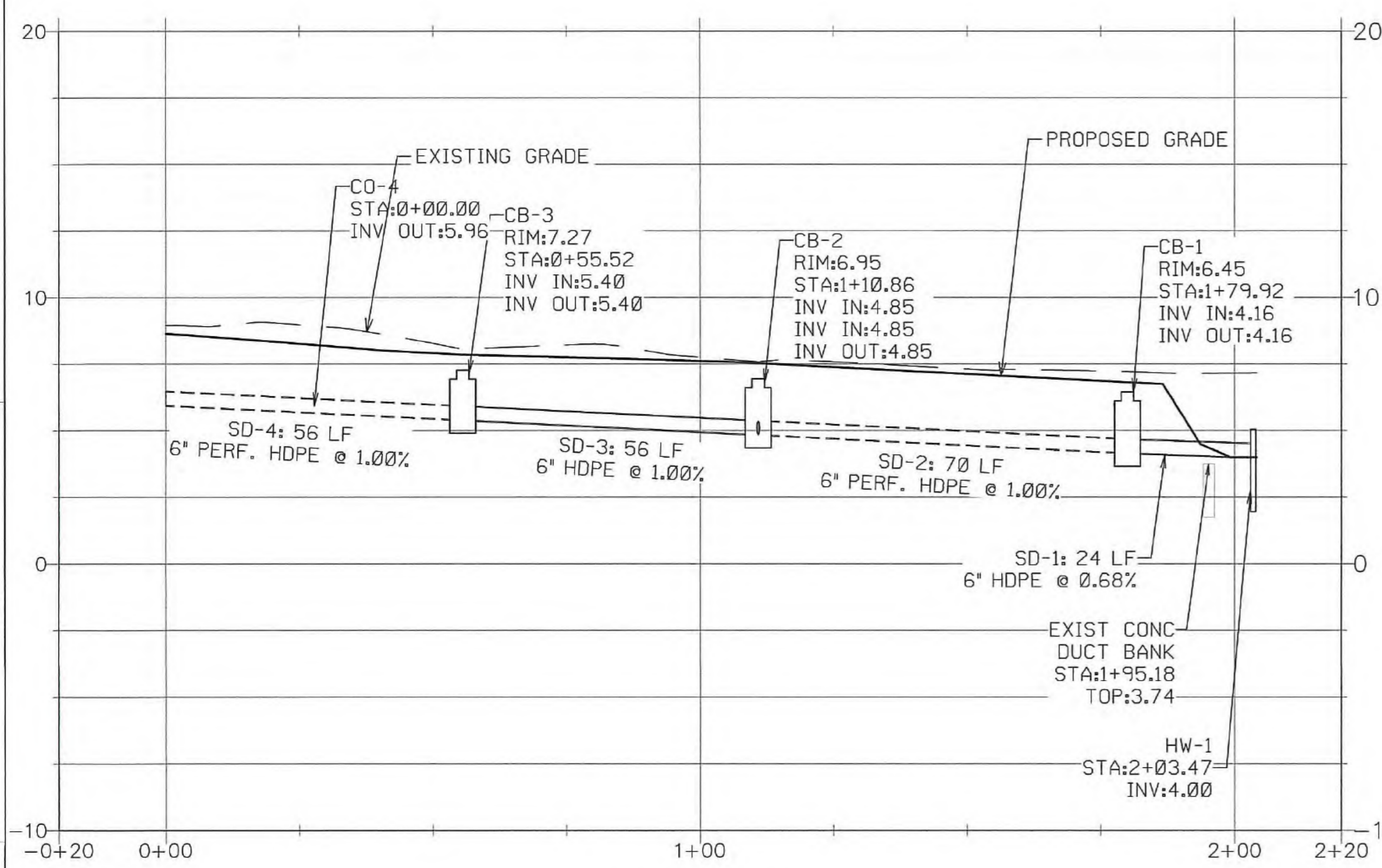
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
 ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN BY GALLAGHER CHECKED BY WILSON SCALE 1"=20'-0"

DATE 10/06/23 EXAMINED

WBS C.92302.1B.1.1.21 APPROVED

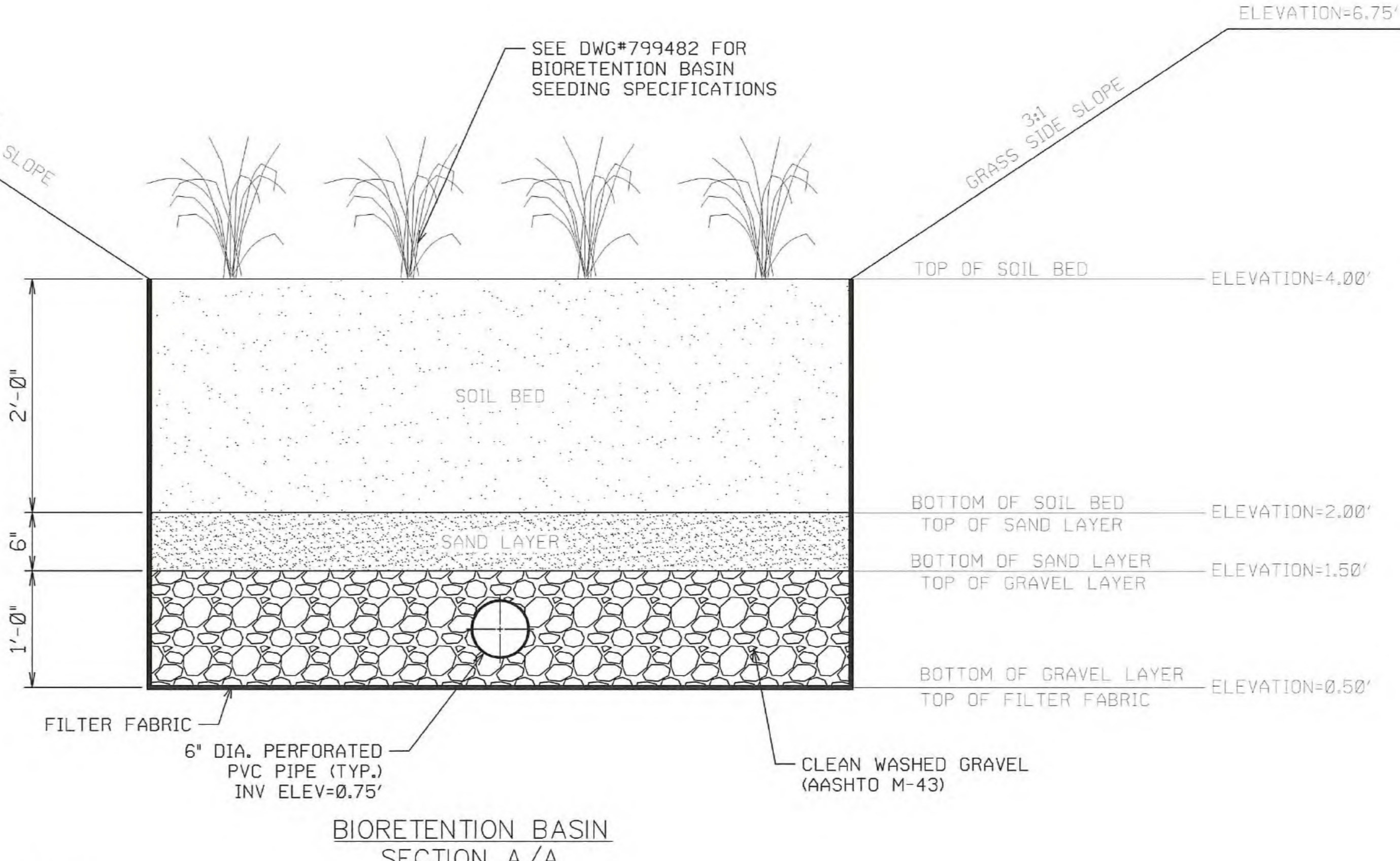
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PIPE	LENGTH (FT)	INVERT	SLOPE	PIPE SIZE	PIPE MATERIAL
SD-1	23.55	UPSTREAM: 4.16 DOWNSTREAM: 4.00	0.68%	6"	PERF. HDPE
SD-2	69.06	UPSTREAM: 4.05 DOWNSTREAM: 4.16	1.00%	6"	PERF. HDPE
SD-3	55.31	UPSTREAM: 5.40 DOWNSTREAM: 4.85	1.00%	6"	HDPE
SD-4	55.52	UPSTREAM: 5.96 DOWNSTREAM: 5.40	1.00%	6"	PERF. HDPE
SD-5	48.11	UPSTREAM: 5.09 DOWNSTREAM: 4.85	0.50%	6"	PERF. HDPE
SD-6	57.63	UPSTREAM: 5.38 DOWNSTREAM: 5.09	0.50%	6"	HDPE
SD-7	31.98	UPSTREAM: 4.32 DOWNSTREAM: 4.00	1.00%	6"	HDPE
SD-8	63.99	UPSTREAM: 5.13 DOWNSTREAM: 4.49	1.00%	6"	PERF. HDPE
SD-9	127.80	UPSTREAM: 6.29 DOWNSTREAM: 5.65	0.50%	6"	PERF. HDPE
SD-10	101.00	UPSTREAM: 5.82 DOWNSTREAM: 4.49	0.52%	6"	PERF. HDPE
SD-11	29.70	UPSTREAM: 4.15 DOWNSTREAM: 4.00	0.50%	6"	PERF. HDPE
SD-12	34.36	UPSTREAM: 4.32 DOWNSTREAM: 4.15	0.50%	6"	PERF. HDPE
SD-13	33.55	UPSTREAM: 4.49 DOWNSTREAM: 4.32	0.50%	6"	PERF. HDPE
SD-14	27.17	UPSTREAM: 4.46 DOWNSTREAM: 4.32	0.50%	6"	HDPE
SD-15	26.53	UPSTREAM: 4.75 DOWNSTREAM: 4.62	0.50%	6"	PERF. HDPE
SD-16	42.03	UPSTREAM: 0.60 DOWNSTREAM: 0.18	1.00%	18"	DIP
SD-17	31.77	UPSTREAM: 0.18 DOWNSTREAM: -0.13	1.00%	18"	DIP

- NOTES:**
- SD-16 SHALL HAVE CHECKMATE ULTRAFLEX IN-LINE CHECK VALVE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CHECKMATE ULTRAFLEX IN-LINE CHECK VALVE SHALL BE MANUFACTURED WITH AN UPSTREAM FLANGE. FLANGE SHALL BE BOLTED TO INTERIOR OF STRUCTURE WHEN PLACED IN DOWNSTREAM LINE. SEE DWG 799526 FOR DETAILS.
 - WITHIN CITY OF CAMDEN STREET RIGHT-OF-WAY: INSTALL CONCRETE PIPE GRADE AROUND NEW STORMWATER PIPE WHERE CLEARANCE TO EXISTING UTILITIES LESS THAN 1-FOOT. SEE DWG# 799486 FOR DETAILS.

STRUCTURE NAME	DESCRIPTION	RIM ELEVATION	BOTTOM INVERT	NORTHING & EASTING	DETAIL DWG
CB-1	SHALLOW STORM CB	6.45	4.16	N: 401696.48 E: 316712.46	799483
CB-2	SHALLOW STORM CB	6.95	4.85	N: 401702.07 E: 316781.30	799483
CB-3	SHALLOW STORM CB	7.27	5.40	N: 401546.95 E: 316785.76	799483
CB-5	SHALLOW STORM CB	7.25	5.09	N: 401705.99 E: 316829.24	799483
CB-6	SHALLOW STORM CB	7.75	5.38	N: 401710.65 E: 316886.68	799483
CB-7	SHALLOW STORM CB	6.50	4.32	N: 401637.69 E: 316670.64	799483
CB-8	SHALLOW STORM CB	6.69	5.13	N: 401573.89 E: 316675.57	799483
CB-9	SHALLOW STORM CB	8.00	6.29	N: 401584.13 E: 316802.96	799483
CB-12	SHALLOW STORM CB	6.15	4.32	N: 401570.78 E: 316616.63	799483
CB-14	SHALLOW STORM CB	6.28	4.46	N: 401572.96 E: 316643.71	799483
CO-4	CLEANOUT	8.64	5.96	N: 401651.63 E: 316841.09	799483
CO-10	CLEANOUT	7.69	5.57	N: 401645.79 E: 316771.31	799483
CO-11	CLEANOUT	6.00	4.15	N: 401605.03 E: 316613.91	799483
CO-13	CLEANOUT	6.74	4.24	N: 401537.34 E: 316619.33	799483
CO-15	CLEANOUT	6.99	4.75	N: 401546.51 E: 316645.84	799483
CS-1	OUTLET CONTROL STRUCTURE	6.64	0.60	N: 401674.03 E: 316624.40	799484
HW-1	NJDOT HEADWALL	N/A	4.00	N: 401688.42 E: 316690.34	799483
HW-2	NJDOT HEADWALL	N/A	4.00	N: 401669.56 E: 316660.09	799483
HW-3	NJDOT HEADWALL	N/A	4.00	N: 401634.70 E: 316615.19	799483
IN-1	NJDOT INLET, TYPE A	5.85	0.18	N: 401708.65 E: 316600.56	799485

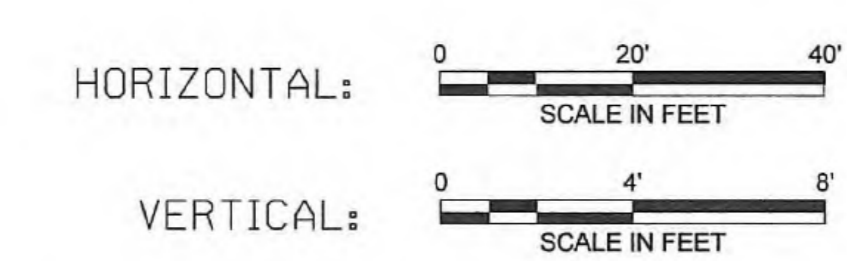


- NOTES:**
- SOIL BED MATERIAL SHALL CONSIST OF THE FOLLOWING MIX BY VOLUME: 85 TO 95% SAND WITH NO MORE THAN 25% OF THE SAND AS FINE OR VERY FINE SANDS; NO MORE THAN 15% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT. THE ENTIRE MIX MUST BE AMENDED WITH 3 TO 7% ORGANICS BY WEIGHT.
 - THE SOIL BED MATERIAL SHALL BE FREE OF CONTAMINANTS.
 - SAND LAYER SHALL CONSIST OF CLEAN, MEDIUM-AGGREGATE CONCRETE SAND MEETING ASSHTO M-6/ ASTM C-33 STANDARDS.
 - GRAVEL LAYER SHALL CONSIST OF 0.5 TO 1.5-INCH CLEAN, BROKEN STONE OR PEA GRAVEL (AASHTO M-43).
 - GRAVEL LAYER DEPTH OF 3-INCHES SHALL BE PROVIDED ABOVE AND BELOW THE PERFORATED UNDERDRAIN PIPE.

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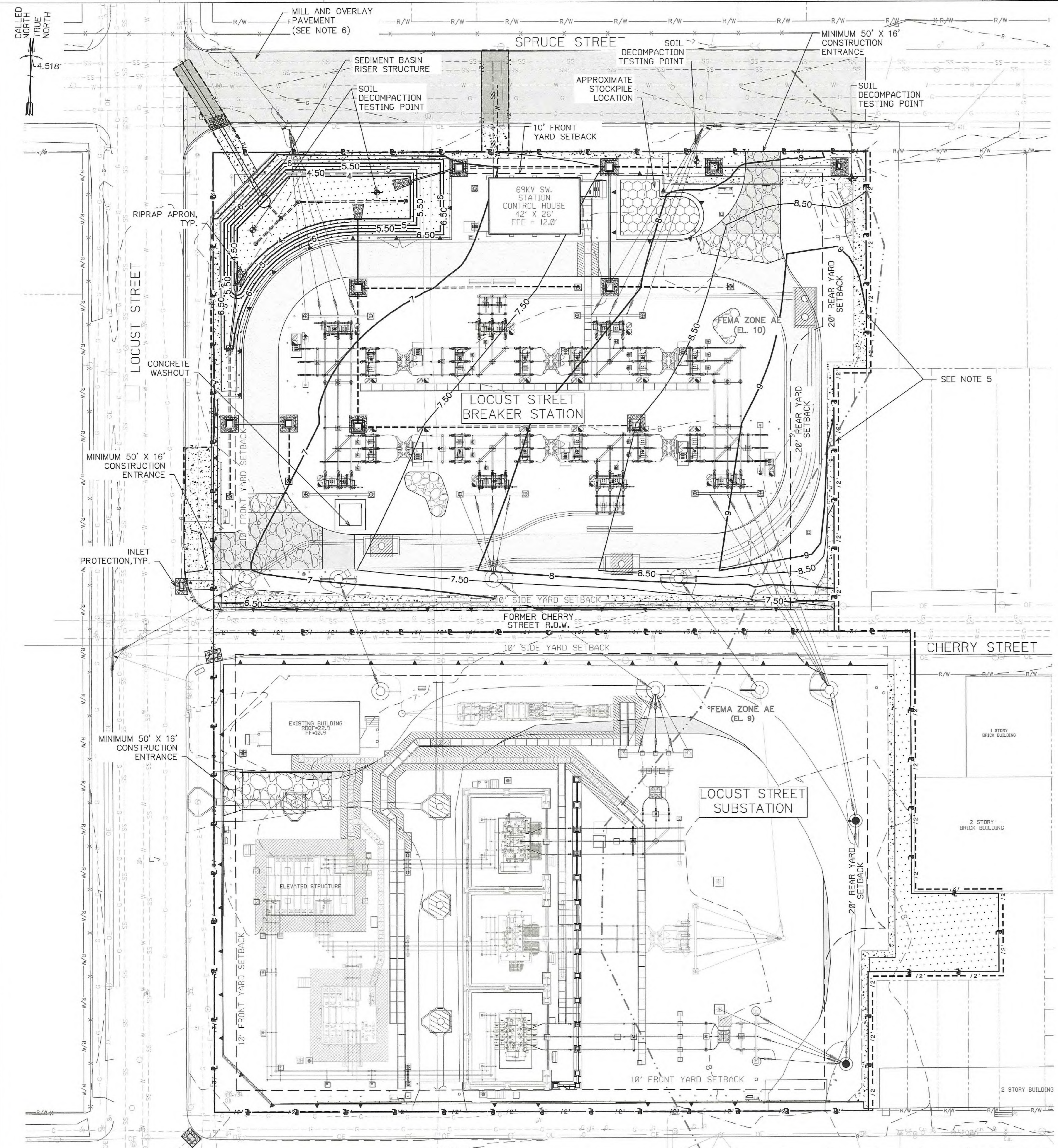
REFERENCE DRAWINGS

- REMOVAL PLAN DWG#799476
- SITE PLAN DWG#708745
- GRADING AND DRAINAGE PLAN DWG#799477
- UTILITY PLAN DWG#799478
- SOIL EROSION & SEDIMENT CONTROL PLAN DWG#799480
- SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2 DWG#799481
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- CIVIL DETAILS - SHEET 3 OF 5 DWG#799485
- CIVIL DETAILS - SHEET 4 OF 5 DWG#799486
- CIVIL DETAILS - SHEET 5 OF 5 DWG#799526



FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING
THIS DRAWING SUPERSEDES: NONE
CHRISTOPHER D. WILSON
N.J. PROFESSIONAL ENGINEER
LIC. NO. 240E05369800
C.O.A. NO. 24G2806400

NO.	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION 69/13KV BREAKER STATION & 69/13KV SUBSTATION STORM DRAIN & BASIN PROFILES						
DETAILS CIVIL						
PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.						
DRAWN: A. GALLAGHER CHECKED: E. WILSON SCALE: AS NOTED						
DATE: 10/26/23 EXAMINED:						
WBS: C.92302.1.B.1.1.2.1 APPROVED:						
10/27/24						
799479 A -0R						



BREAKER STATION		
	SQ. FT.	ACRES
TOTAL AREA OF DISTURBANCE	67,469	1.480
EXISTING IMPERVIOUS AREA	9,858	0.226
PROPOSED IMPERVIOUS AREA	24,532	0.563

NOTE: GRAVEL CALCULATED AS PERVIOUS

SUBSTATION		
	SQ. FT.	ACRES
TOTAL AREA OF DISTURBANCE	63,344	1.546
EXISTING IMPERVIOUS AREA	27,095	0.622
PROPOSED IMPERVIOUS AREA	27,095	0.622

NOTE: GRAVEL CALCULATED AS PERVIOUS

OVERALL SITE		
	SQ. FT.	ACRES
TOTAL LIMITS OF DISTURBANCE	131,813	3.026
SOIL DECOMPACTION AREA	1,825	0.042

ITEM	DESCRIPTION	INFORMATION LOCATED ON THIS "PLAN" DWG.	SECT./DET. DWG.	NOT APPLICABLE
1	STABILIZED CONSTRUCTION ENTRANCE	X	X	-
2	SILT FENCE/SILT SOCK LIMITS OF DISTURBANCE	X	X	-
3	TEMPORARY STABILIZATION	-	X	-
4	PERMANENT STABILIZATION	-	X	-
5	STORM SEWER/CATCH BASIN INLET PROTECTION	X	X	-
6	CONDUIT OUTLET PROTECTION	-	X	-
7	CHANNEL STABILIZATION	-	-	X
8	BASIN SLOPE STABILIZATION	-	X	-
9	RIP RAP/GABIONS	X	X	-
10	SUBSURFACE DRAINAGE	X	X	-
11	STOCKPILES	X	X	-
12	DELINEATION OF ANY AREA SUBJECT TO 100 YEAR STORM SOILS/OTHER NATURAL RESOURCE INFORMATION	X	-	-
13		-	-	X

- NOTES:**
- NOTIFY UTILITY OWNERS PRIOR TO CONSTRUCTION.
 - ALL AREAS DISTURBED DURING INSTALLATION SHALL BE STABILIZED WITHIN 7 CALENDAR DAYS OF THAT DISTURBANCE.
 - FINAL CLEAN-UP SHALL CONSIST OF REMOVAL OF THE MATTING MATERIALS, PROTECTIONS OF THE BANKS FROM EROSION, AND REMOVAL OF ALL CONSTRUCTION MATERIALS.
 - AREAS TO BE RESTORED AFTER CONSTRUCTION WILL BE RESTORED WITH SURFACING AS SPECIFIED HEREIN.
 - LAYDOWN YARD SHALL BE ACCESSED VIA EAST SIDE OF THE BREAKER STATION LOT.
 - MILL AND RE-PAVE SPRUCE STREET FROM THE INTERSECTION WITH LOCUST STREET TO THE EASTERN PROPERTY LINE. SEE DWG#799483 FOR DETAILS.

STOCKPILE AND CONCRETE WASHOUT NOTE:
 SOIL STOCKPILE AND CONCRETE WASHOUT MAY BE RELOCATED TO ACCOMMODATE CONSTRUCTION AS REQUIRED. MAINTAIN 50' SEPARATION FROM AREAS BELOW THE BASE FLOOD ELEVATION. FOLLOW PROVISIONS PER STOCKPILE AND CONCRETE WASHOUT DETAILS.

SOIL MANAGEMENT NOTE:
 ACCORDING TO THE STATE OF NEW JERSEY LAND USE CLASSIFICATION SYSTEM, THE SITE IS UNDER URBAN REDEVELOPMENT AREA, AND USE CODE 1.110. THEREFORE, THE PROPOSED PROJECT DOES NOT REQUIRE COMPACTION REMEDIATION, AS PER EXEMPTION #6 UNDER SOIL MANAGEMENT AND PREPARATION STANDARDS FOR SOIL AND SEDIMENT CONTROL IN NEW JERSEY.

BIORETENTION BASIN NOTE:
 BIORETENTION BASIN SHALL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION ACTIVITIES. INSTALL TEMPORARY SEDIMENT RISER AND CONNECT IT TO THE PERMANENT OUTLET STRUCTURE AS SHOWN IN DETAILS ON DWG 799481. BLOCK ALL ORIFICES IN THE PERMANENT OUTLET STRUCTURE DURING CONSTRUCTION. ONCE CONSTRUCTION IS COMPLETE AND UPLAND AREAS ARE FULLY STABILIZED, REMOVE THE SEDIMENT RISER, REMOVE ALL SEDIMENT, INSTALL BIORETENTION BMP UNDERDRAINS AND LAYERS, AND UNBLOCK OUTLET STRUCTURE ORIFICES.

SEQUENCE OF CONSTRUCTION JULY 2025 - DECEMBER 2027	
ACTIVITY	DURATION (DAYS)
INSTALL SILT FENCE, INLET PROTECTION AND CONSTRUCTION ENTRANCE	2
DEMOLITION	14
ROUGH GRADING	7
INSTALL DRAINAGE SYSTEM & UTILITIES	30
CONSTRUCT NEW ELECTRIC EQUIPMENT & CONTROL HOUSE	508
INSTALL SUBSTATION CRUSHED STONE AND ACCESS ROADS	5
FINAL TESTING AND COMMISSIONING	191
FINAL GRADING & SIDEWALK REPLACEMENT	20
REMOVAL OF SEDIMENT CONTROLS	2
FINAL SITE CLEAN UP	3
TOTAL	882

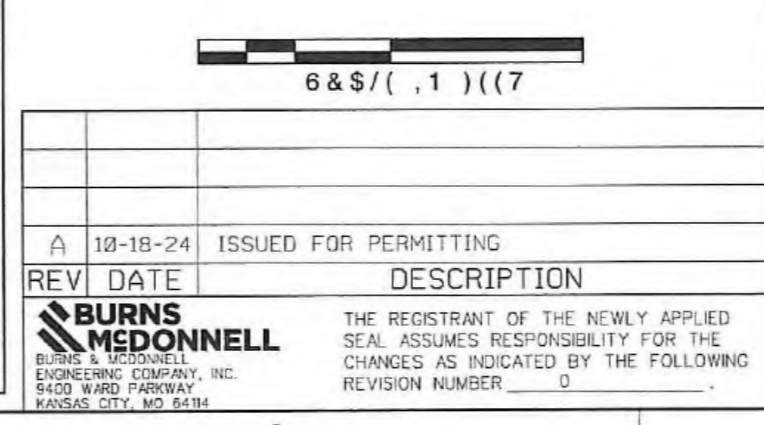
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- REMOVAL PLAN DWG#799476
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- CIVIL DETAILS - SHEET 5 OF 5 DWG#799486

LEGEND:

	PROPERTY LINE		CONSTRUCTION ENTRANCE
	8'-8" SECURITY FENCE		STOCKPILE
	8'-8" SECURITY FENCE, INSULATED FOOTINGS		MACADAM DRIVE PATH
	8'-8" SECURITY FENCE, ISOLATION PANEL		ASPHALT
	8' CHAIN-LINK FENCE, INSULATED FOOTINGS		CONCRETE
	8' CHAIN-LINK FENCE, ISOLATION PANEL		SUBSTATION CRUSHED STONE
	FEMA FLOOD ZONE LIMITS		VEGETATION
	EXISTING CONTOURS		3' WIDE DRIVEWAY CONCRETE APRON DETAIL
	PROPOSED CONTOURS		3' WIDE CABLE TRENCH
	PROPOSED SANITARY SEWER		STORMWATER INLET
	PROPOSED WATER SERVICE		NJDOT HEADWALL
	SOLID WALL STORM SEWER		CATCH BASIN
	PERFORATED STORM SEWER		CLEANOUT
	LIMITS OF DISTURBANCE		INLET PROTECTION
	SILT FENCE		

WARNING: STATION CONTAINS KNOWN UNDERGROUND UTILITIES THAT EXIST WITHIN THE WORK AREA AND MAY ONLY BE SHOWN ON OTHER DISCIPLINE OR DIVISION DRAWINGS. ADDITIONAL UNKNOWN UTILITIES MAY ALSO BE PRESENT. CONTRACTOR TO FOLLOW PSE&G'S EXCAVATION PROCEDURE FOR ALL UNDERGROUND WORK.



FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING
 THIS DRAWING SUPERSEDES NONE
 CHRISTOPHER D. WILSON
 N.J. PROFESSIONAL ENGINEER
 LIC. NO. 24GE05369800
 C.O.A. NO. 24GA2066400

NO.	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION 69/13KV BREAKER STATION & 69/13KV SUBSTATION SOIL EROSION & SEDIMENT CONTROL PLAN						
YARD						CIVIL
PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY—ASSET RELIABILITY, NEWARK, N.J.						
DRAWN <u>A. GALLAGHER</u> CHECKED <u>C. WILSON</u> SCALE 1"=20'-0"						
DATE <u>10/26/23</u> EXAMINED						
WBS <u>C-92302.1.B.1.1.2.1</u> APPROVED						
799480 A						-OR

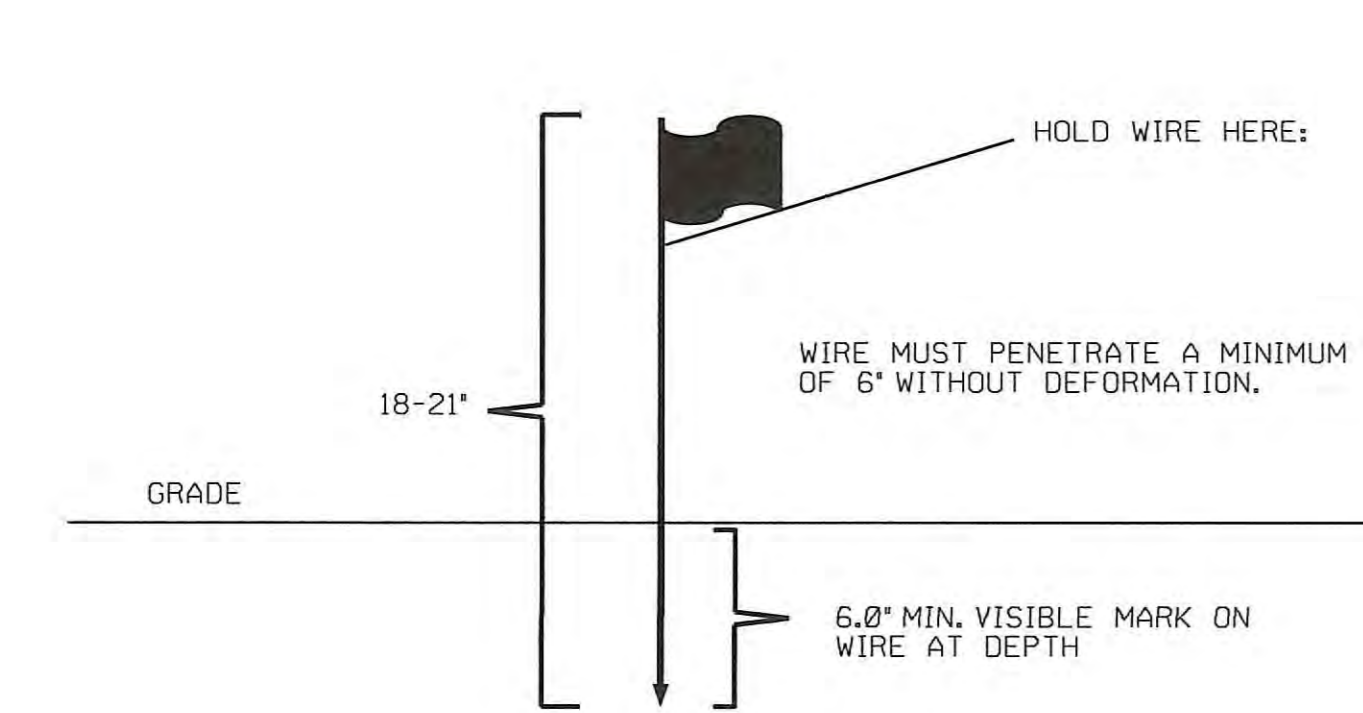
SOIL DE-COMPACTION AND TESTING REQUIREMENTS:

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN EXCLUDING EXEMPT AREAS, OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

SIMPLIFIED TESTING METHODS:

PROBING WIRE TEST - 15.5 GA STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES, SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



COMPACTION TESTING METHODS:

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE IS MINIMUM DEPTH) OR SIMILAR IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

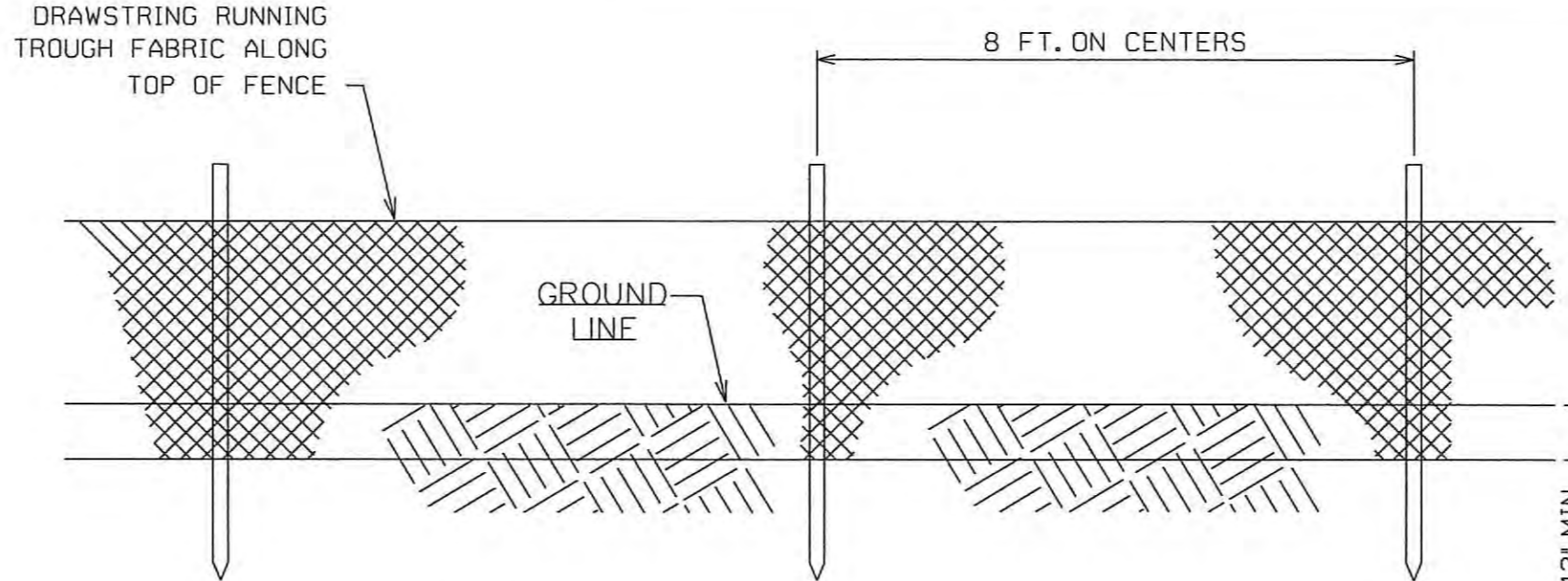
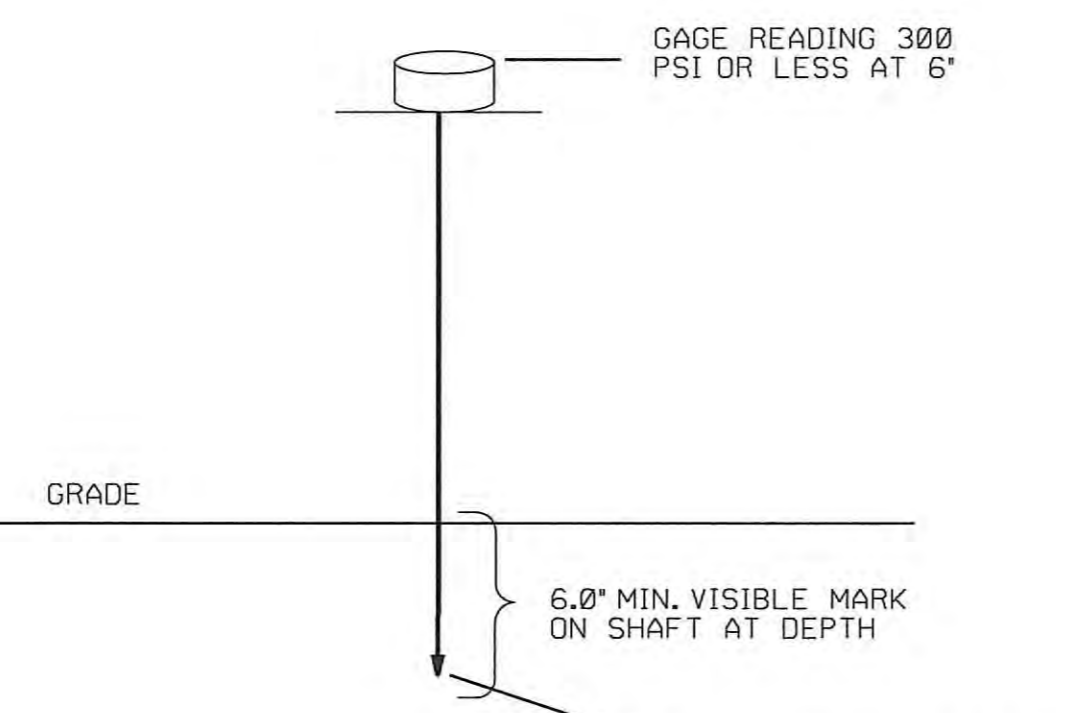
PROCEDURES FOR SOIL COMPACTION MITIGATION:

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL, AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

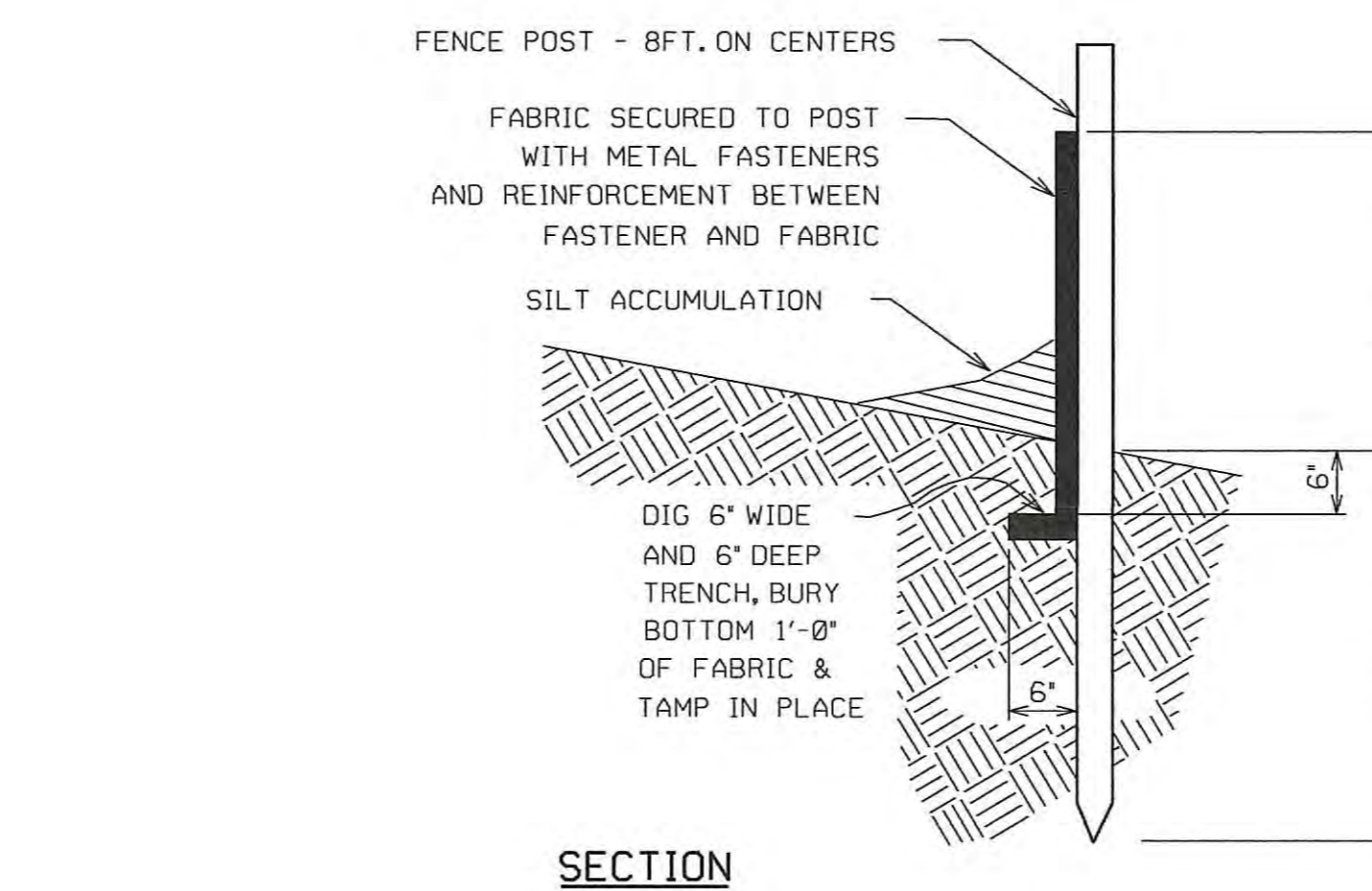
RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES, CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

HANDHELD SOIL PENETROMETER TEST

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES, SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE PAGE.

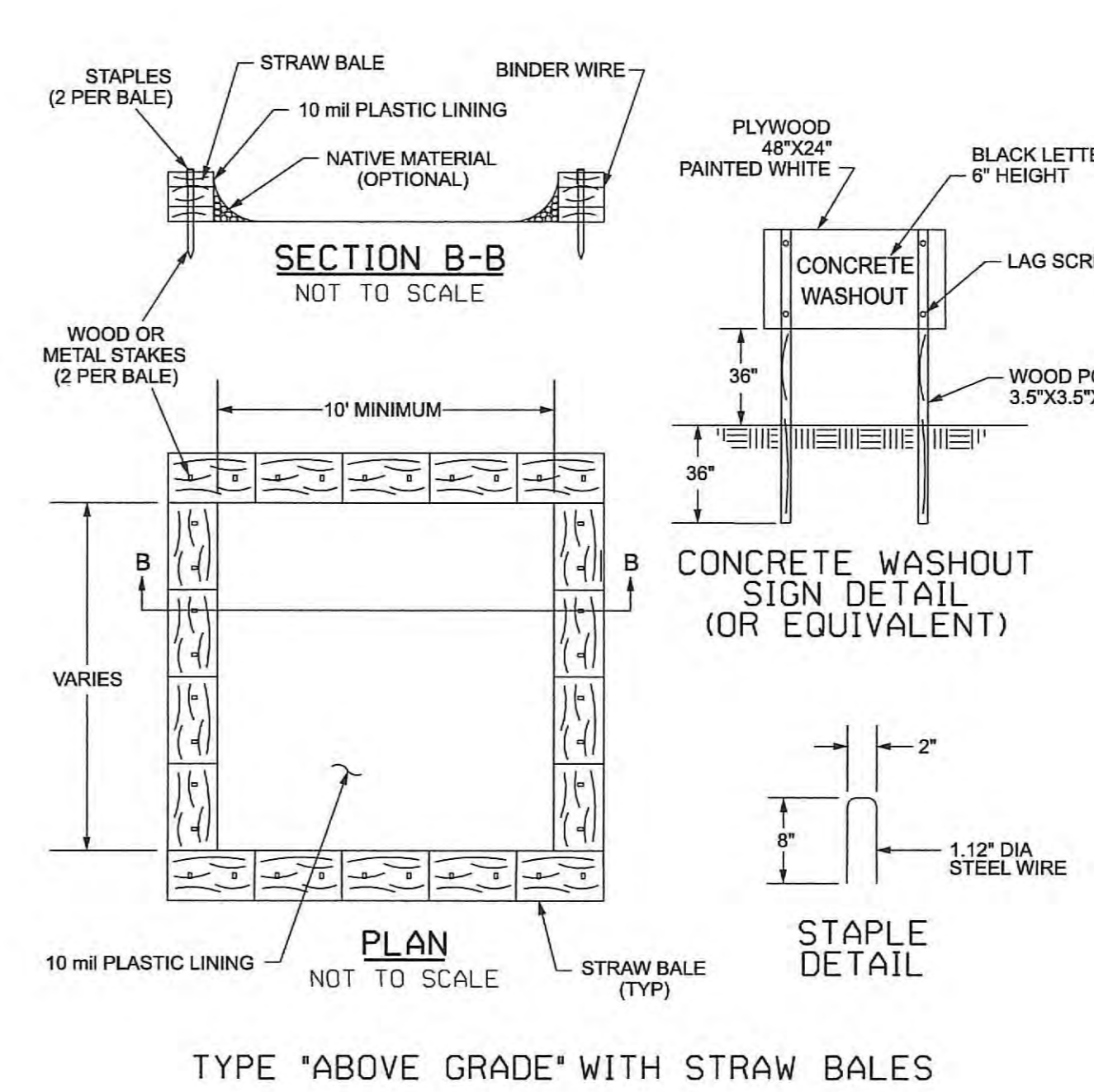


NOTES: TO BE USED IN PLACE OF HAY BARRIERS
STANDARD ROLL SIZE IS 100' LONG BY 3' WIDE AS SUPPLIED BY CEDAR HILL, INC., SOMERSET, N.J. OR THOMPSON MATERIALS, WHIPPANY, N.J. OR A. H. HARRIS, NEWARK, N.J.

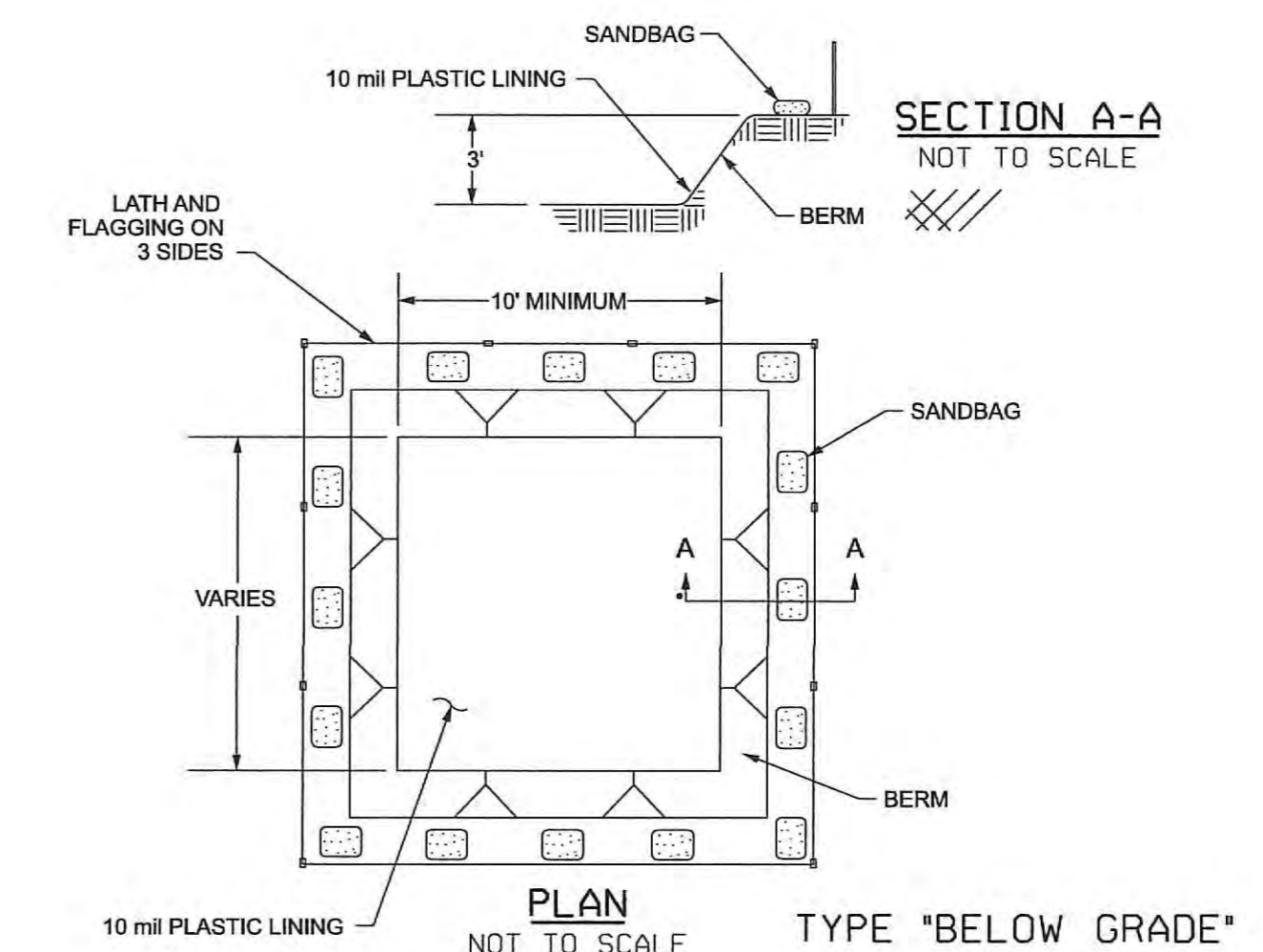


SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL

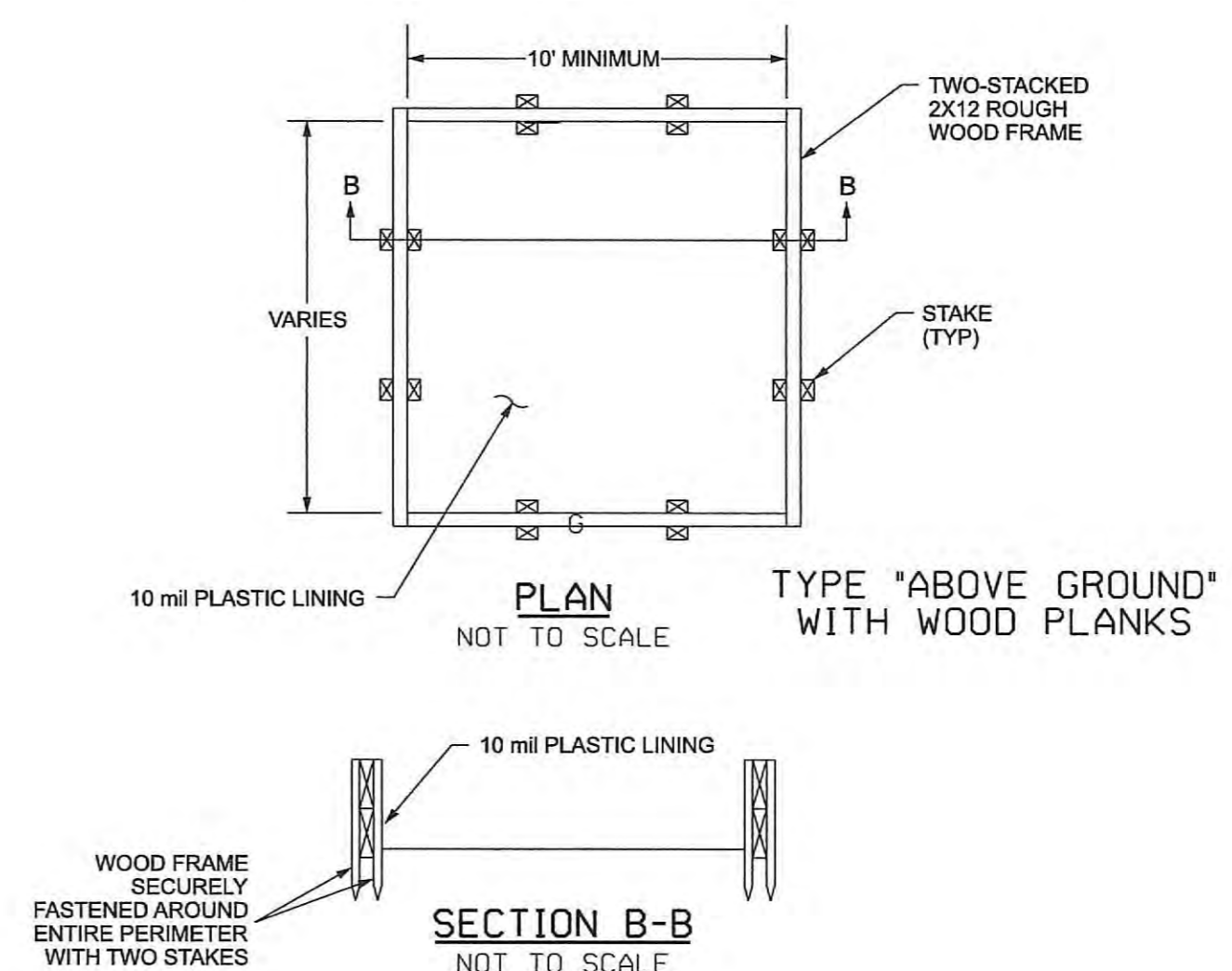
- FENCE POSTS SHALL BE SPACED 8'-0" CENTER TO CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2'-0" INTO GROUND. THEY SHALL EXTEND AT LEAST 2'-0" ABOVE GROUND.
- A FILTER FABRIC RECOMMENDED FOR SUCH USE BY THE MFR. SHALL BE BURIED AT LEAST 6" DEEP IN THE GROUND. THE FILTER FABRIC SHALL EXTEND AT LEAST 2'-0" ABOVE THE GROUND. FILTER FABRIC MAY BE FASTENED IN PLACE BY STAKE OR OTHER ACCEPTED MEANS AS SPECIFIED BY THE DISTRICT OFFICE.



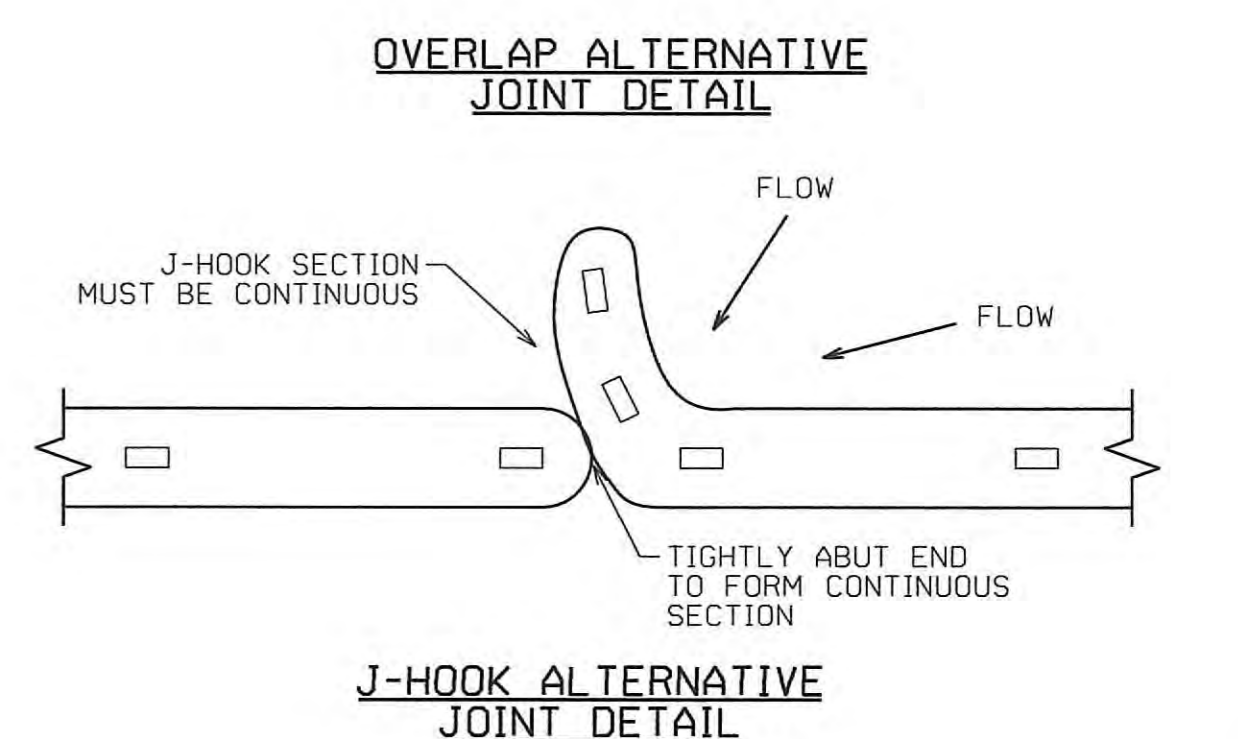
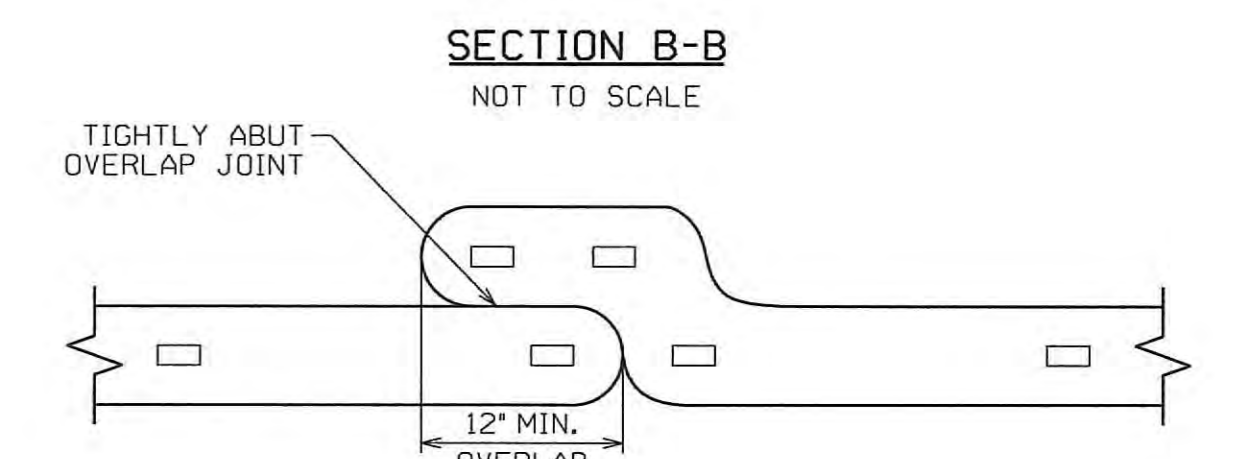
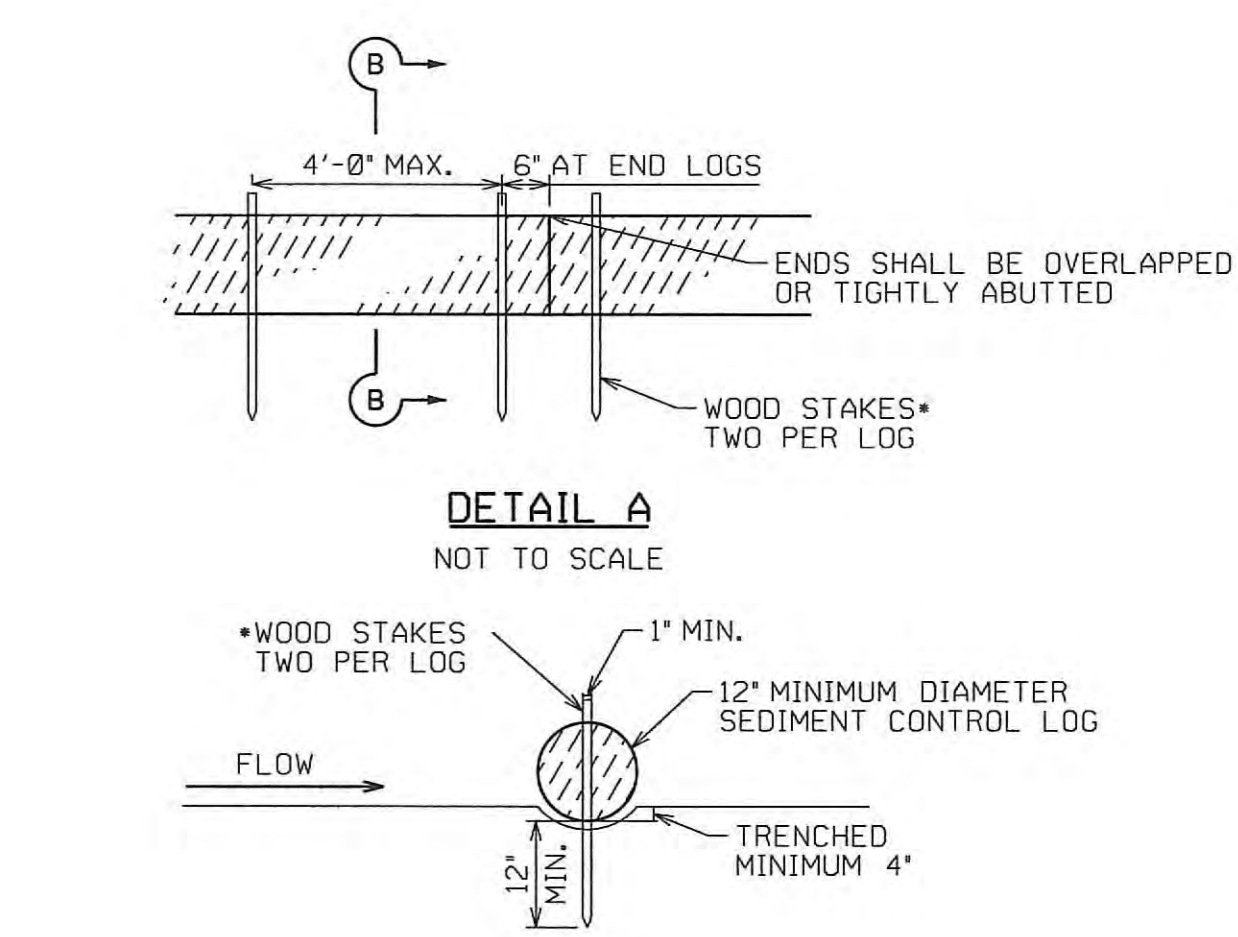
TYPE 'ABOVE GRADE' WITH STRAW BALES



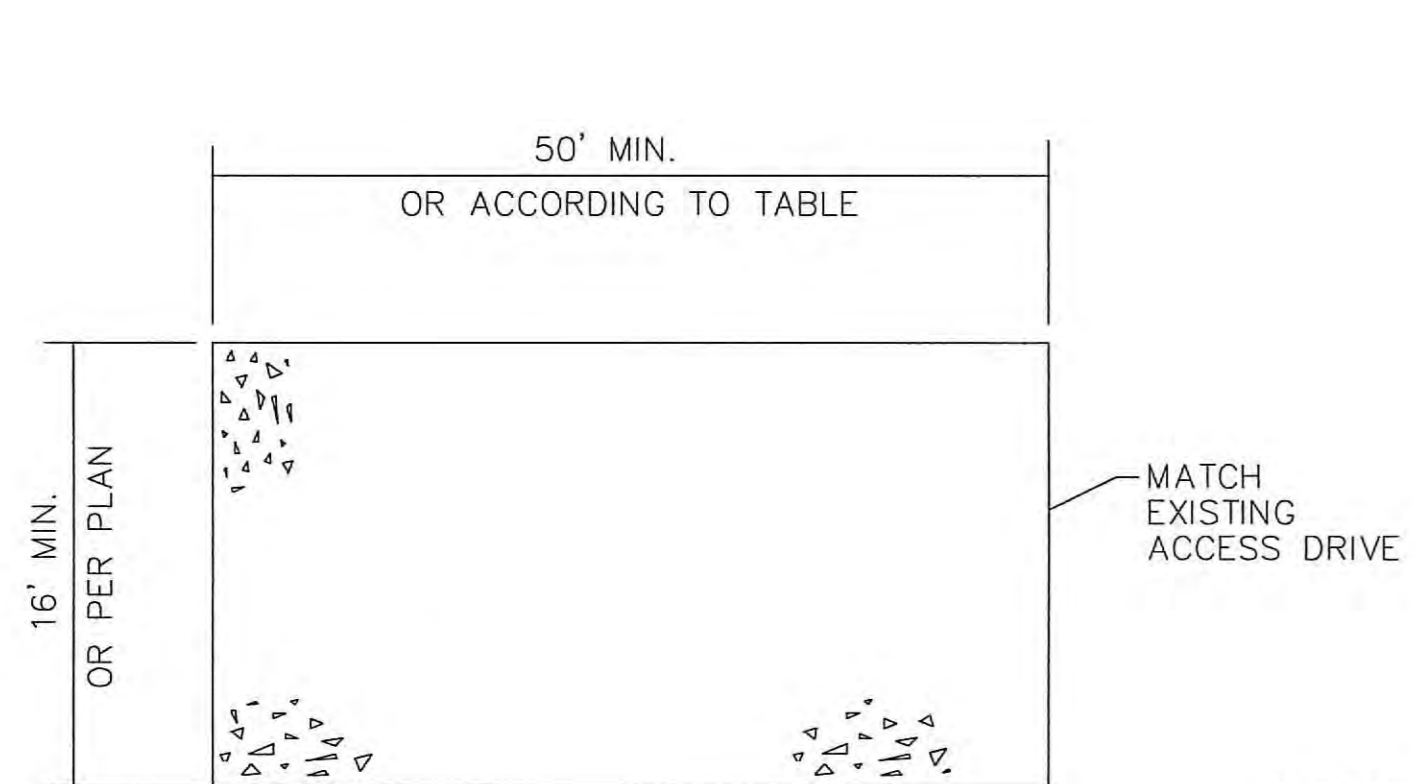
TYPE 'BELOW GRADE'



STANDARD CONCRETE WASHOUT

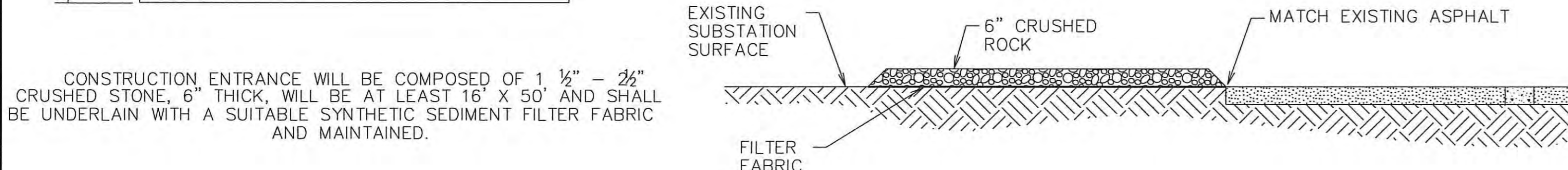


SILT SOCK DETAIL



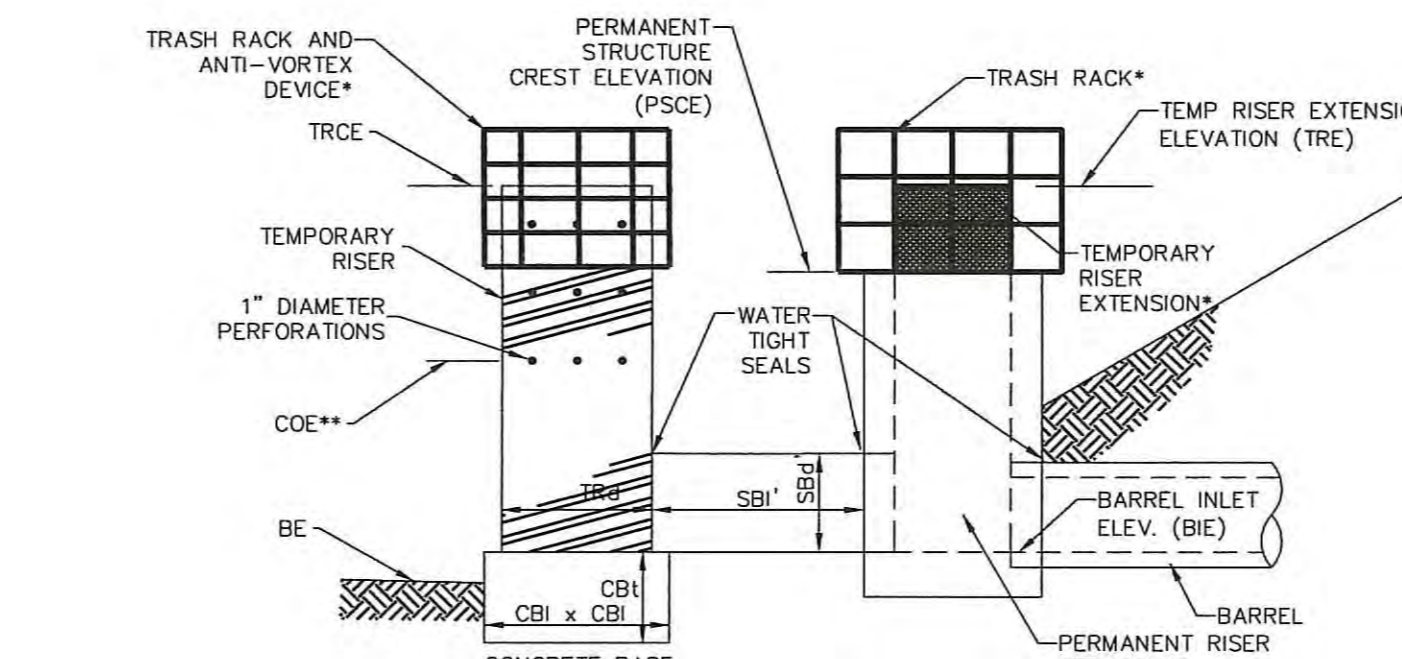
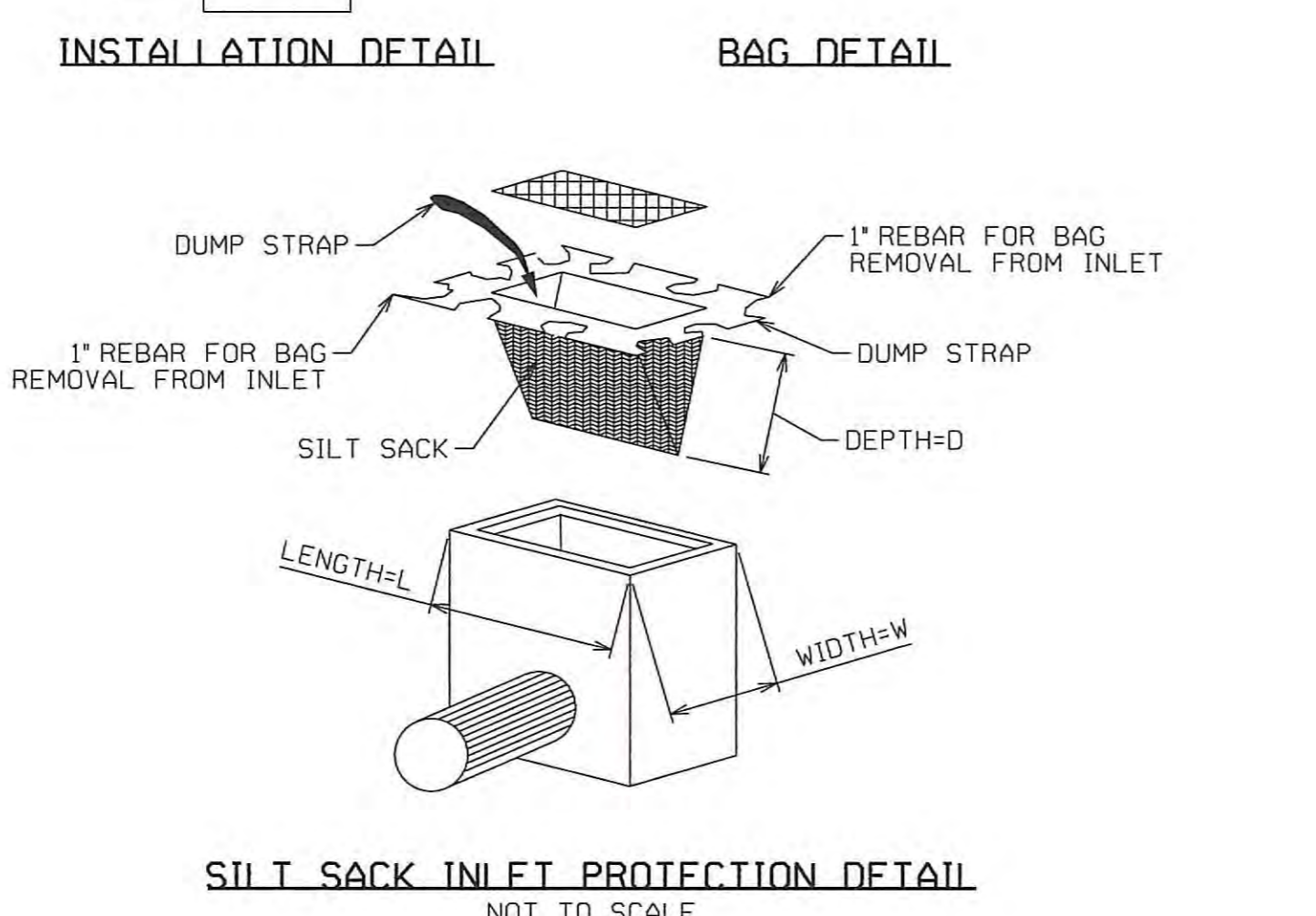
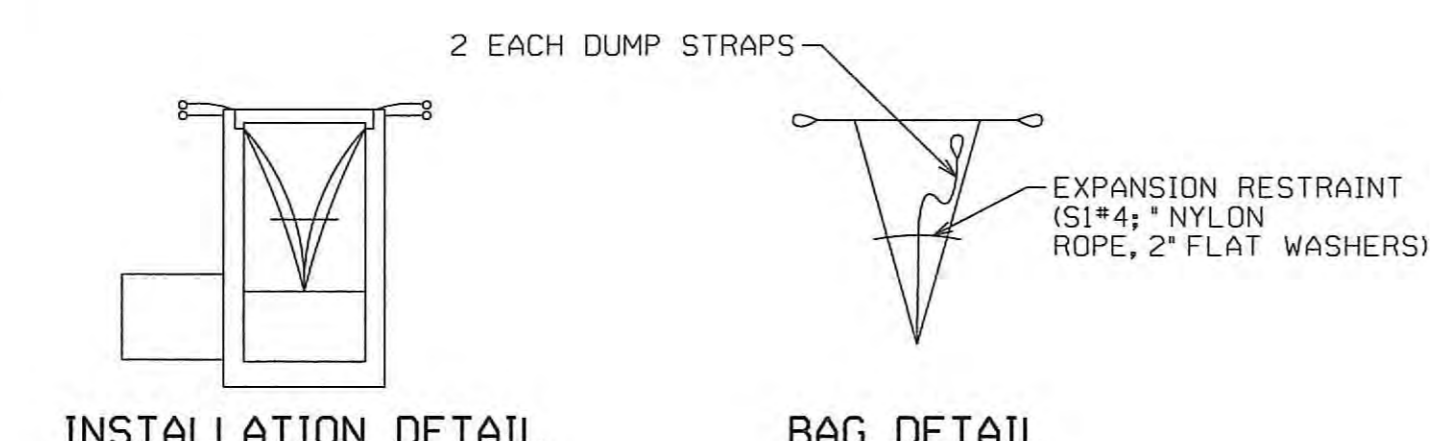
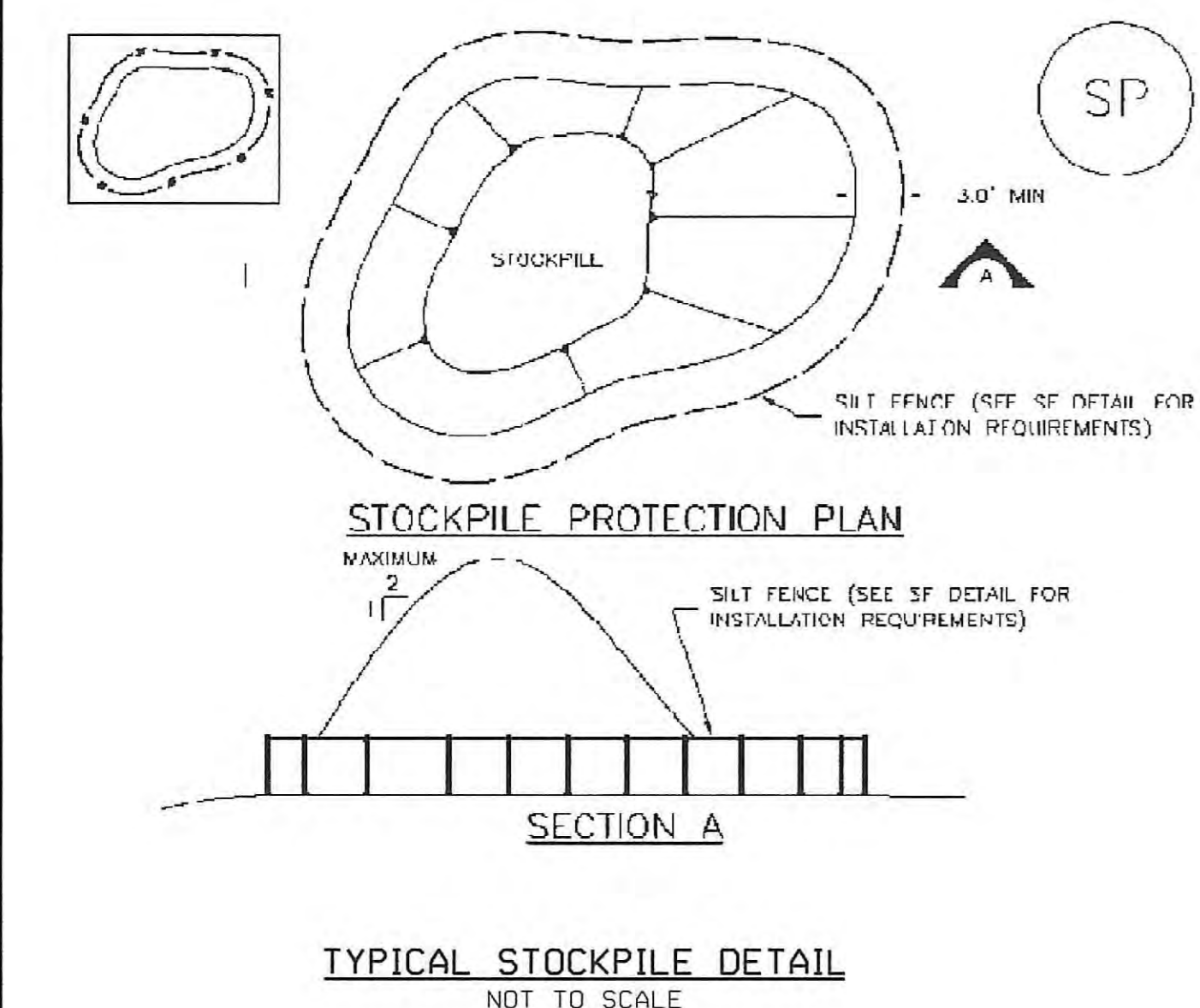
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
>5%	ENTIRE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIX 1-2*	

* AS PRESCRIBED BY LOCAL ORDINANCE, SCD OR OTHER GOVERNING AUTHORITY.



STABILIZED CONSTRUCTION ENTRANCE

- THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A SEDIMENT FENCE.
- STOCKPILES SHALL BE VEGETATED - SEE VEGETATIVE STANDARDS FOR SOIL STABILIZATION.



SEDIMENT BASIN TEMPORARY RISER, TOP OF TEMPORARY RISER EXTENSION (TRE) SHALL BE EQUAL TO OR ABOVE TEMPORARY RISER CREST ELEVATION (TRCE) AND 6 IN. MIN. BELOW CREST OF EMERGENCY SPILLWAY. REMOVE FLAT GRATE FROM PERMANENT RISER FOR AS LONG AS BASIN FUNCTIONS AS A SEDIMENT REMOVAL BMP.

** LOWEST ROW OF HOLES AT SEDIMENT CLEAN-OUT ELEVATION

BASIN NO.	TEMPORARY RISER		PERFORATIONS		CONCRETE BASE	
	DIA TRC (IN)	CREST ELEV TRC (FT)	LOWEST ROW OF HOLES ELEV (FT)	NO. HOLES PER ROW	VERT. SPACING OF ROWS (FT)	LENGTH AND WIDTH CBI (IN)
1	24"	6.37	CMP	3, 15	1 2	N/A 4B 12

BASIN NO.	TEMPORARY STUB		PERMANENT STRUCTURE		BARREL INLET DIA (IN)
	DIA SBI (IN)	INVERT ELEV SBI (FT)	LENGTH SBI (FT)	CREST ELEV PSCE (FT)	
1	18"	0.65	CMP	5, 6.64	6.75, 0.60, 0.60

- NOTES:
- A MINIMUM OF 2-#8 REBAR SHALL BE PLACED AT RIGHT ANGLES AND PROJECTING THROUGH SIDES OF RISER TO ANCHOR IT TO CONCRETE BASE. REBAR SHALL PROJECT A MINIMUM OF 1/4 RISER DIAMETER BEYOND OUTSIDE OF RISER.
 - CONCRETE BASE SHALL BE POURED IN SUCH A MANNER SO AS TO INSURE THAT CONCRETE FILLS BOTTOM OF RISER TO INVERT OF THE OUTLET PIPE TO PREVENT RISER FROM BREAKING AWAY FROM THE BASE. MINIMUM BASE WIDTH EQUALS 2 TIMES RISER DIAMETER.
 - EMBEDDED SECTION OF ALUMINUM OR ALUMINIZED PIPE SHALL BE PAINTED WITH ZINC CHROMATE OR EQUIVALENT.
 - CLOSED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.

SEDIMENT BASIN/DETENTION POND RISER STRUCTURES

REFERENCE DRAWINGS

1. REMOVAL PLAN	DWG.#799476-A
2. CIVIL SITE PLAN	DWG.#788745-A
3. GRADING AND DRAINAGE PLAN	DWG.#799477-A
4. UTILITY PLAN	DWG.#799478-A
5. STORM DRAIN PROFILES	DWG.#799479-A
6. SOIL EROSION & SEDIMENT CONTROL PLAN	DWG.#799480-A
7. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2	DWG.#799482-A
8. CIVIL DETAILS - SHEET 1 OF 5	DWG.#799483-A
9. CIVIL DETAILS - SHEET 2 OF 5	DWG.#799484-A
10. CIVIL DETAILS - SHEET 3 OF 5	DWG.#799485-A
11. CIVIL DETAILS - SHEET 4 OF 5	DWG.#799486-A
12. CIVIL DETAILS - SHEET 5 OF 5	DWG.#799526-A

NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD

REVISION
LOCUST STREET BREAKER STATION
69KV SUBSTATION
SOIL EROSION & SEDIMENT CONTROL
NOTES & DETAILS
DETAILS SH 1 CIVIL



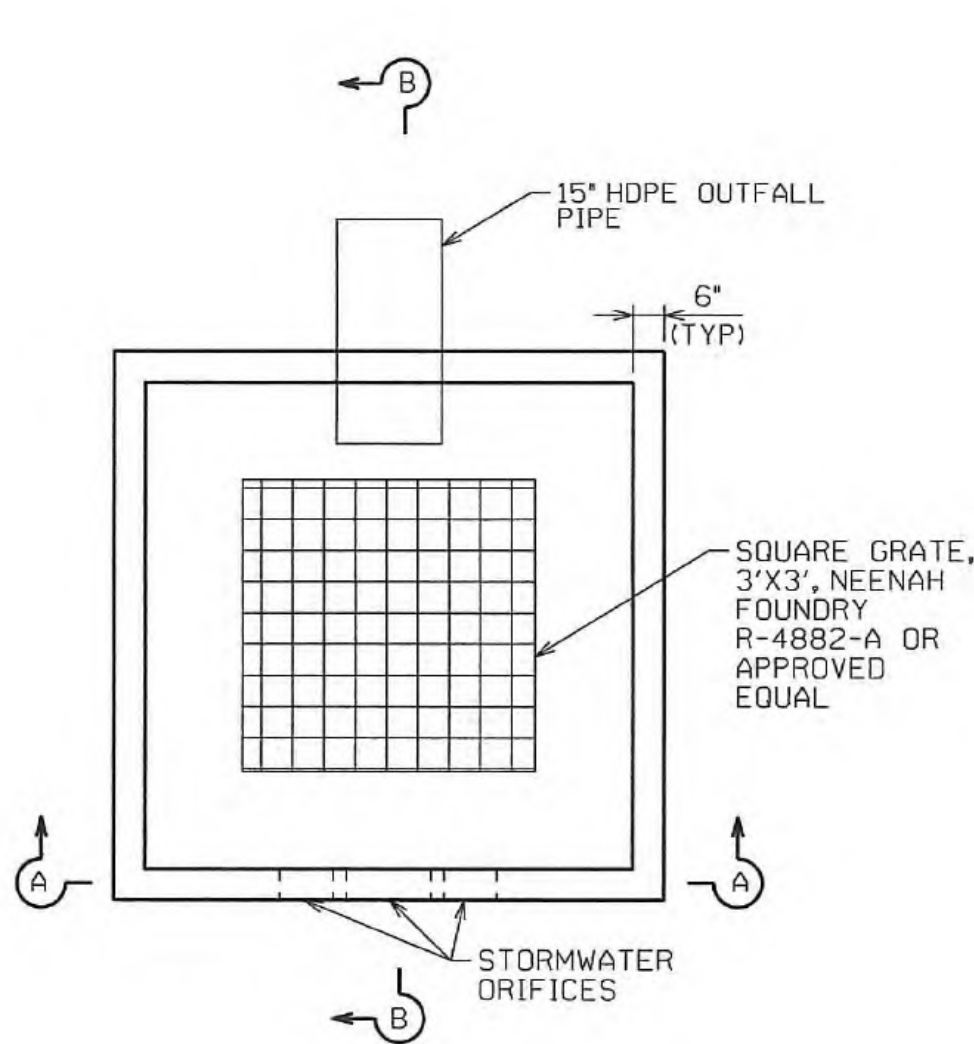
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN - A. HASSEBROEK CHECKED - C. WILSON SCALE - NONE
DATE - 9/26/23 EXAMINED
WBS - C:92392.1.B.1.1.2.1 APPROVED

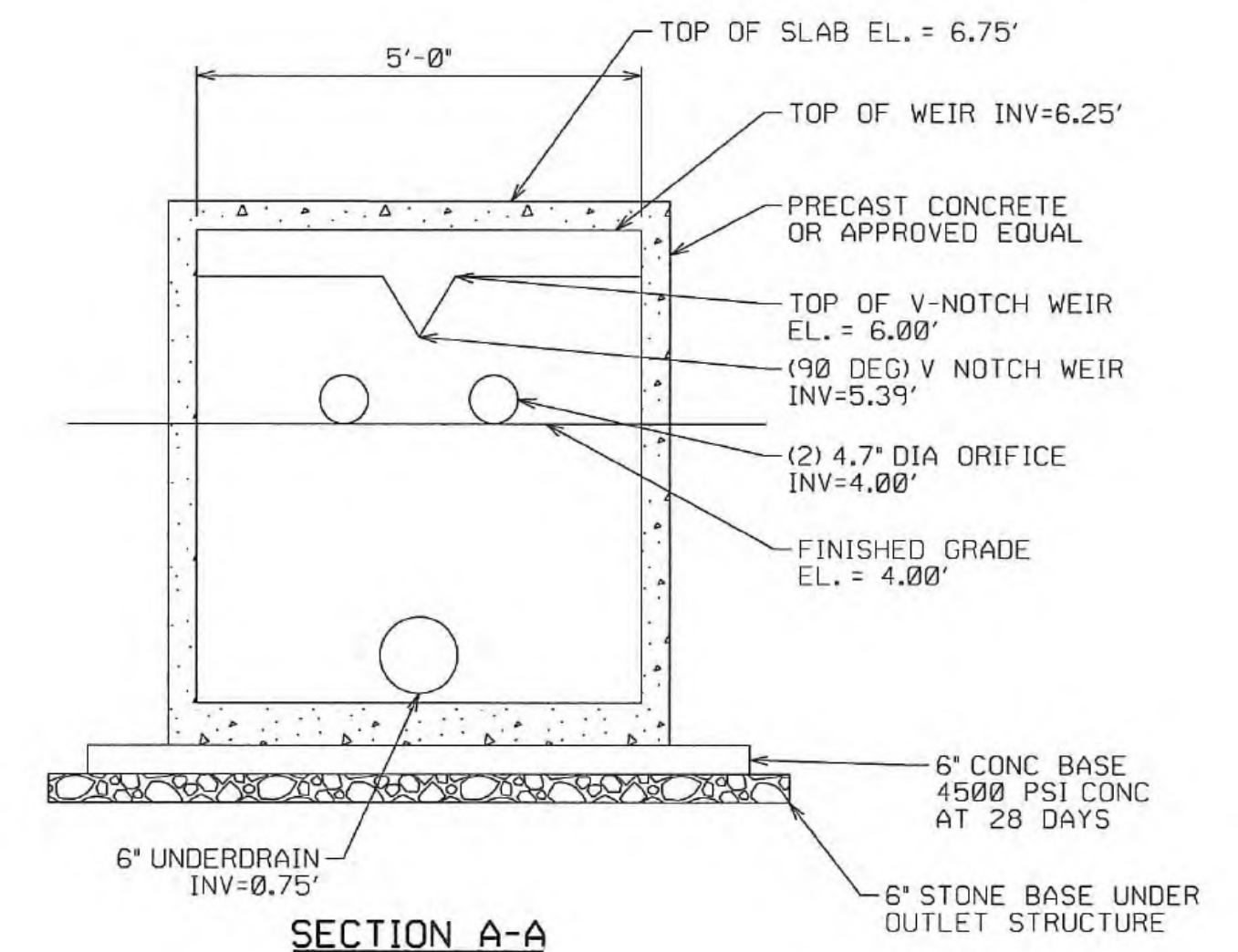
799481 A -OR

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO THIS DRAWING
THIS DRAWING SUPERSEDES NONE
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LIC. NO. 24GE05369800
C.O.A. NO. 24GA2806400

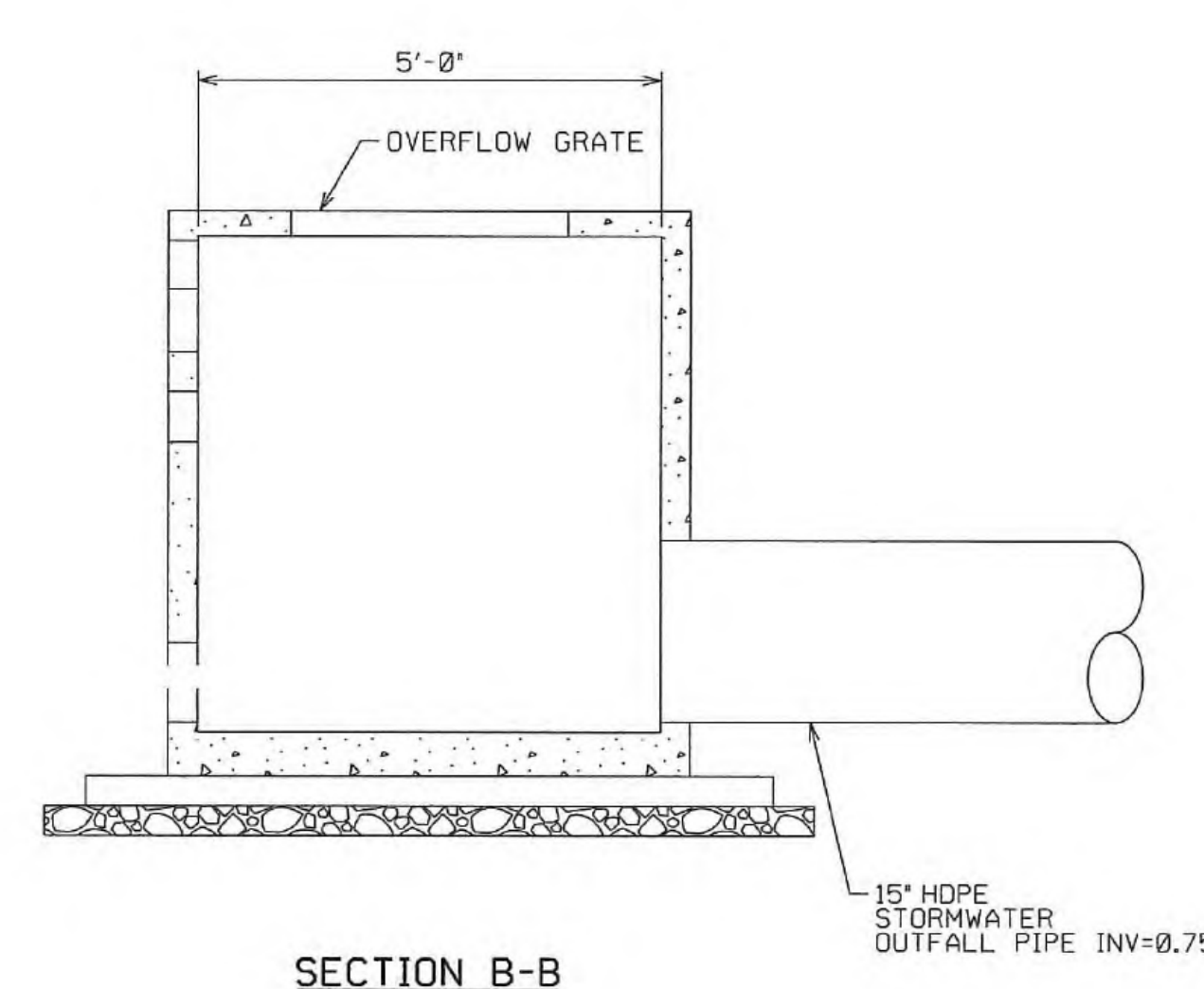
REVISION DATE DESCRIPTION
A 18-18-24 ISSUED FOR PERMITTING
REVISION DATE DESCRIPTION
A 18-18-24 ISSUED FOR PERMITTING



PLAN VIEW
NOT TO SCALE



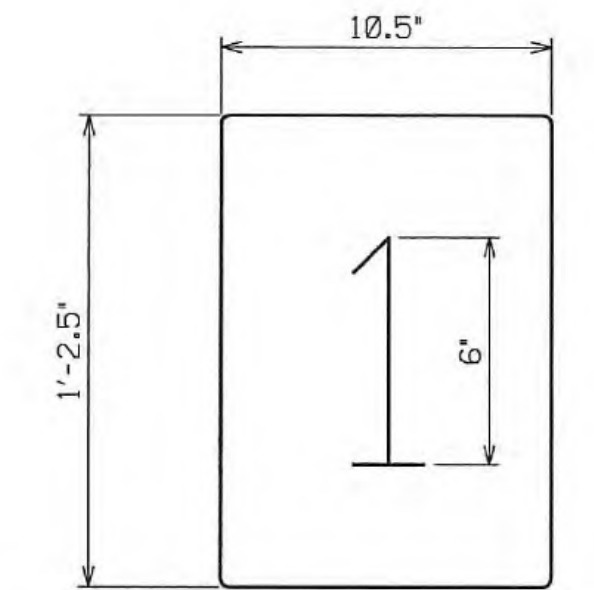
SECTION A-A
NOT TO SCALE



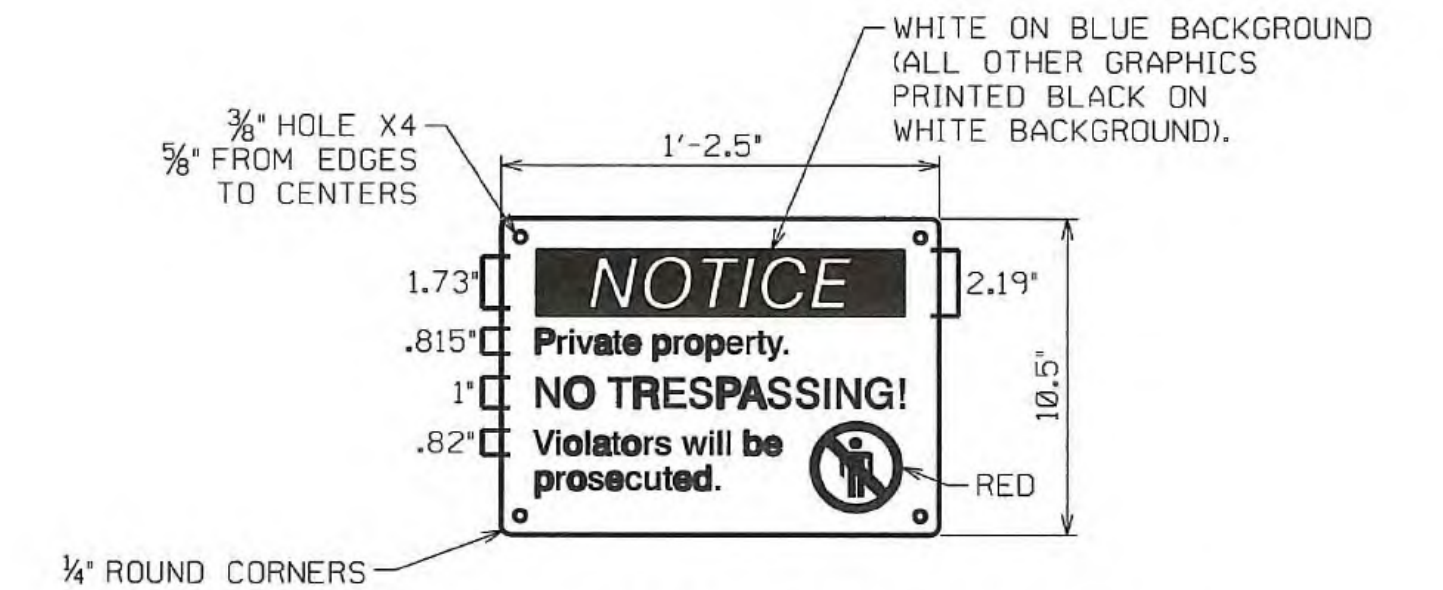
SECTION B-B
NOT TO SCALE

NOTES:
1. ALL OUTLET ORIFICES WITHIN THE PROPOSED OUTLET CONTROL STRUCTURE SHOULD BE EQUIPPED WITH NON-CORRODIBLE METAL PLATES.

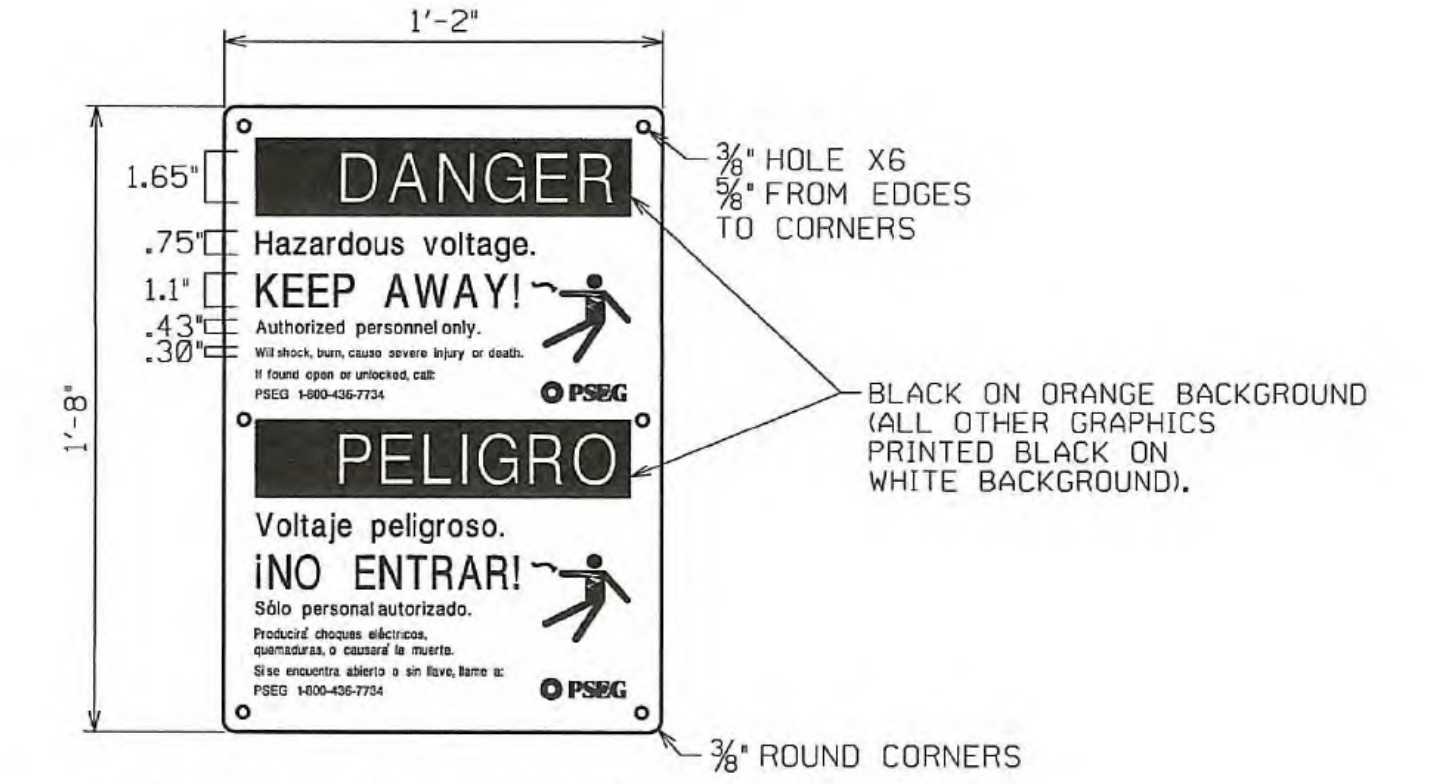
OUTLET CONTROL STRUCTURE CS-1
NOT TO SCALE



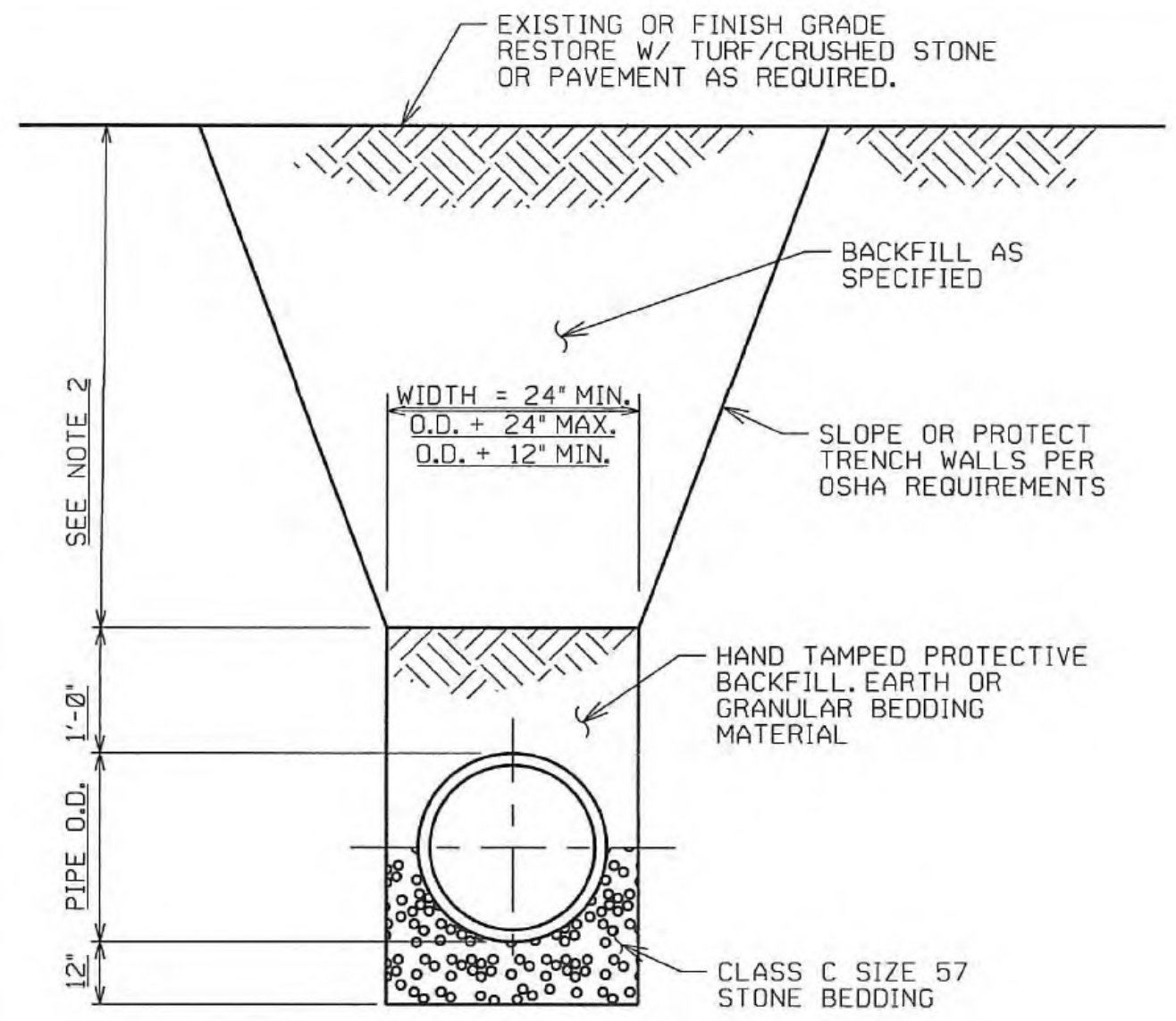
TYPICAL GATE NUMBER SIGN
NOT TO SCALE



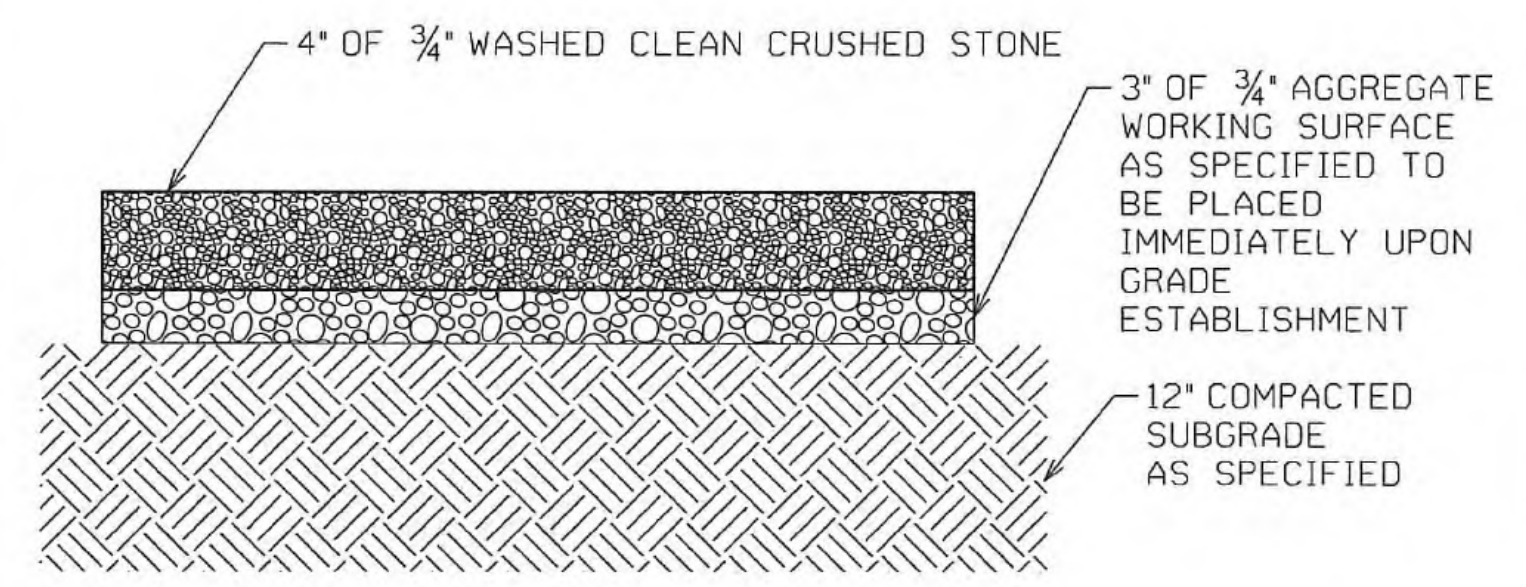
TYPICAL NO TRESPASSING SIGN DETAIL
NOT TO SCALE



TYPICAL DANGER SIGN DETAIL
NOT TO SCALE

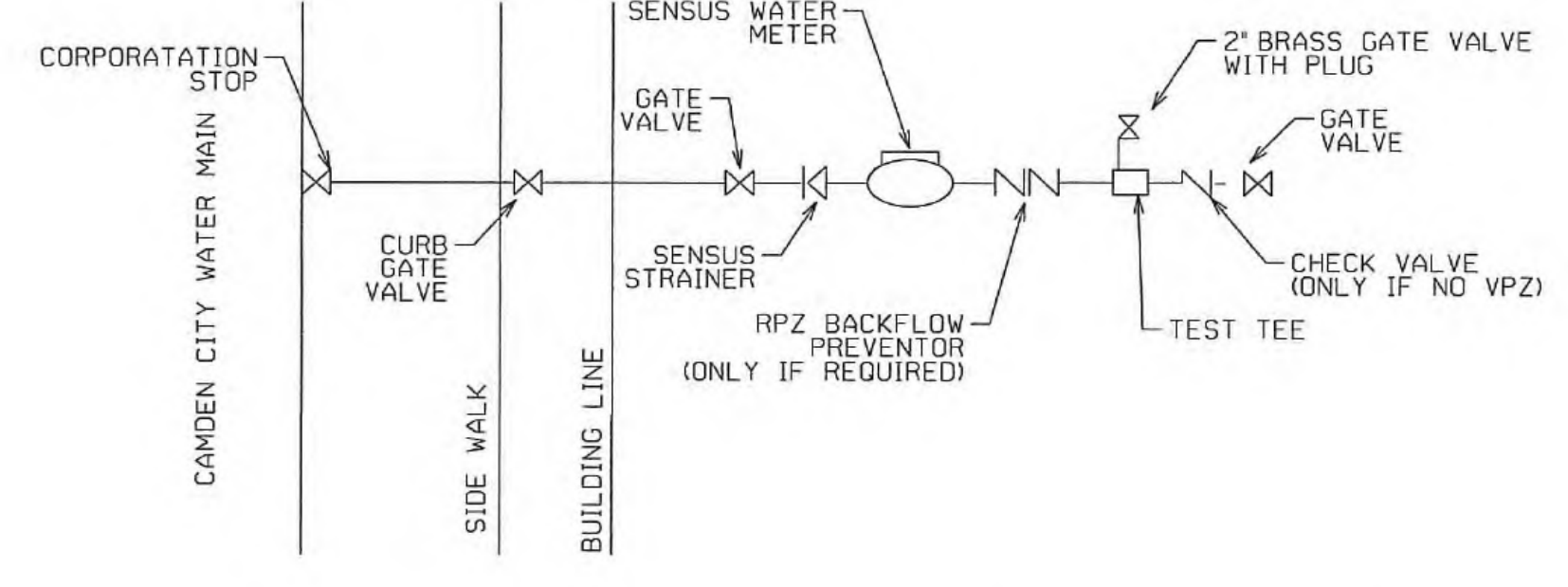


PIPE TRENCH DETAIL
NOT TO SCALE



SUBSTATION CRUSHED STONE
NOT TO SCALE

NOTES:
1. GRADATION OF 3/4" CLEAN CRUSHED STONE SHALL BE AS FOLLOWS:
100% PASSING 1-1/4" SCREEN
45% TO 75% PASSING 3/4" SCREEN
25% TO 45% PASSING 1/2" SCREEN
0 TO 10% PASSING 1/4" SCREEN
2. SURFACE OF ALL YARD AREAS SHALL BE FINISHED TO 0.1 FOOT +/-.

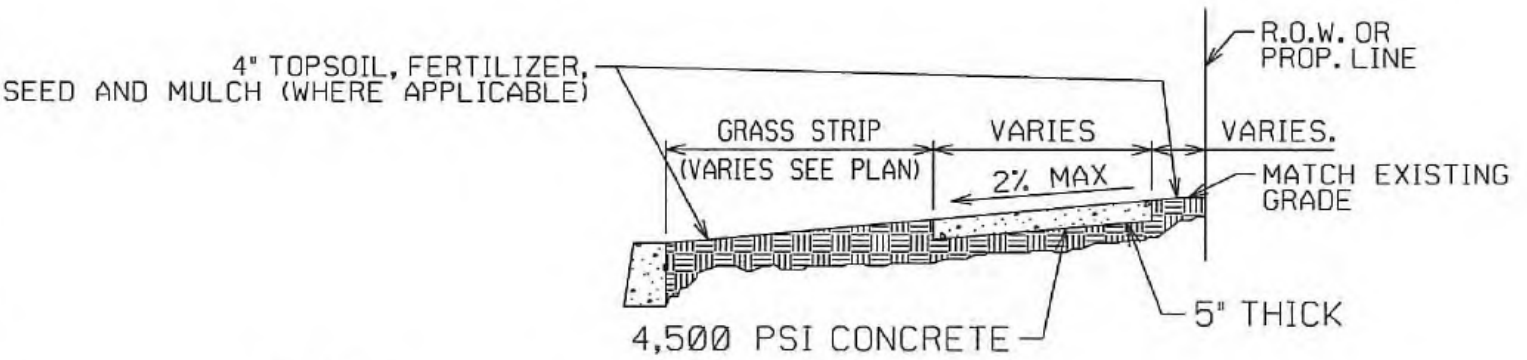


CAMDEN CITY REQUIREMENTS FOR DOMESTIC WATER LINE AND METER INSTALLATIONS
DIVISION OF CAPITAL IMPROVEMENTS AND CONSTRUCTION MANAGEMENT
CITY OF CAMDEN
CAMDEN COUNTY NEW JERSEY



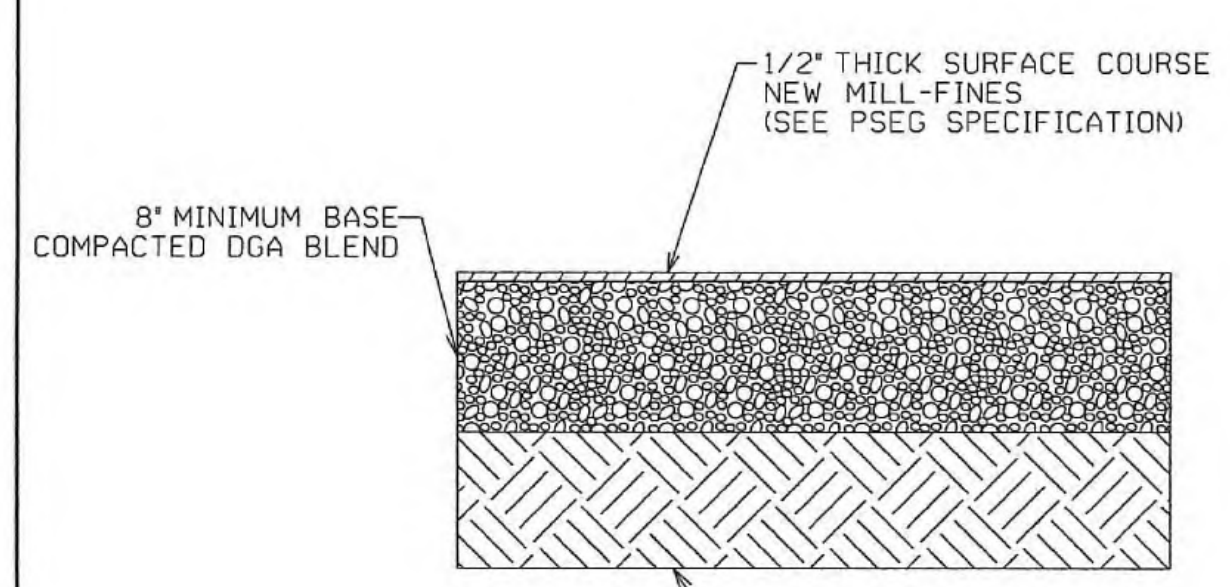
TYPICAL SUBSTATION DETAIL
NOT TO SCALE

NOTES:
1. DANGER HIGH VOLTAGE SIGN SHALL BE MOUNTED TO EXTERIOR OF SECURITY FENCE AT 50' SPACING AT MID-SPAN OF THE TYPICAL 10 FT. FENCE PANEL AND ALL GATE LEAFS. THEY SHALL BE PLACED AT A HEIGHT OF 5 FT.
2. STATION IDENTIFICATION SIGN SHALL BE MOUNTED ON THE SPRUCE STREET AND LOCUST STREET ENTRANCE DRIVE GATES AND ONE AT THE CENTER OF THE SOUTHERN FENCE ALONG THE VACATED CHERRY STREET.
3. 'NO TRESPASSING' SIGNS SHALL BE PLACED ON BOTH SPRUCE STREET AND LOCUST STREET ENTRANCE DRIVE GATES AND ONE AT THE CENTER OF THE SOUTHERN FENCE ALONG THE VACATED CHERRY STREET.
4. SIGNS SHALL BE NON CONDUCTIVE MATERIAL. METAL SIGNS ARE PROHIBITED.
5. SIGNS SHALL BE MOUNTED WITH NYLON ANTI-THEFT BRACKETS.
6. GATE SIGNS SHALL BE POSTED ON ALL GATES AS SHOWN ON THE SITE PLAN.

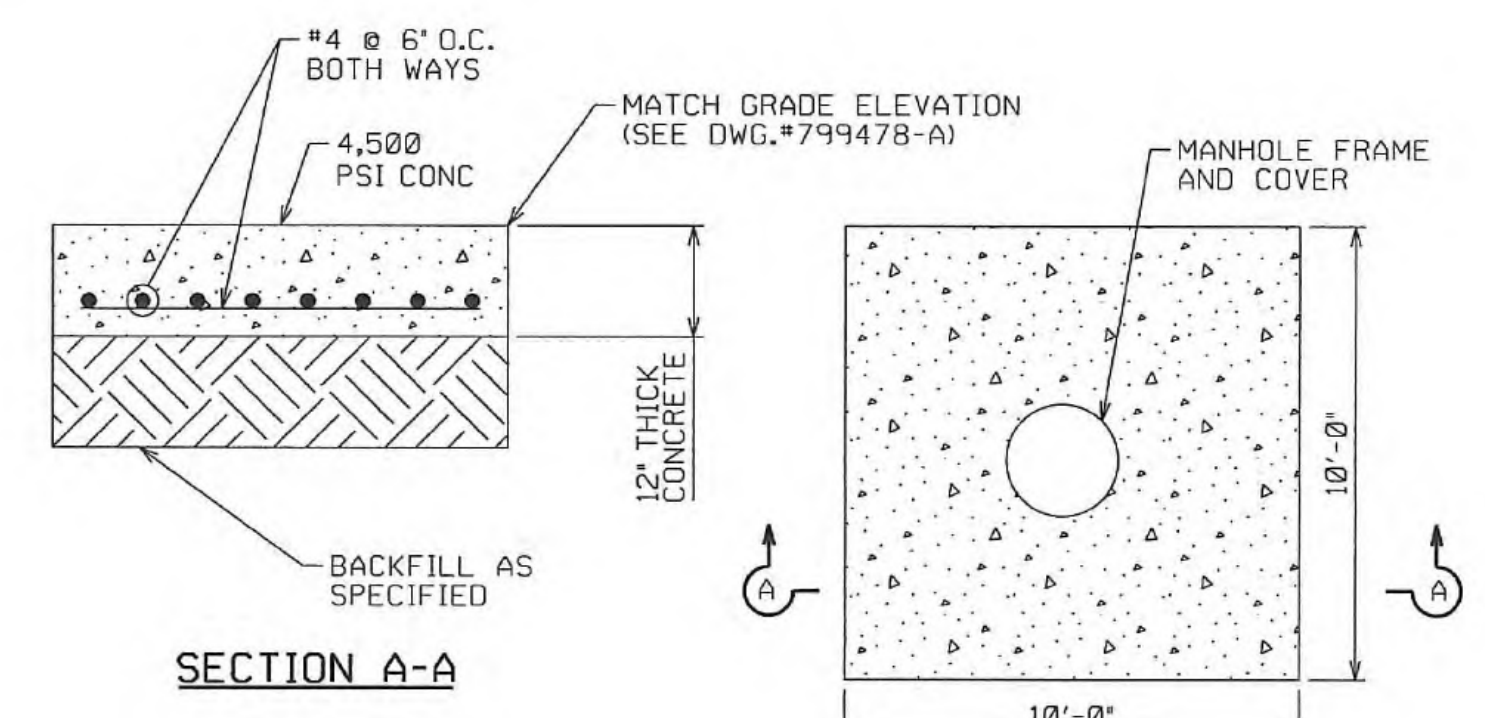


CONCRETE SIDEWALK SECTION

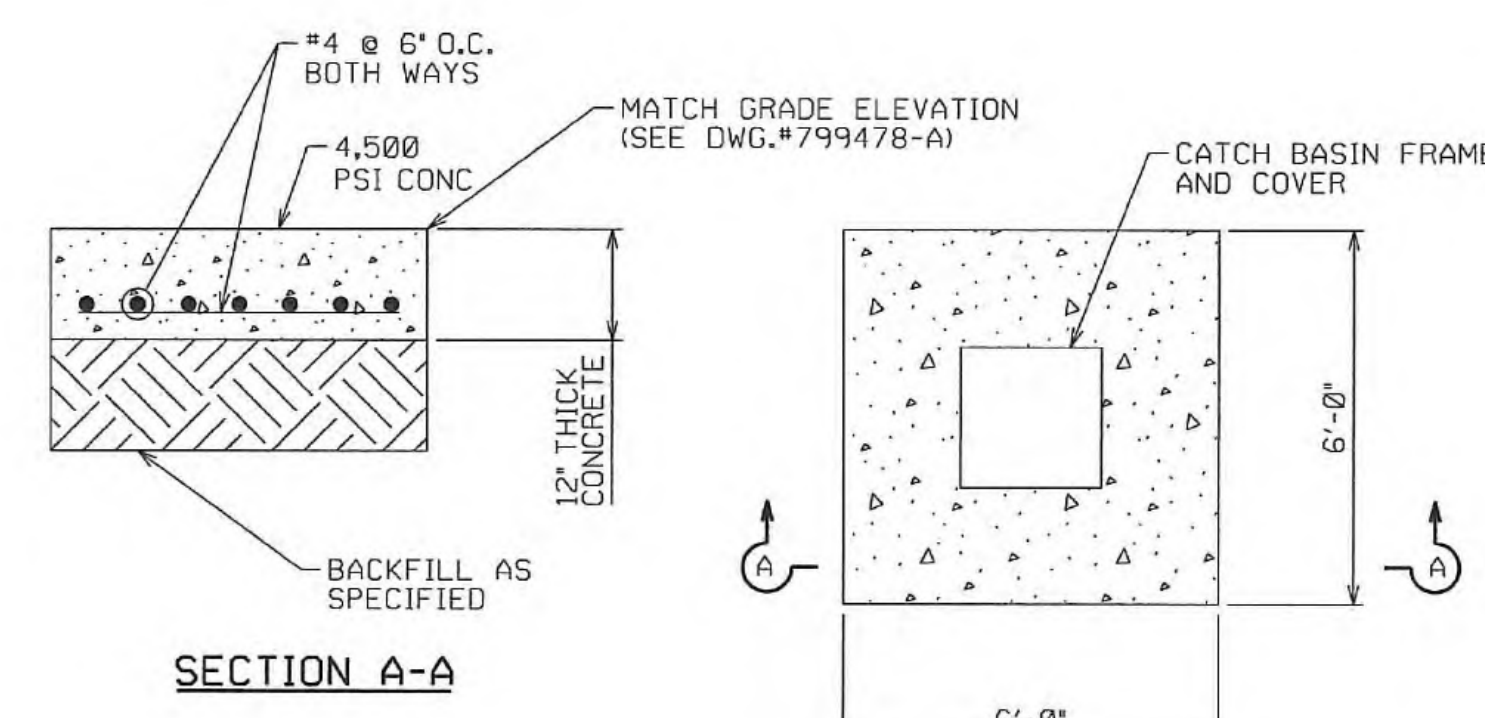
CITY OF CAMDEN
DIVISION OF CAPITAL IMPROVEMENTS AND CONSTRUCTION MANAGEMENT
CAMDEN COUNTY, NEW JERSEY



TYPICAL SUBSTATION ACCESS ROAD MACADAM PAVEMENT
NOT TO SCALE



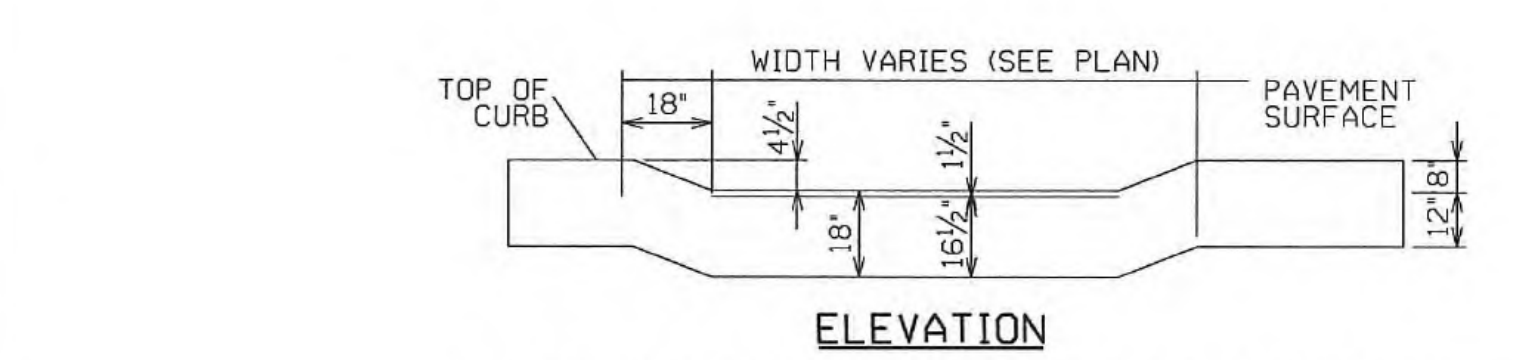
ELECTRIC MANHOLE APRON
NOT TO SCALE



CATCH BASIN APRON
NOT TO SCALE

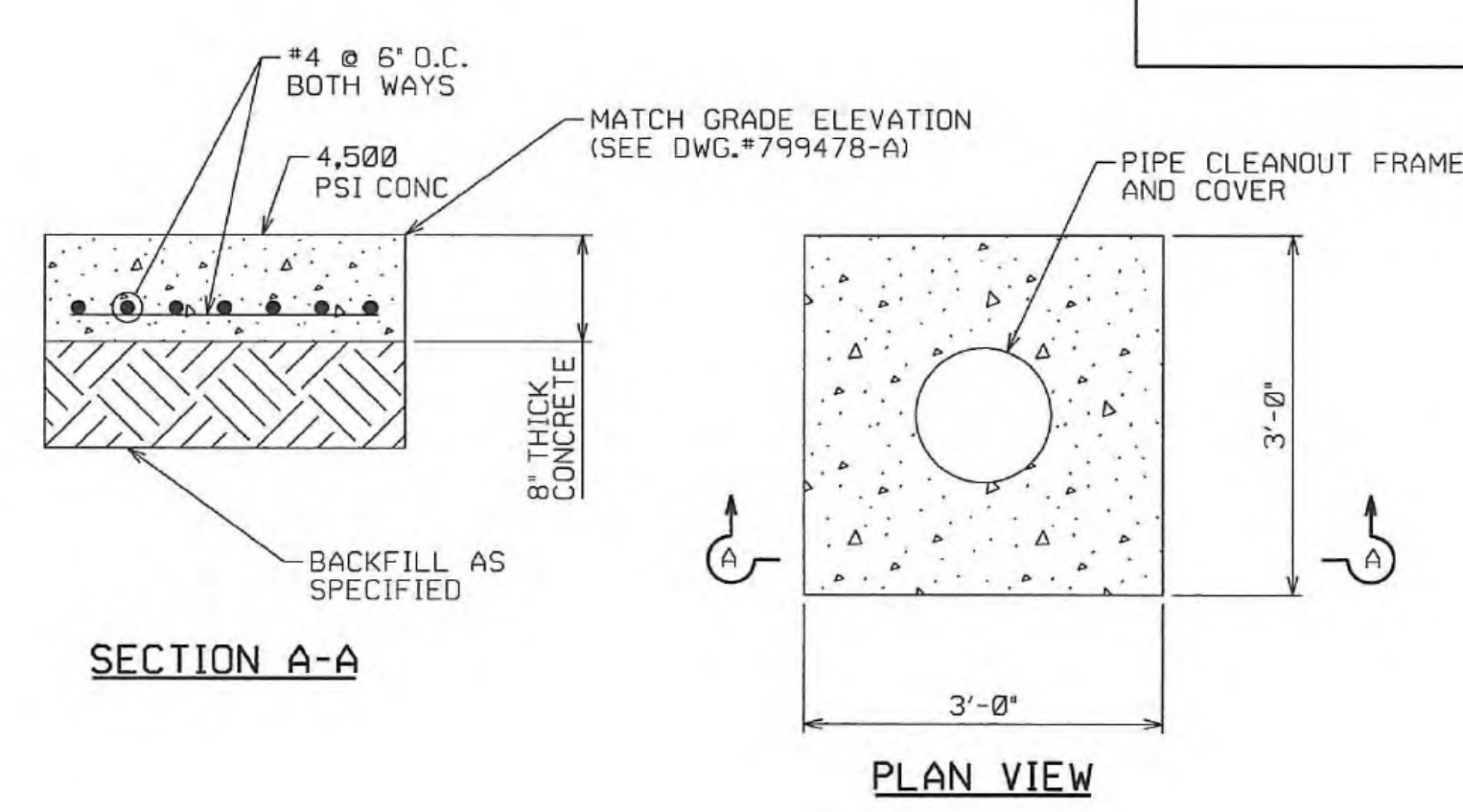
REFERENCE DRAWINGS

1. REMOVAL PLAN	DWG.#799476-A
2. CIVIL SITE PLAN	DWG.#788745-A
3. GRADING AND DRAINAGE PLAN	DWG.#799477-A
4. UTILITY PLAN	DWG.#799478-A
5. STORM DRAIN PROFILES	DWG.#799479-A
6. SOIL EROSION & SEDIMENT CONTROL PLAN	DWG.#799480-A
7. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2	DWG.#799481-A
8. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2	DWG.#799482-A
9. CIVIL DETAILS - SHEET 1 OF 5	DWG.#799483-A
10. CIVIL DETAILS - SHEET 2 OF 5	DWG.#799484-A
11. CIVIL DETAILS - SHEET 3 OF 5	DWG.#799485-A
12. CIVIL DETAILS - SHEET 4 OF 5	DWG.#799486-A
13. CIVIL DETAILS - SHEET 5 OF 5	DWG.#799487-A



DEPRESSED CURB AT DRIVEWAY

CITY OF CAMDEN
DIVISION OF CAPITAL IMPROVEMENTS AND CONSTRUCTION MANAGEMENT
CAMDEN COUNTY NEW JERSEY



PIPE CLEANOUT APRON
NOT TO SCALE

REVISION	DATE	DESCRIPTION
A	10-10-24	ISSUED FOR PERMITTING

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO THIS DRAWING
THIS DRAWING SUPERSEDES NONE
CHRISTOPHER D. WILSON
N.J. PROFESSIONAL ENGINEER
LIC. NO. 24GE05369300
C.O.A. NO. 24GA28065400

NO	DATE	DESCRIPTION	DWN	CKD	EXC	APD

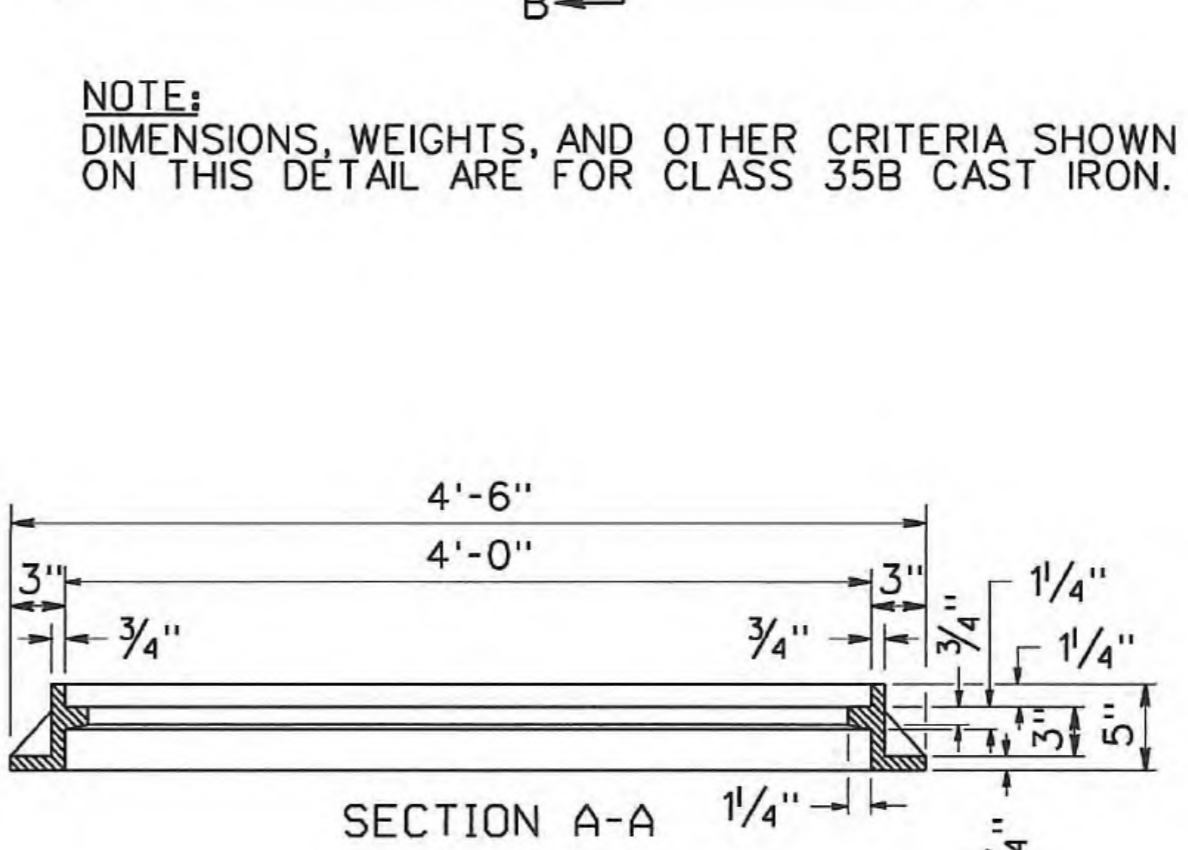
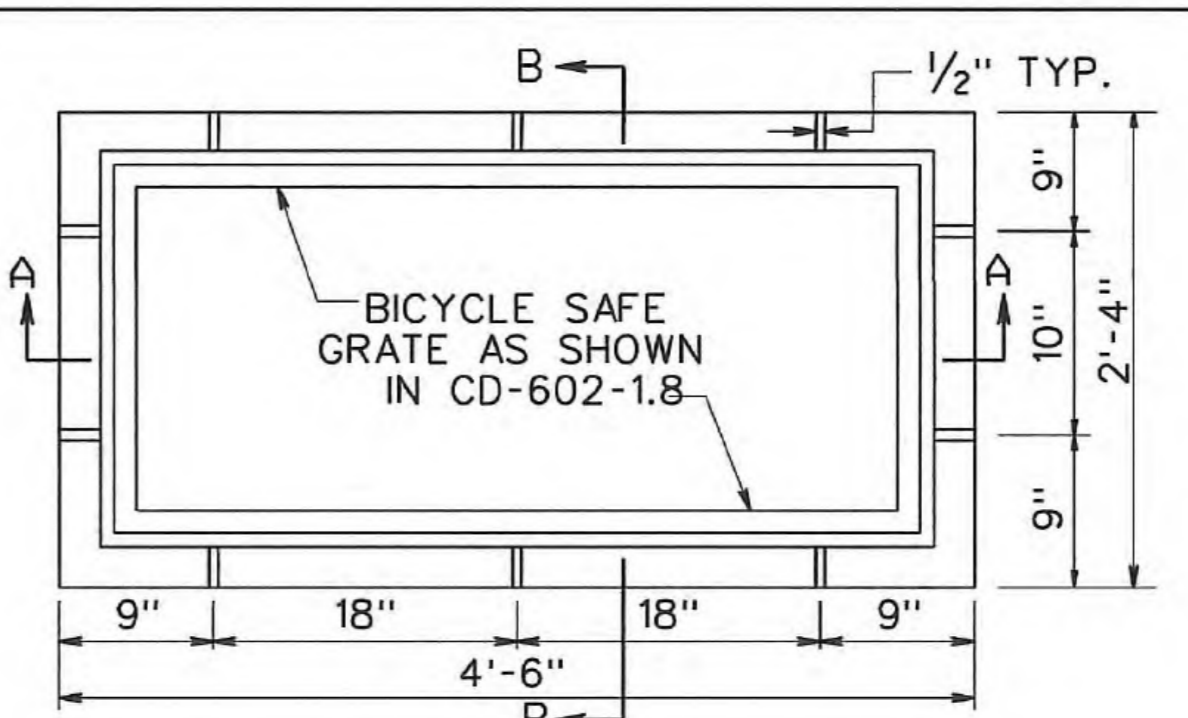
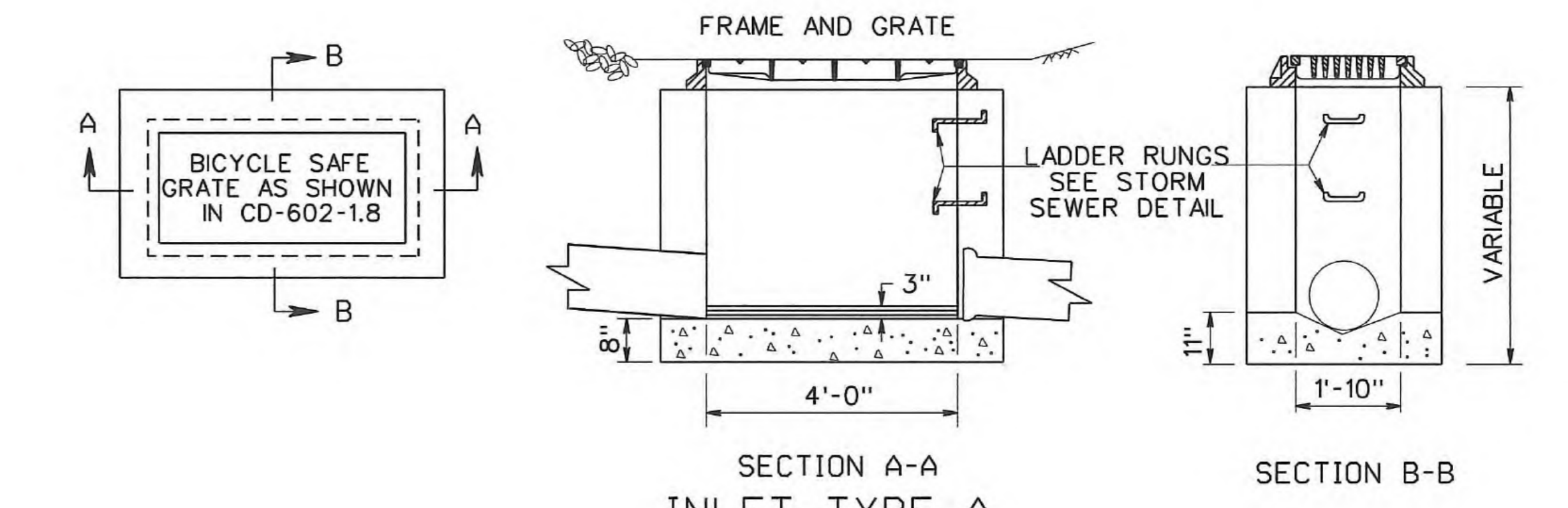
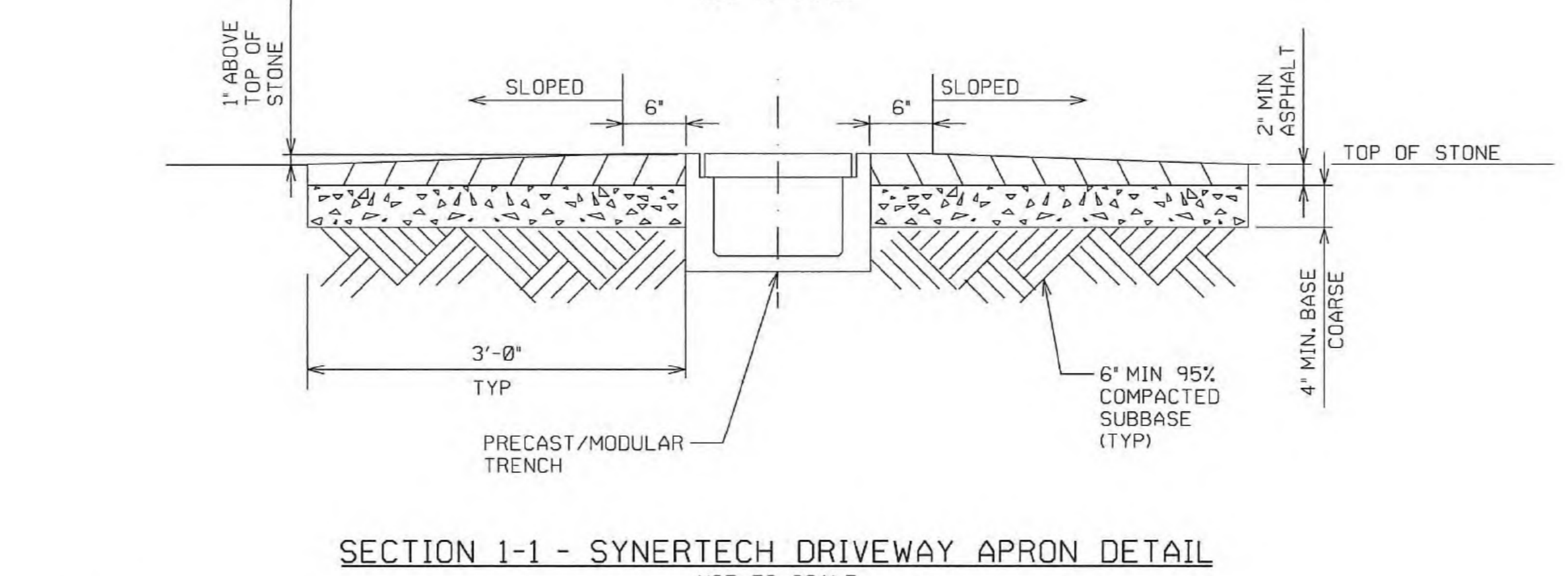
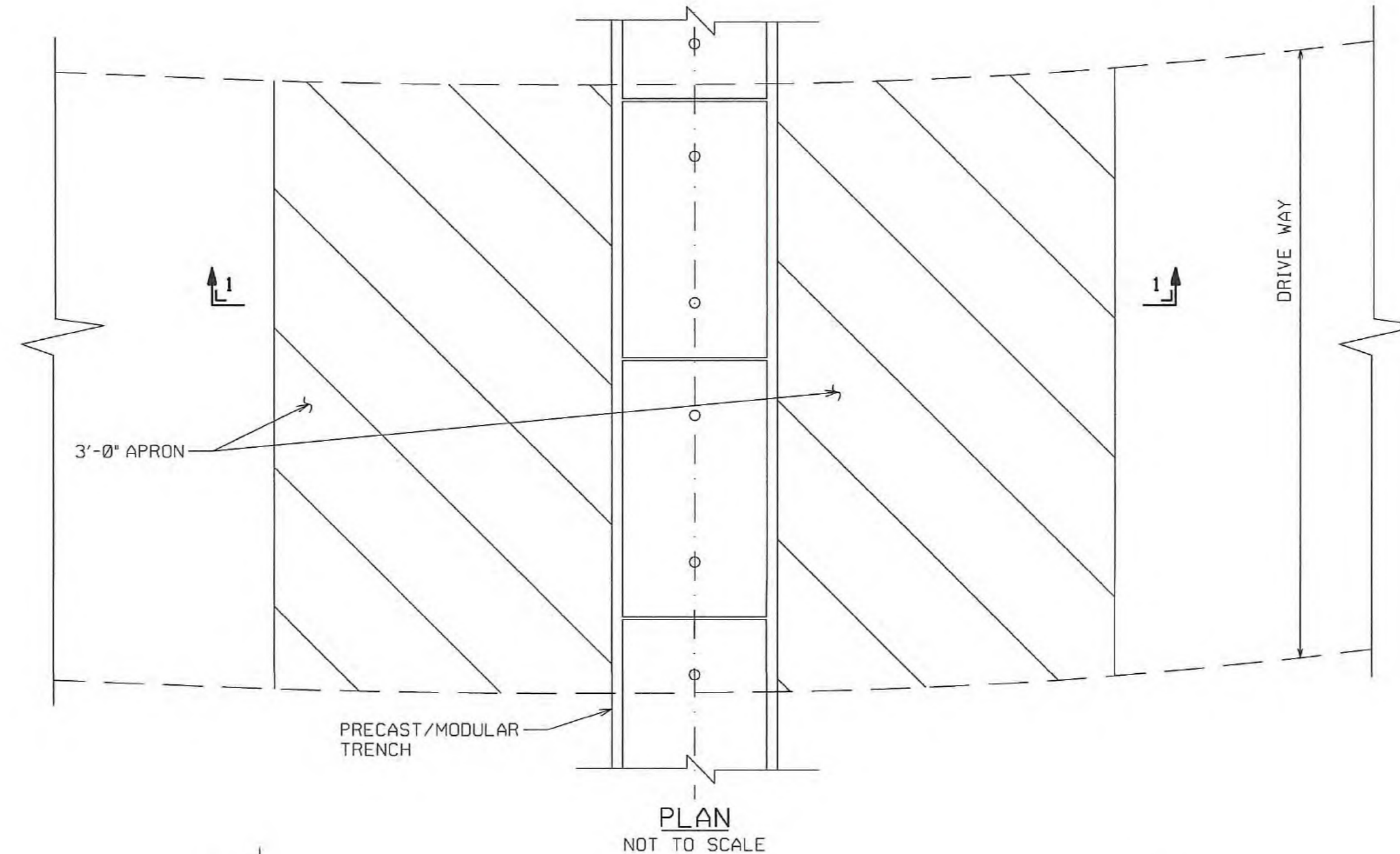
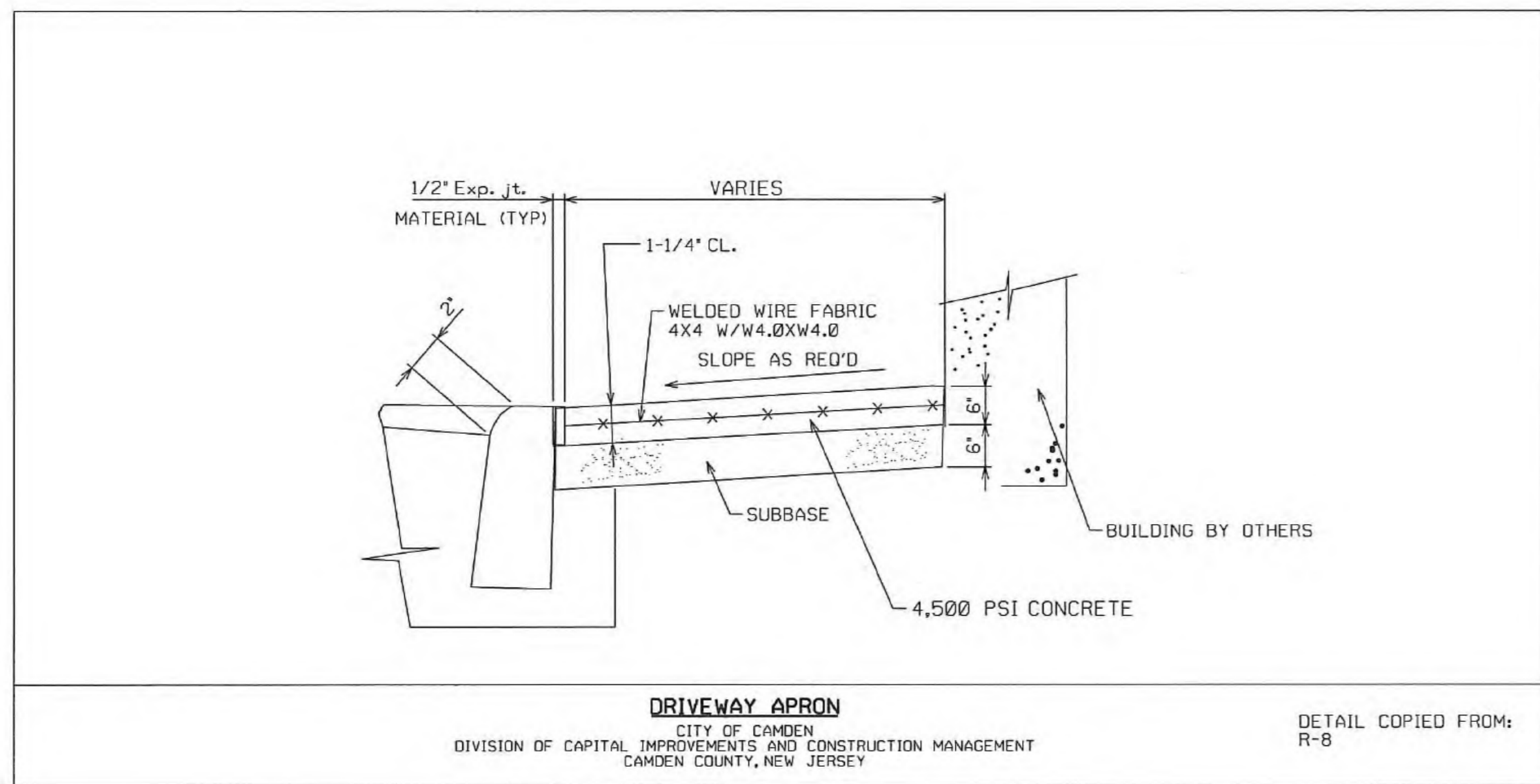
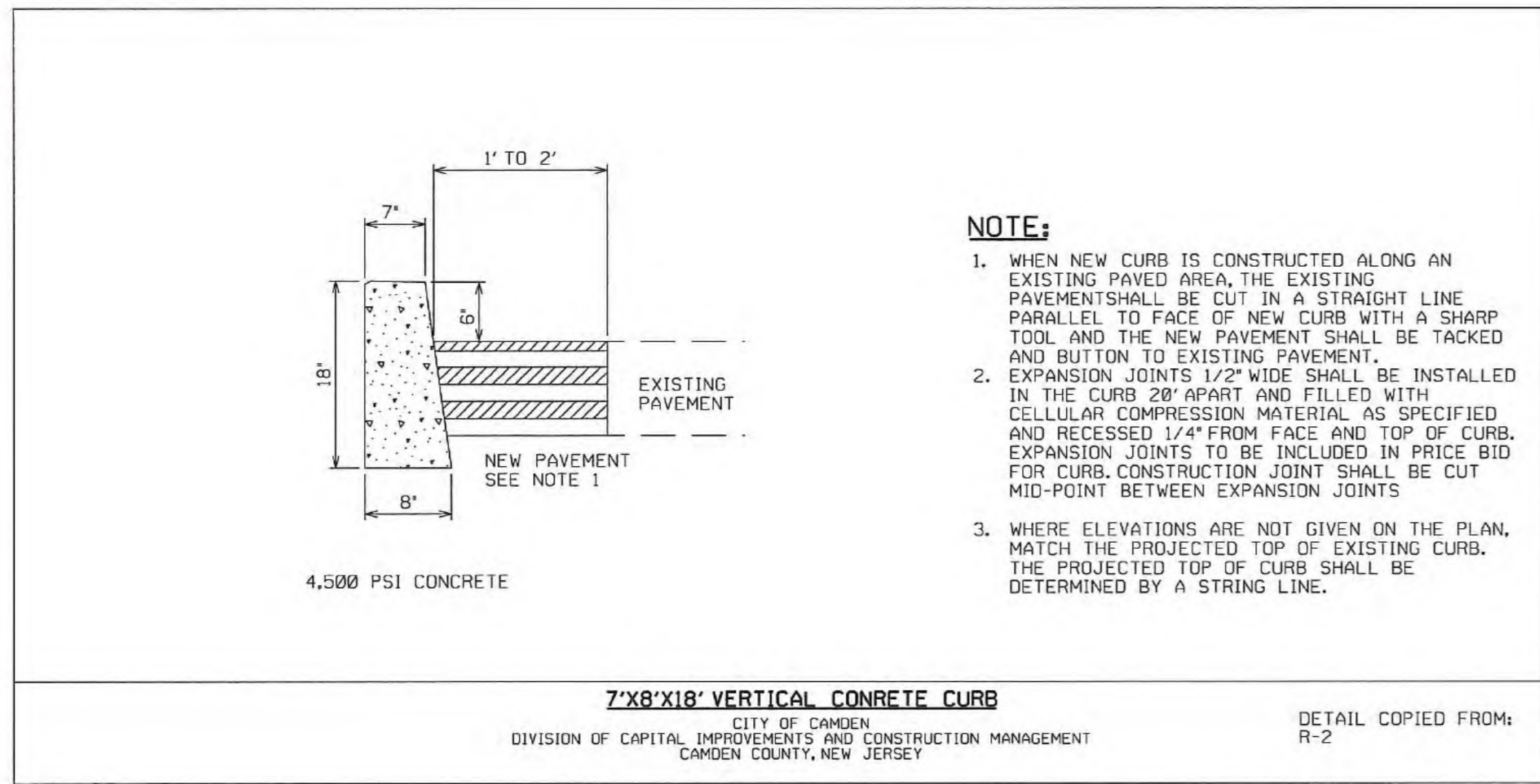
REVISION
LOCUST STREET BREAKER STATION
69/13KV BREAKER STATION & 69/13KV SUBSTATION
CIVIL DETAILS

DETAILS SH 2 CIVIL

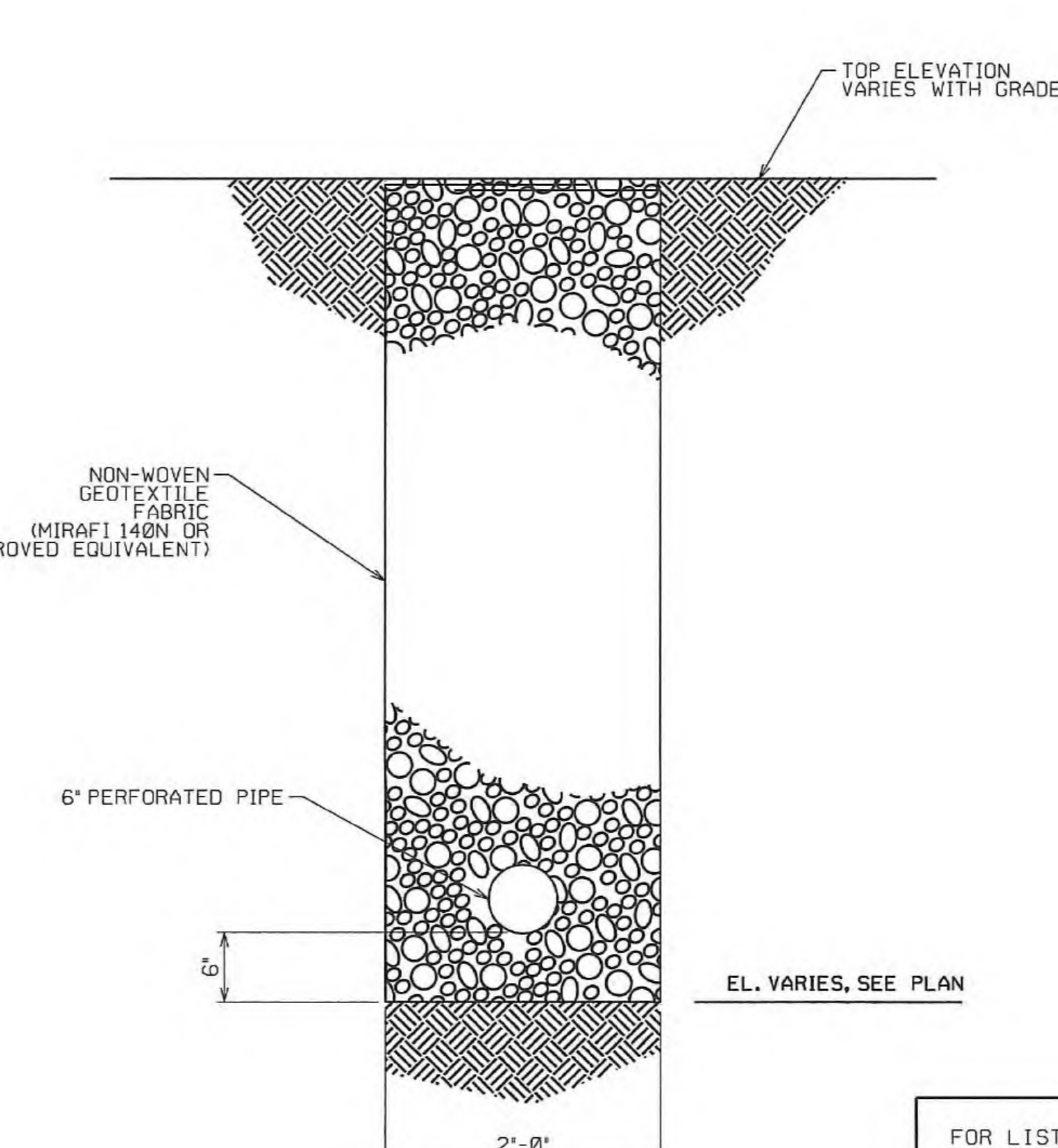
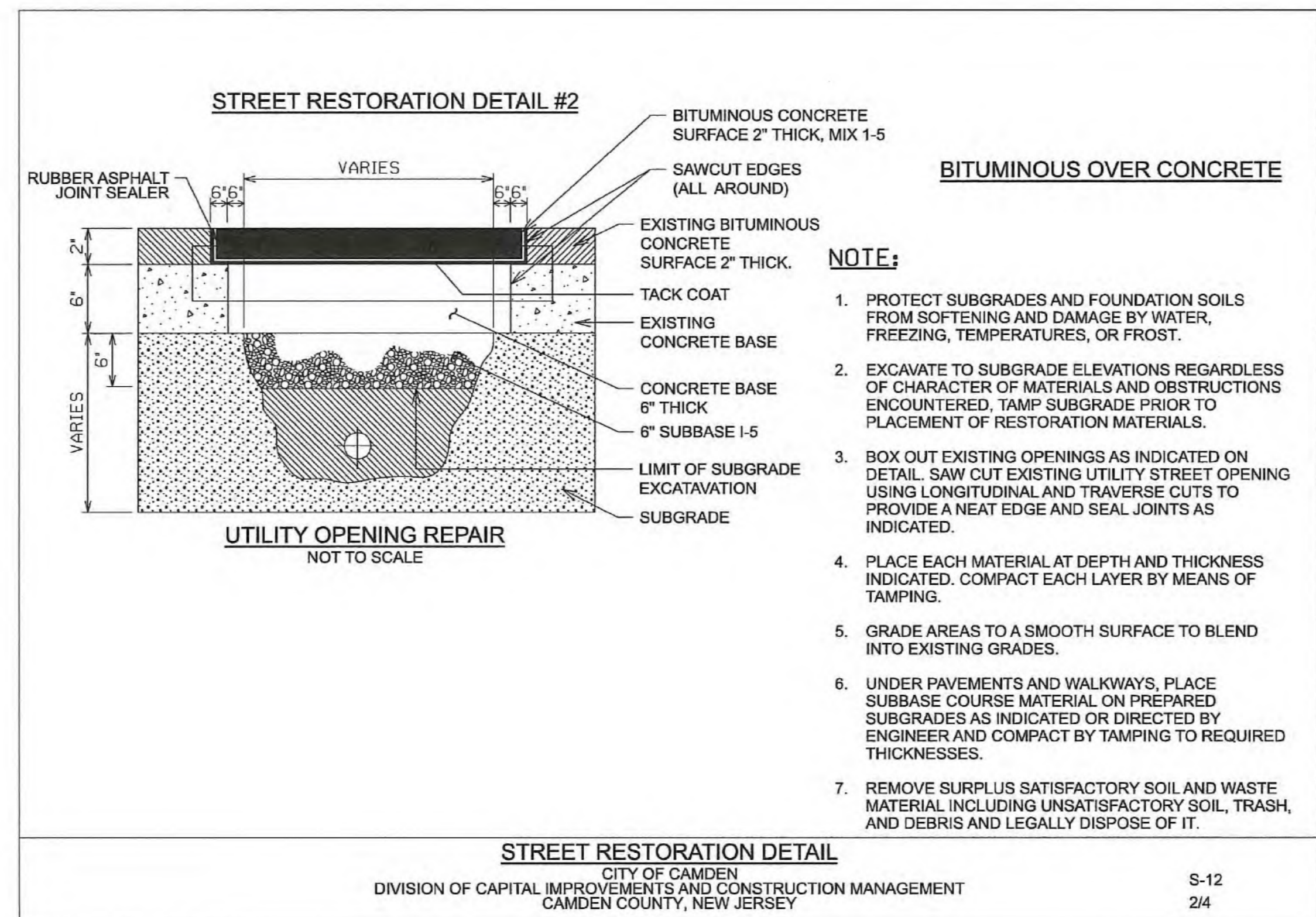
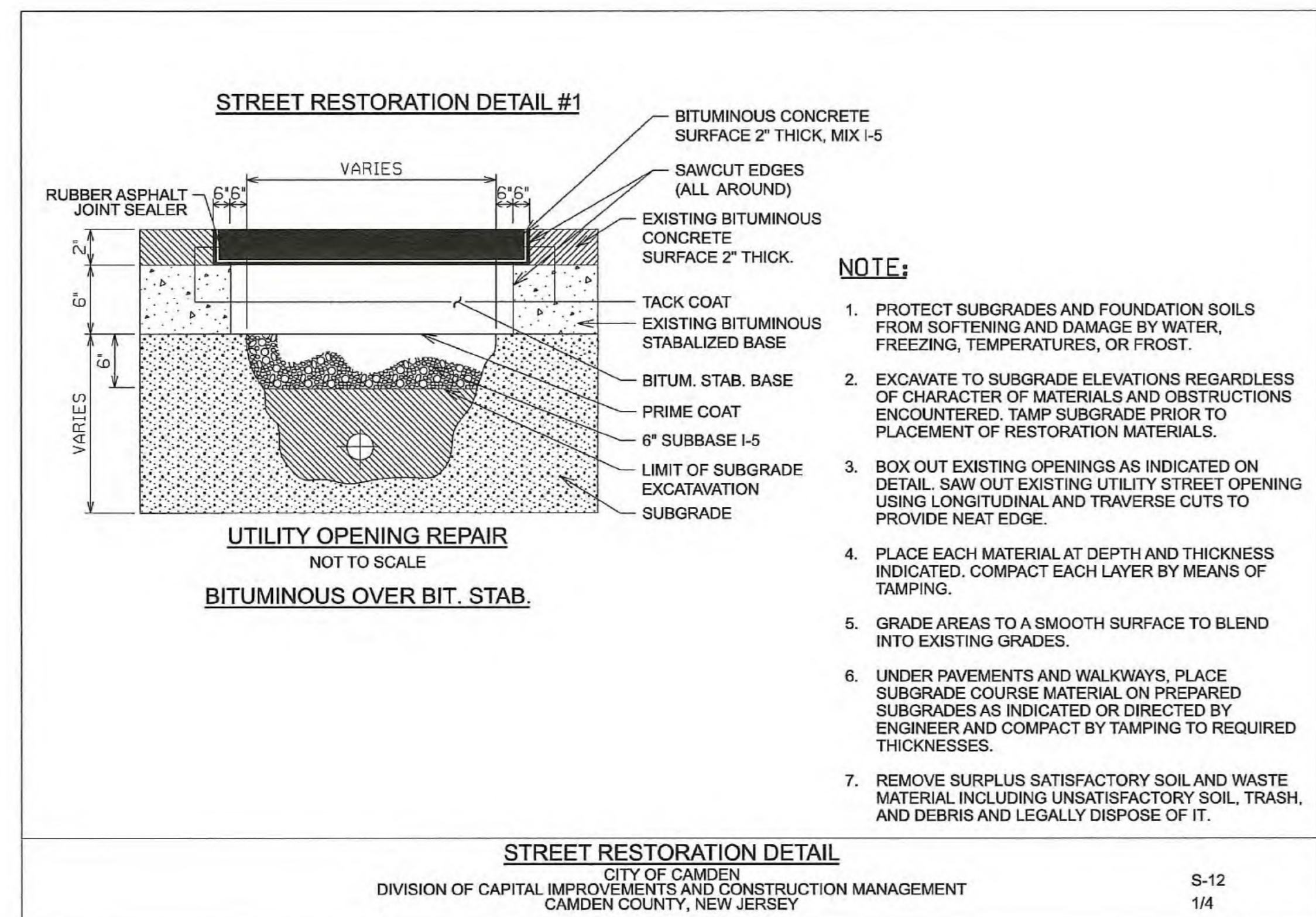
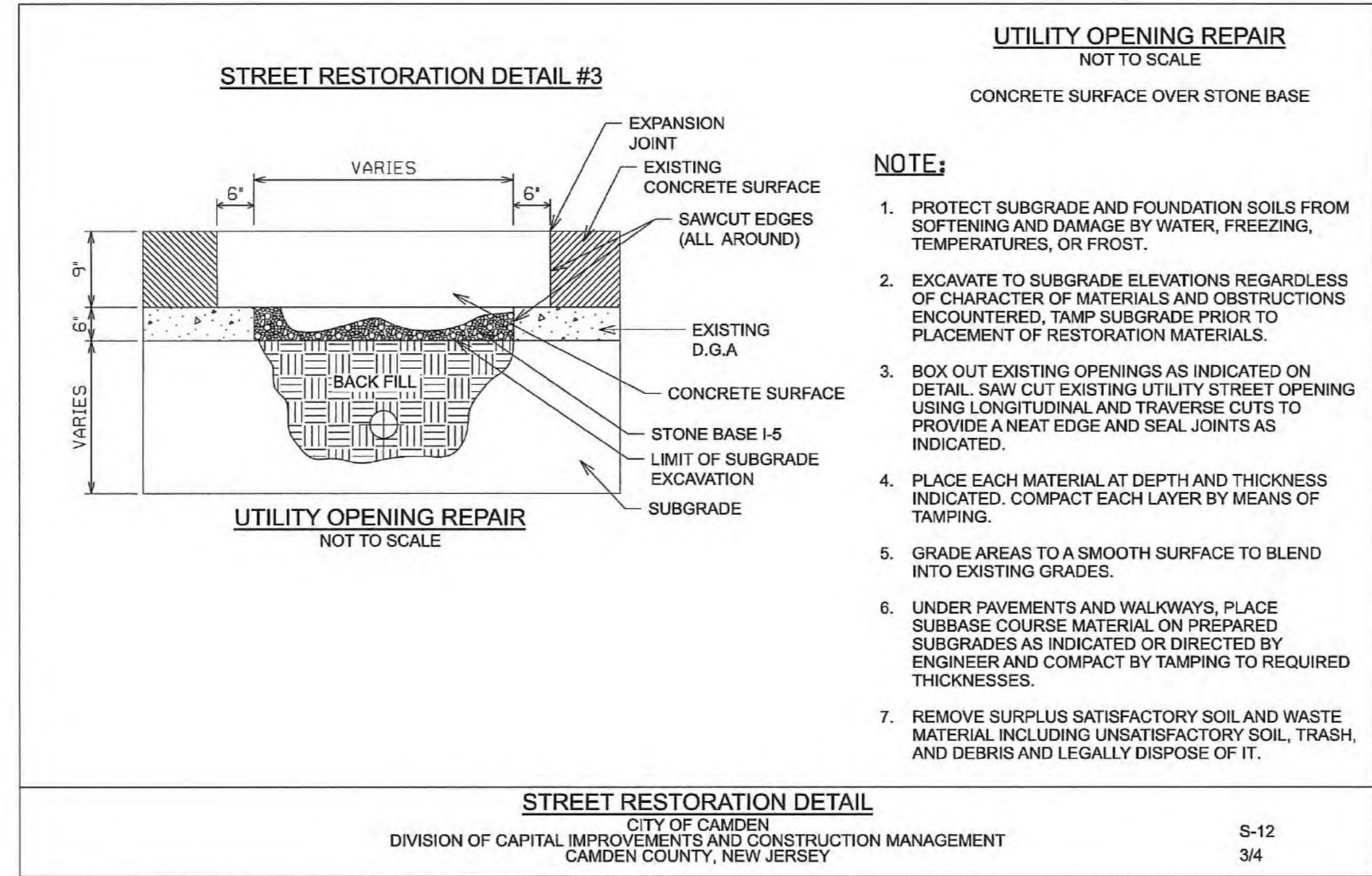
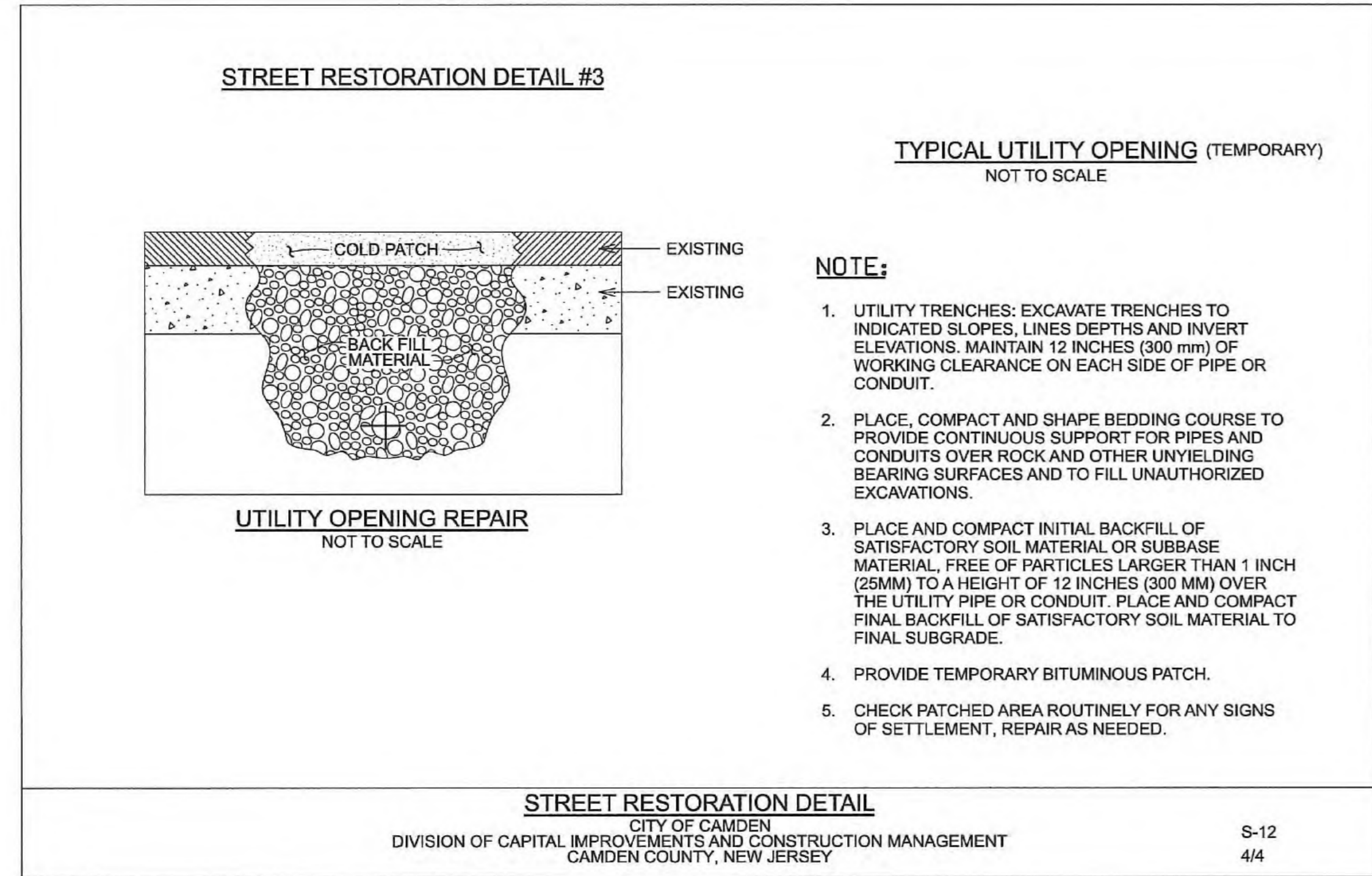
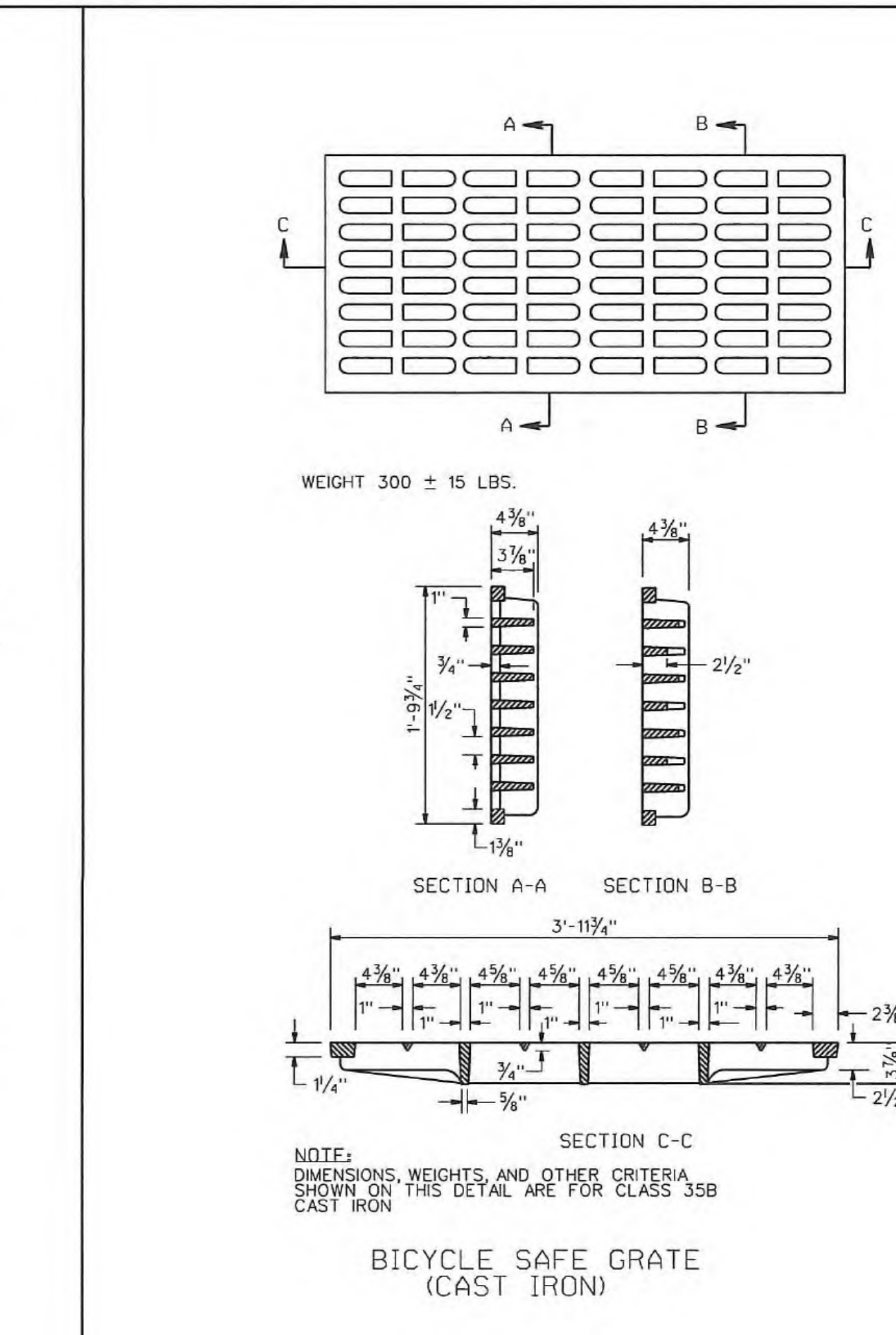
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN: A. HASSEBROEK CHECKED: C. WILSON SCALE: NONE
DATE: 9/26/23 EXAMINED: _____
WBS: C.92302.1.B.1.1.2.1 APPROVED: _____

799484 A -0R



WEIGHTS
WEIGHT OF FRAME = 240#
WEIGHT OF GRATE = 325#



- REFERENCE DRAWINGS**
- REMOVAL PLAN DWG.#799476-A
 - CIVIL SITE PLAN DWG.#788745-A
 - GRADING AND DRAINAGE PLAN DWG.#799477-A
 - UTILITY PLAN DWG.#799478-A
 - STORM DRAIN PROFILES DWG.#799479-A
 - SOIL EROSION & SEDIMENT CONTROL PLAN DWG.#799480-A
 - SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2 DWG.#799481-A
 - SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2 DWG.#799482-A
 - CIVIL DETAILS - SHEET 1 OF 5 DWG.#799483-A
 - CIVIL DETAILS - SHEET 2 OF 5 DWG.#799484-A
 - CIVIL DETAILS - SHEET 4 OF 5 DWG.#799485-A
 - CIVIL DETAILS - SHEET 5 OF 5 DWG.#799486-A

NO	DATE	DESCRIPTION	DWN	KXD	EXD	APD

REVISION
LOCUST STREET BREAKER STATION
69/13KV BREAKER STATION & 69/13KV SUBSTATION
CIVIL DETAILS

DETAILS SH 3 CIVIL

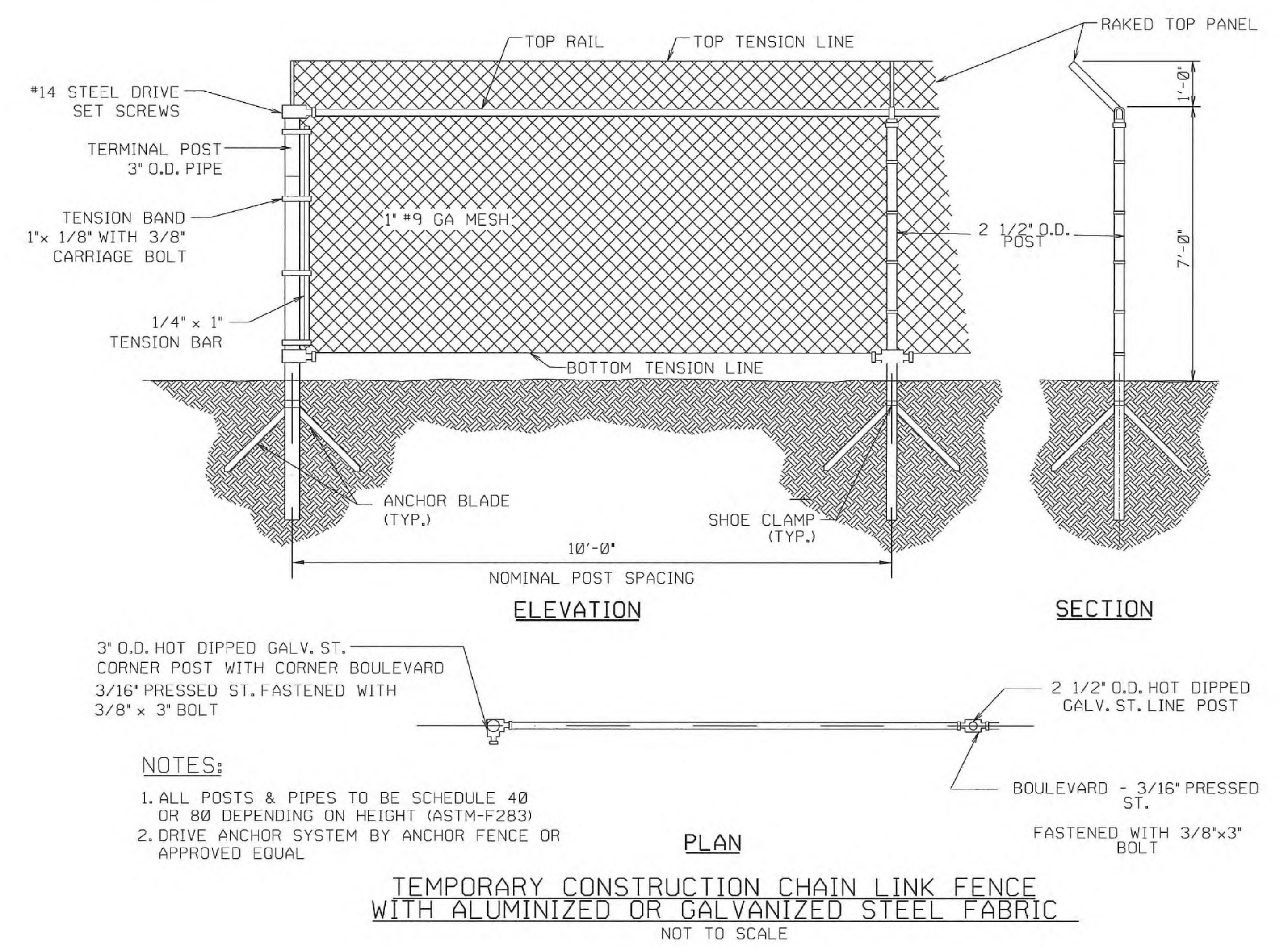
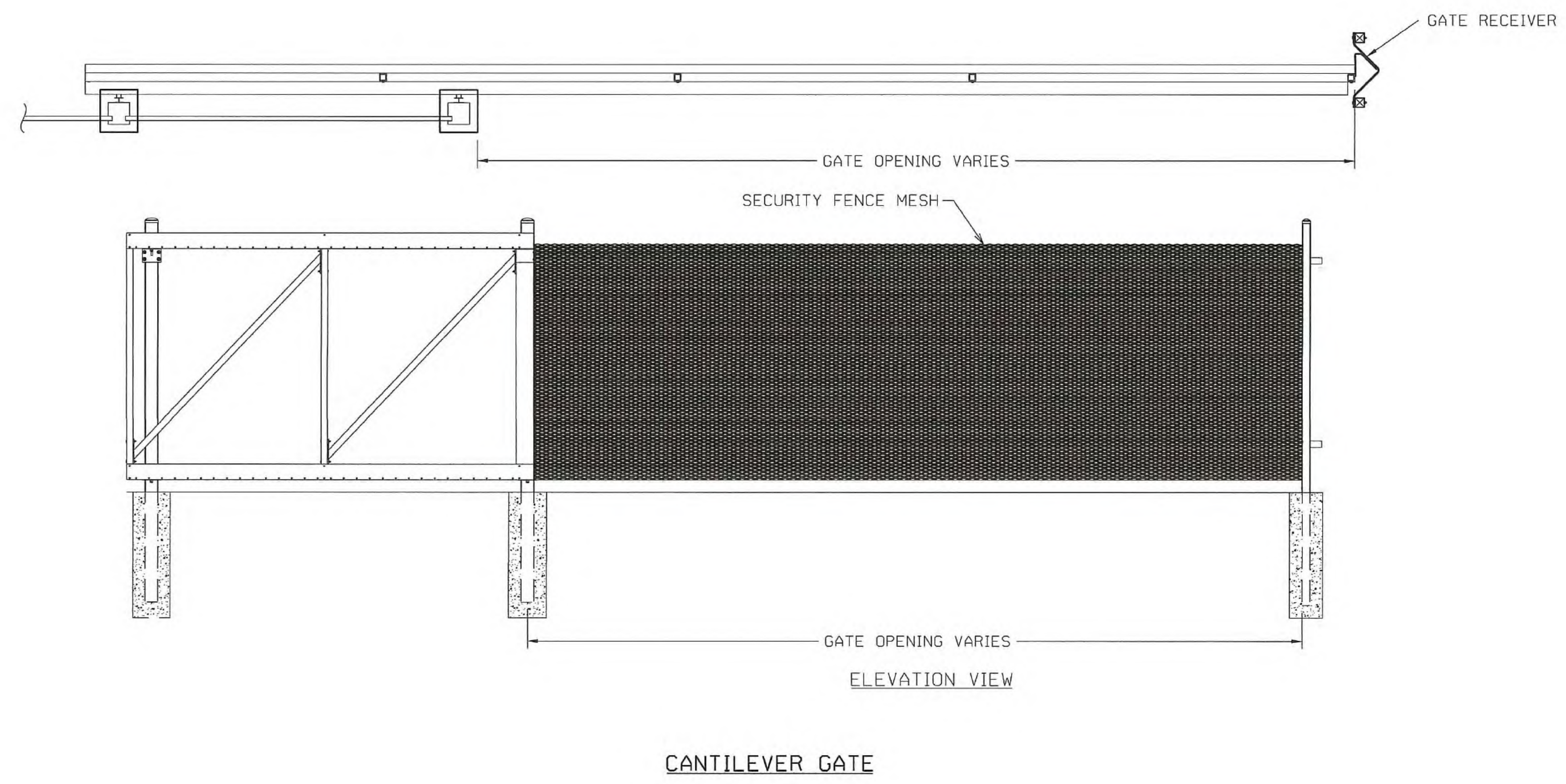
PSE&G
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO THIS DRAWING
THIS DRAWING SUPERSEDES NONE

CHRISTOPHER D. WILSON
Christopher Wilson
N.J. PROFESSIONAL ENGINEER
LIC. NO. 24GE05369800
C.O.A. NO. 24GA2806400

DRAWN - A. HASSEBROEK CHECKED - C. WILSON SCALE - NONE
DATE - 9/26/23 EXAMINED -
WBS - C:92302.LB.1.1.2.1 APPROVED -

799485 A -OR



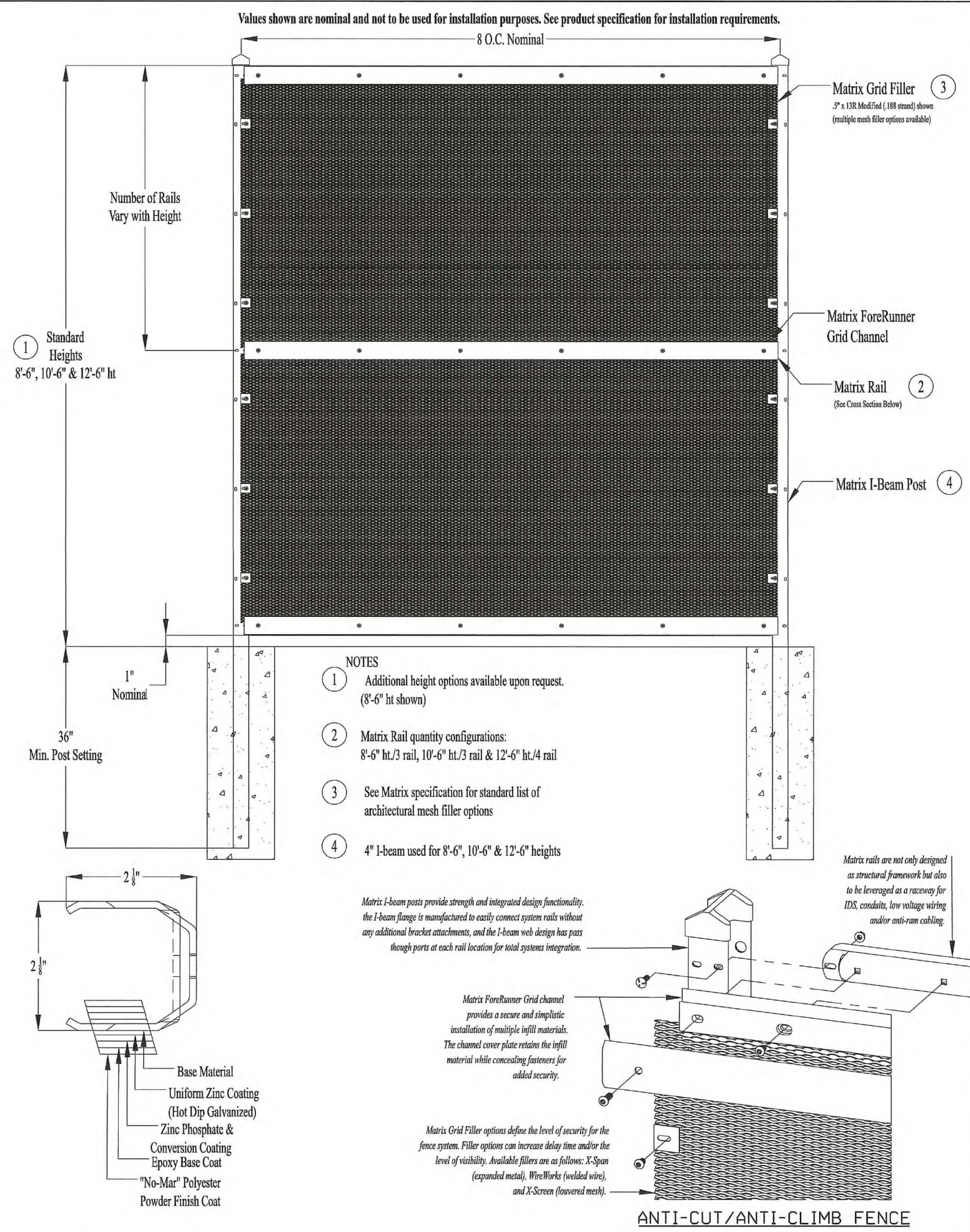
3" O.D. HOT DIPPED GALV. ST. CORNER POST WITH CORNER BOULEVARD
3/16" PRESSED ST. FASTENED WITH 3/8" x 3" BOLT

2 1/2" O.D. HOT DIPPED GALV. ST. LINE POST

BOULEVARD - 3/16" PRESSED ST. FASTENED WITH 3/8" x 3" BOLT

NOTES:

1. ALL POSTS & PIPES TO BE SCHEDULE 40 OR #0 DEPENDING ON HEIGHT (ASTM-F283)
2. DRIVE ANCHOR SYSTEM BY ANCHOR FENCE OR APPROVED EQUAL



- NOTES**
1. Additional height options available upon request. (8'-6" ht shown)
 2. Matrix Rail quantity configurations: 8'-6" ht/3 rail, 10'-6" ht/3 rail & 12'-6" ht/4 rail
 3. See Matrix specification for standard list of architectural mesh filler options
 4. 4" I-beam used for 8'-6", 10'-6" & 12'-6" heights

- REFERENCE DRAWINGS**
1. REMOVAL PLAN DWG.#799476
 2. CIVIL SITE PLAN DWG.#798745
 3. GRADING AND DRAINAGE PLAN DWG.#799477
 4. UTILITY PLAN DWG.#799479
 5. STORM DRAIN PROFILES DWG.#799479
 6. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2 DWG.#799481
 7. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2 DWG.#799482
 8. CIVIL DETAILS - SHEET 1 OF 5 DWG.#799483
 9. CIVIL DETAILS - SHEET 2 OF 5 DWG.#799484
 10. CIVIL DETAILS - SHEET 3 OF 5 DWG.#799485
 11. CIVIL DETAILS - SHEET 4 OF 5 DWG.#799526
 12. CIVIL DETAILS - SHEET 5 OF 5 DWG.#799526
 13. GROUNDING DETAILS - SHEET 3 OF 3 DWG.#799526

REVISION	DATE	DESCRIPTION
A	10-18-24	ISSUED FOR PERMITTING

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO THIS DRAWING THIS DRAWING SUPERSEDES NONE

CHRISTOPHER D. WILSON

THE REGISTRANT OF THE NEWLY APPLIED SEAL ASSUMES RESPONSIBILITY FOR THE CHANGES AS INDICATED BY THE FOLLOWING REVISION NUMBER

N.J. PROFESSIONAL ENGINEER
LIC. NO. 240E05369800
C.D.A. NO. 24GA28066400

NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION 69/13KV BREAKER STATION & 69/13KV SUBSTATION CIVIL DETAILS						
DETAILS SH 4 CIVIL						
PSEG						
PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.						
DRAWN: A. HASSEBROEK CHECKED: C. WILSON SCALE: NONE						
DATE: 9/26/23 EXAMINED: _____						
WBS: C:92302:1.B.1.1.2.1 APPROVED: _____						
799486 A						-OR

MATRIX Secure Perimeter Enclosure Grid

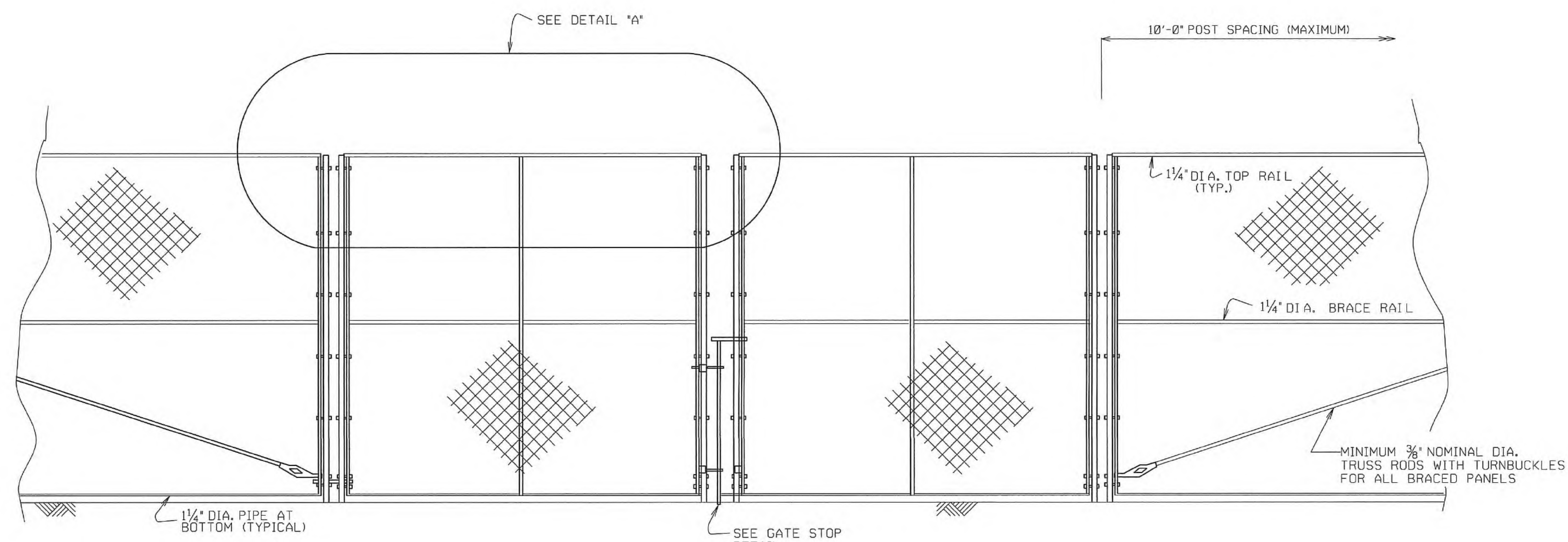
DR: shmy SH: 1 OF 1 SCALE: DO NOT SCALE

CK: DATE: 9/21/2015 REV: A

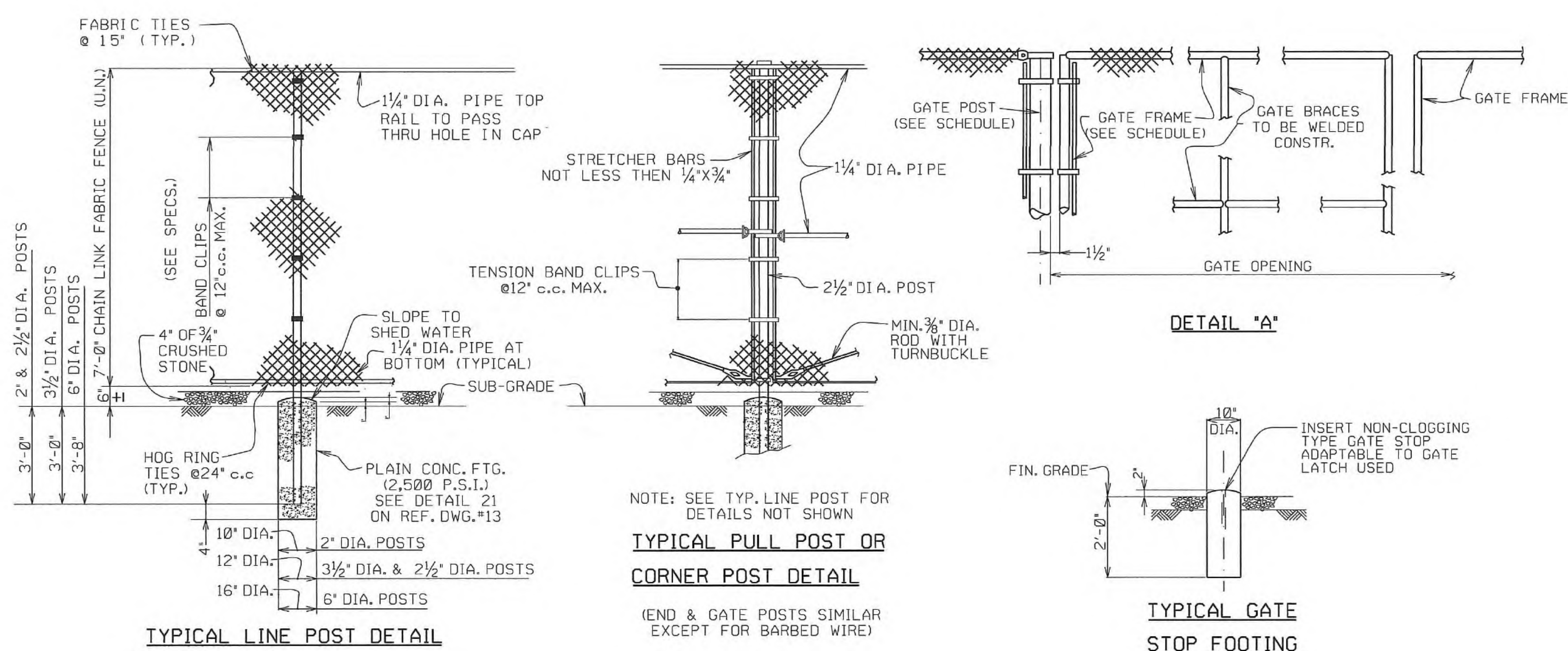
AMERISTAR

1555 N. Mingo
Tulsa, OK 74116
1-888-333-3422
www.ameristarfence.com

8'-8" SECURITY FENCE DETAIL

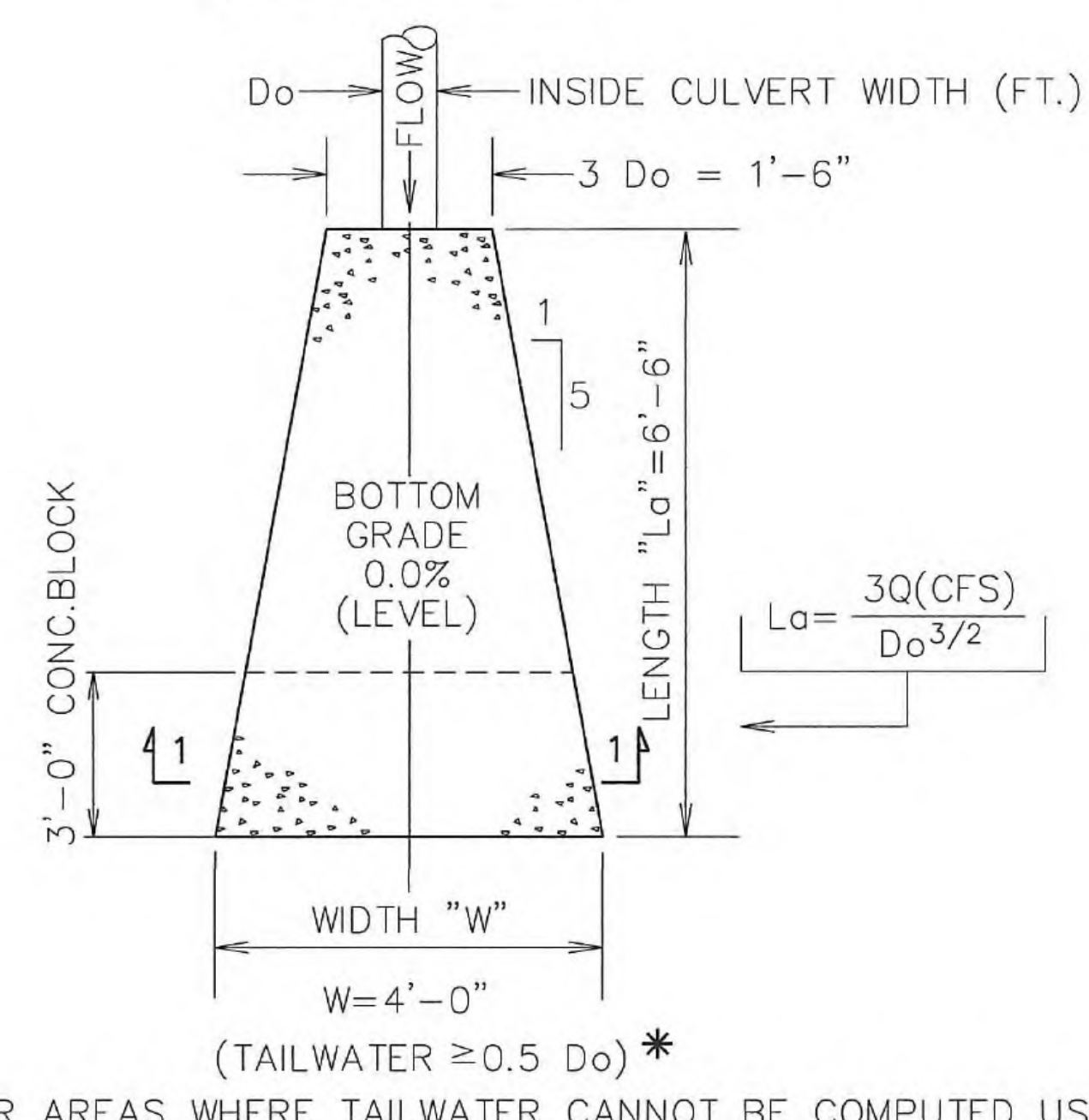
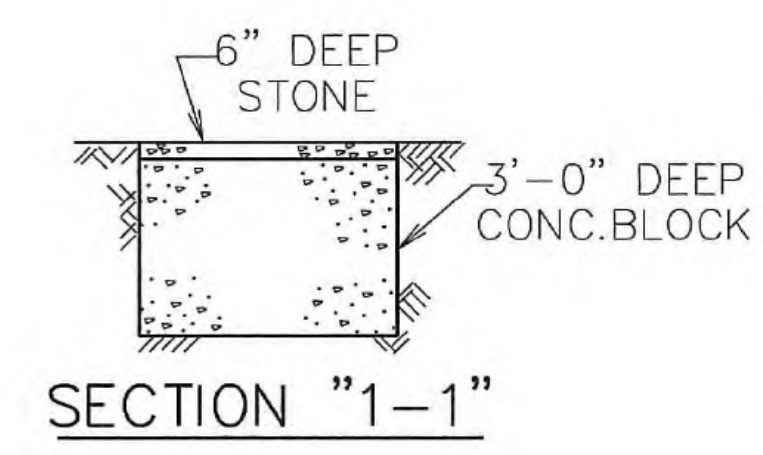


STANDARD DOUBLE DRIVE GATE & CHAIN LINK FENCE ELEVATION



DETAIL 'A'

TYPICAL GATE STOP FOOTING



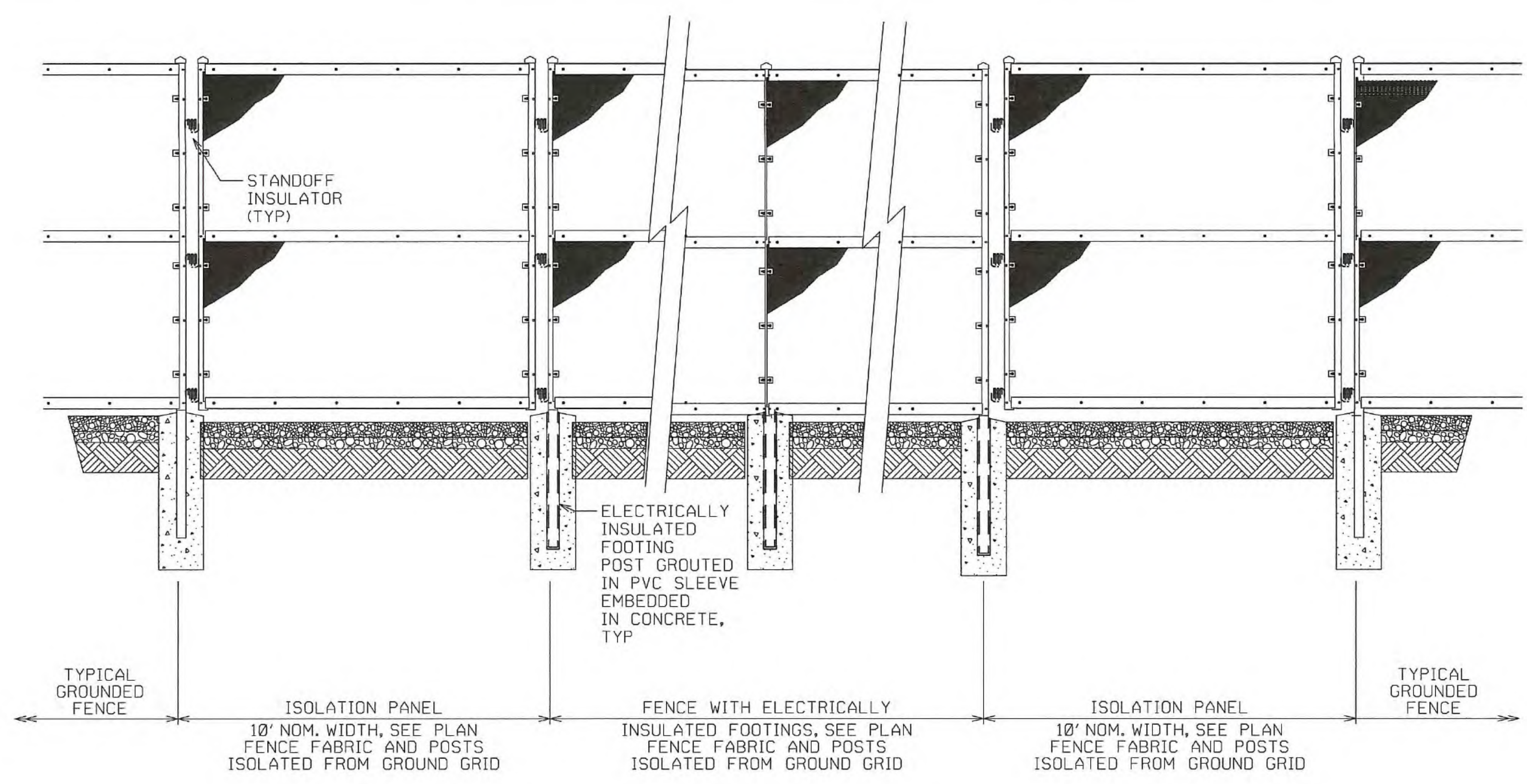
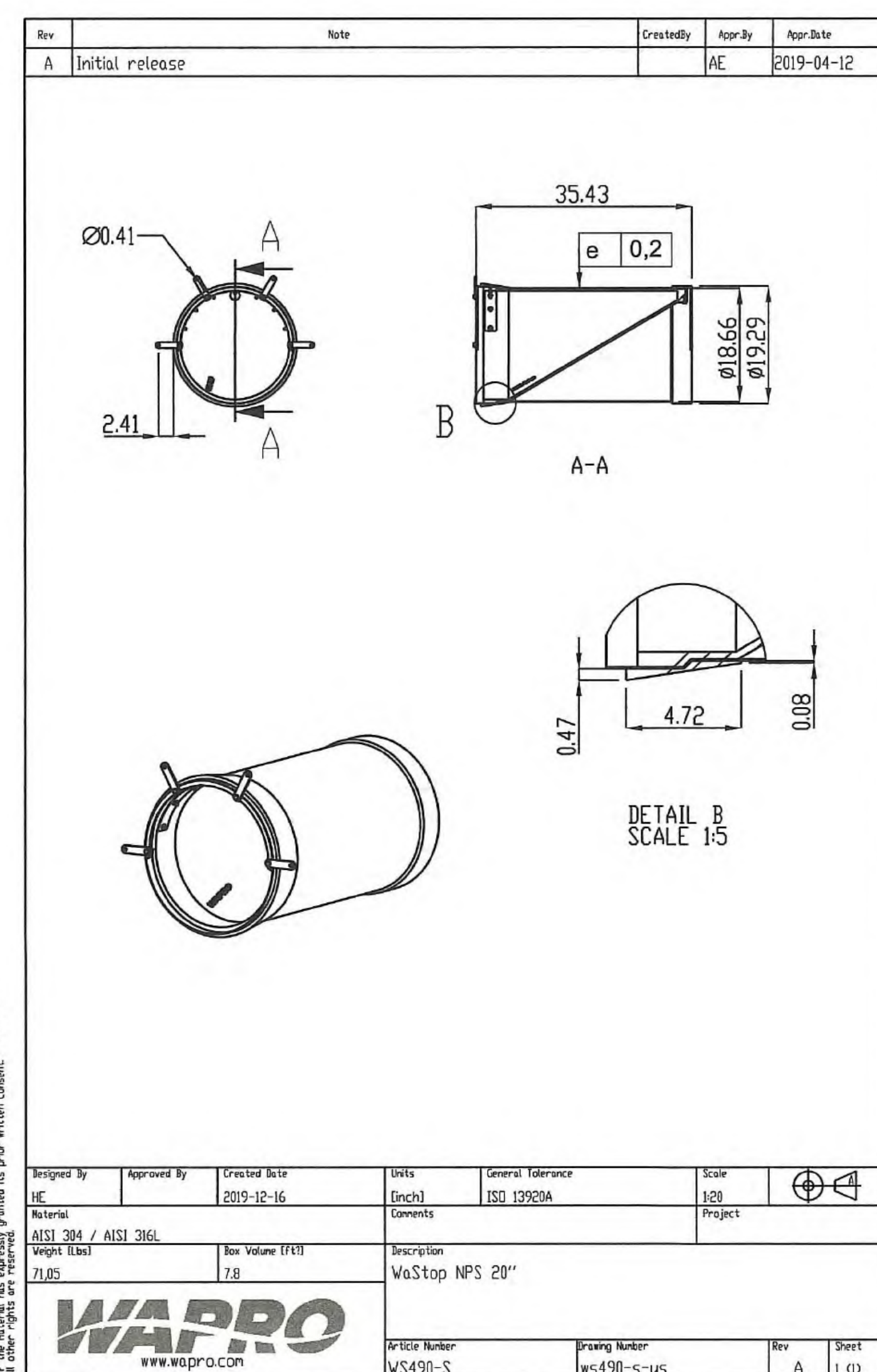
CONFIGURATION OF RIP RAP OUTLET PROTECTION

ALLOWABLE VELOCITIES FOR VARIOUS SOILS	
SOIL TEXTURE	ALLOWABLE VELOCITY (FT./SEC.)
SAND	1.75
SANDY LOAM	2.5
SILT LOAM (ALSO HIGH LIME CLAY)	3.0
SANDY CLAY LOAM	3.5
CLAY LOAM	4.0
CLAY, FINE GRAVEL, GRADED LOAM TO GRAVEL	5.0
COBBLES	5.5
SHALE (NON - WEATHERED)	6.0

WHEN THE DISCHARGE VELOCITY OF THE CONDUIT EXCEEDS THE ALLOWABLE VELOCITIES GIVEN ABOVE, OUTLET PROTECTION IS REQUIRED.

THE PSE&G STANDARD LINER FOR CONDUIT OUTLETS IS MINIMUM 6" THICKNESS OF 2 1/2" CRUSHED STONE d₅₀=0.21FT. THIS WILL PROVIDE ADEQUATE PROTECTION FOR THE FOLLOWING PIPE SIZES (FLOWING FULL) & CORRESPONDING MAX. DISCHARGE VELOCITIES AT THE SLOPES INDICATED BELOW:

PIPE SIZE	VELOCITY	SLOPE
6"	2.6 FPS	≤0.015
8"	2.5 FPS	≤0.009
12"	2.2 FPS	≤0.0035
15"	2.1 FPS	≤0.0023
18"	2.0 FPS	≤0.0015



FENCE ISOLATION PANEL AND INSULATED FOOTING DETAIL
N.T.S.

REFERENCE DRAWINGS

1. REMOVAL PLAN - DWG.#799475-A
2. CIVIL SITE PLAN - DWG.#799475-A
3. GRADING AND DRAINAGE PLAN - DWG.#799477-A
4. UTILITY PLAN - DWG.#799478-A
5. STORM DRAIN PROFILES - DWG.#799479-A
6. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 1 OF 2 - DWG.#799480-A
7. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 2 OF 2 - DWG.#799481-A
8. SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS - SHEET 3 OF 2 - DWG.#799482-A
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10. CIVIL DETAILS - SHEET 2 OF 5 - DWG.#799484-A
11. CIVIL DETAILS - SHEET 3 OF 5 - DWG.#799485-A
12. CIVIL DETAILS - SHEET 4 OF 5 - DWG.#799486-A
13. GRADING DETAILS - SHEET 3 OF 3 - DWG.#799236-A

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO THIS DRAWING
THIS DRAWING SUPERSEDES NONE

REVISED DATE: 18-18-24
ISSUED FOR PERMITTING

REVISIONS:

NO.	DATE	DESCRIPTION
1	18-18-24	ISSUED FOR PERMITTING

CHRISTOPHER D. WILSON
N.J. PROFESSIONAL ENGINEER
LIC. NO. 24GE05369800
C.O.A. NO. 24GA2886400

NO.	DATE	DESCRIPTION	DWN	CKD	EXD	APD

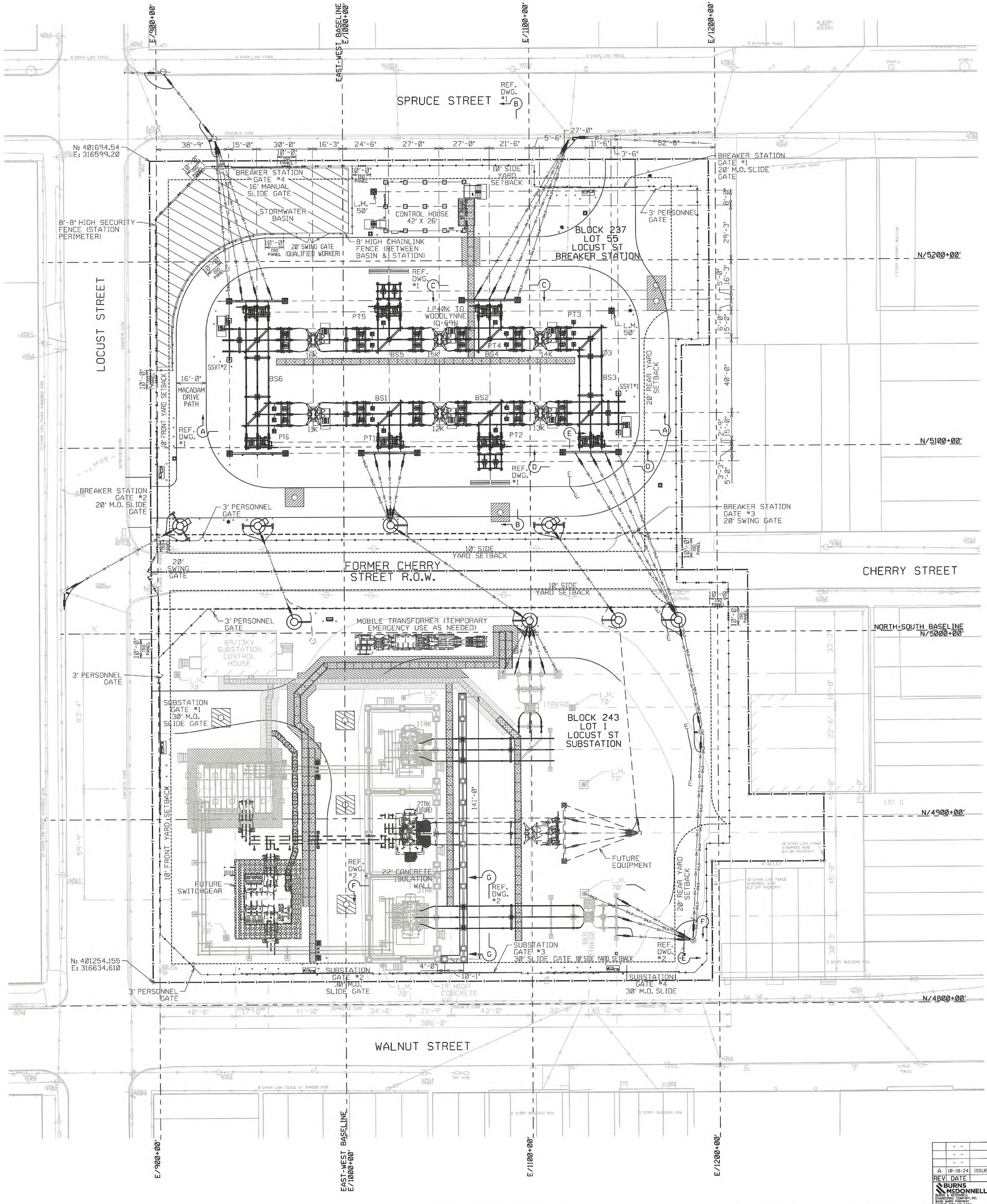
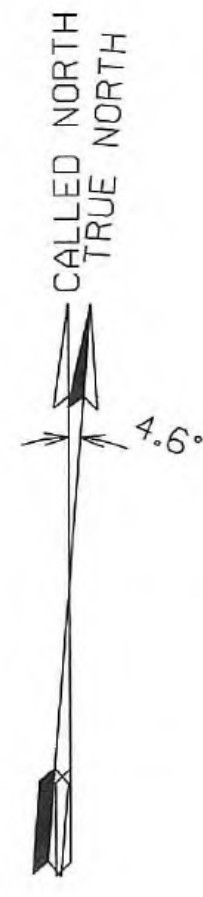
REVISION
LOCUST STREET BREAKER STATION
69/13KV BREAKER STATION & 69/13KV SUBSTATION
CIVIL DETAILS

DETAILS SH 5 CIVIL

PSEG
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK N.J.

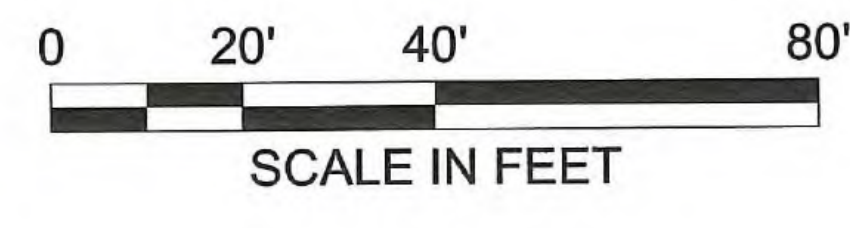
DRAWN: A. HASSEBROEK CHECKED: C. WILSON SCALE: NONE
DATE: 2/23/24 EXAMINED: _____
WBS: C-92302.1B.1.1.2.1 APPROVED: _____

799526 A -0R



- LEGEND:**
- EXISTING FEATURES
 - PROPOSED CONSTRUCTION
 - PROPERTY LINE
 - BASELINE
 - CENTERLINE
 - YARD SETBACK
 - PROPOSED 8' HIGH CHAINLINK FENCE WITH INSULATED FOOTINGS
 - PROPOSED 8' HIGH CHAINLINK FENCE, ISOLATION PANEL
 - PROPOSED 8'-8' HIGH SECURITY FENCE
 - PROPOSED 8'-8' HIGH SECURITY FENCE WITH INSULATED FOOTINGS
 - PROPOSED 8'-8' HIGH SECURITY FENCE, ISOLATION PANEL
 - FUTURE EQUIPMENT
 - ROAD ROW
 - OVERHEAD ELECTRIC
 - CONCRETE TRENCH APRON
 - CABLE TRENCH
 - PROPOSED OVERHEAD 69KV LINE
 - PROPOSED OVERHEAD SHIELD/OPGW
 - PROPOSED 50' LIGHTNING MAST
 - PROPOSED STORMWATER BMP
 - PROPOSED JERSEY BARRIERS
 - PROPOSED CONCRETE MANHOLE APRON

- REFERENCE DRAWINGS:**
1. ELECTRICAL SECTIONS SH 1 DWG.#798283-A
 2. ELECTRICAL SECTIONS SH 2 DWG.#798284-A
 3. BREAKER STATION LIGHTING DIST. PLAN DWG.#798290-A
 4. SUBSTATION LIGHTING DIST. PLAN DWG.#323530-A



NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD

REVISION	
LOCUST ST BREAKER STATION BREAKER STATION AND SUBSTATION ELECTRICAL KEY PLAN	
ARRANGEMENT	ELECTRICAL

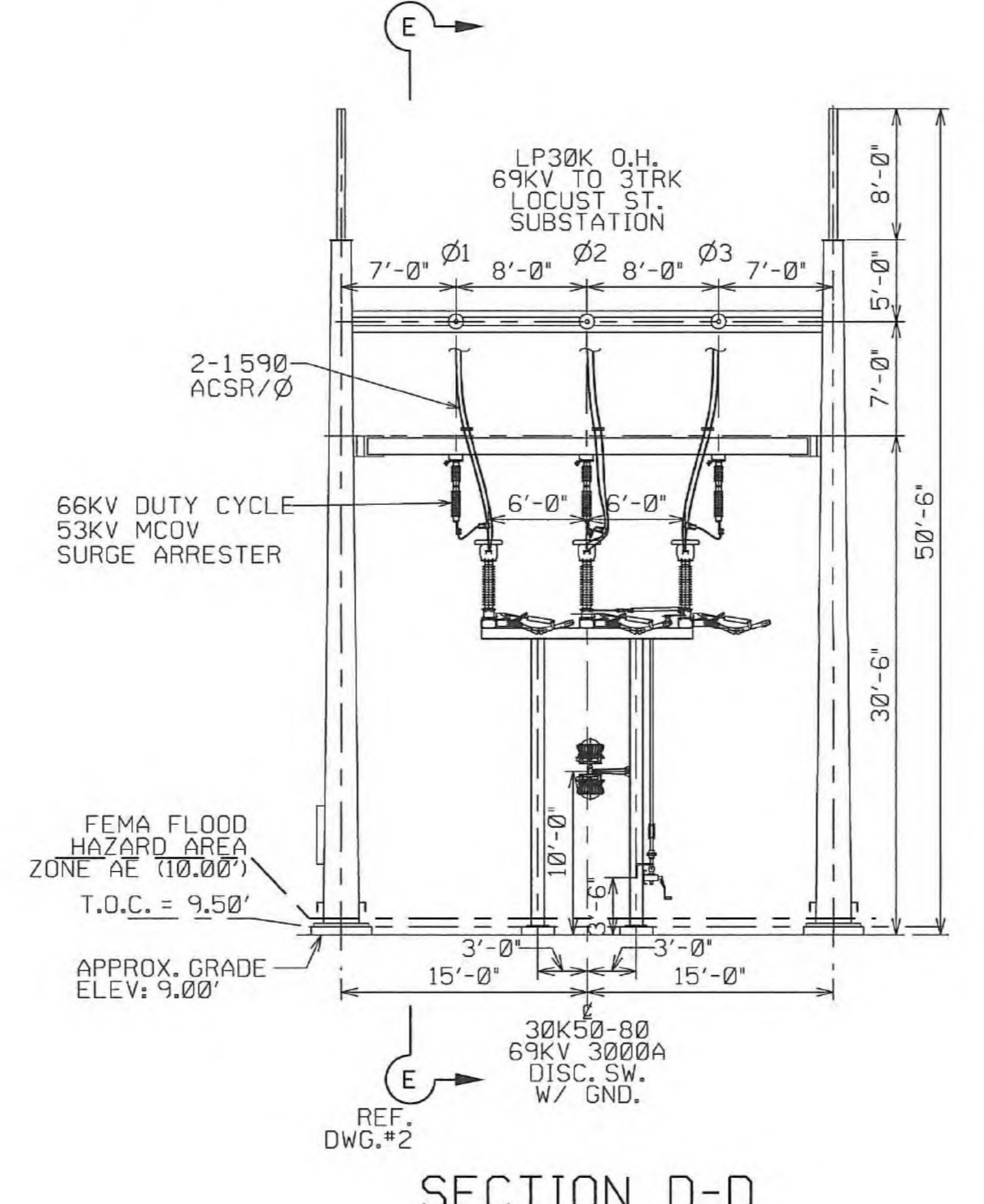
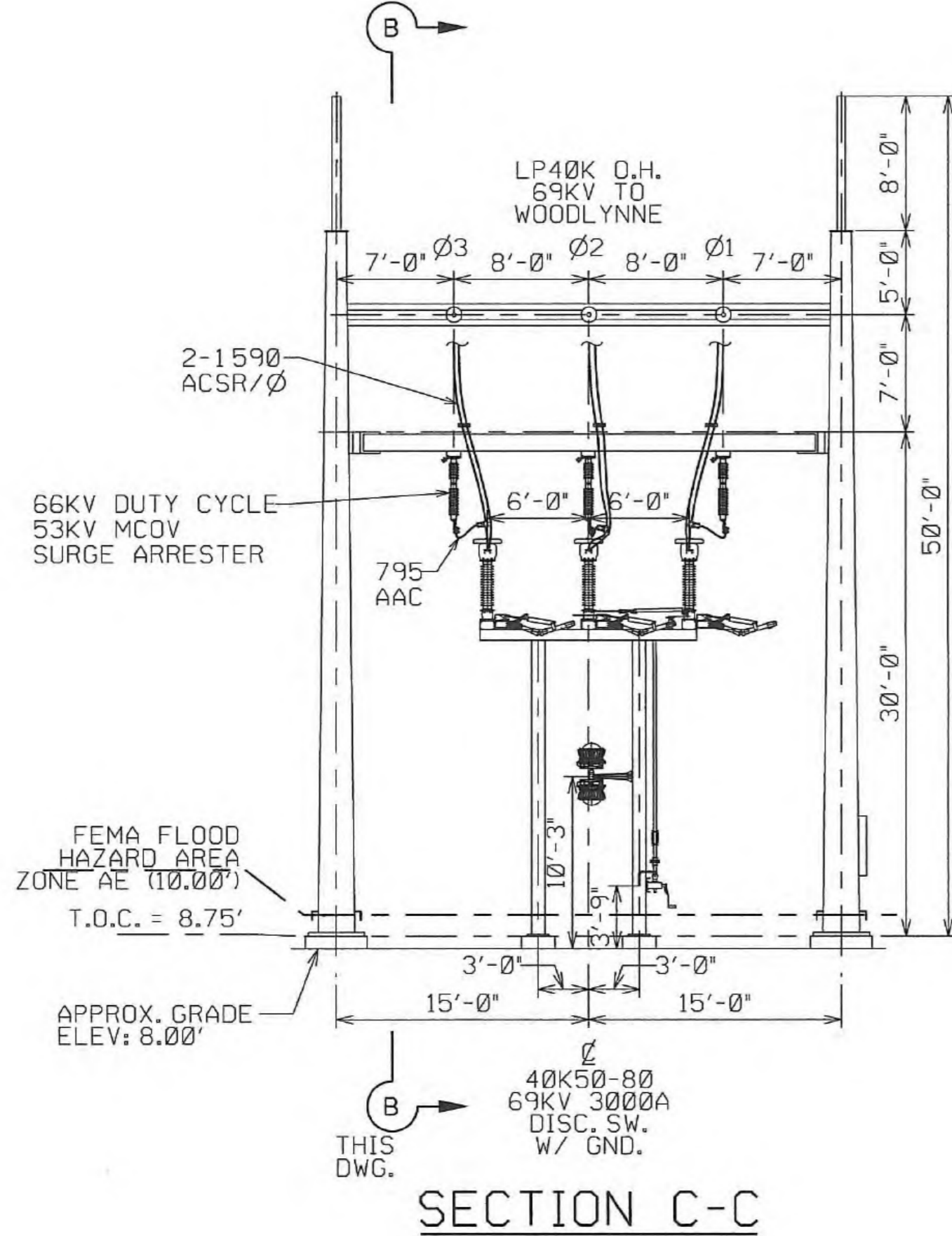
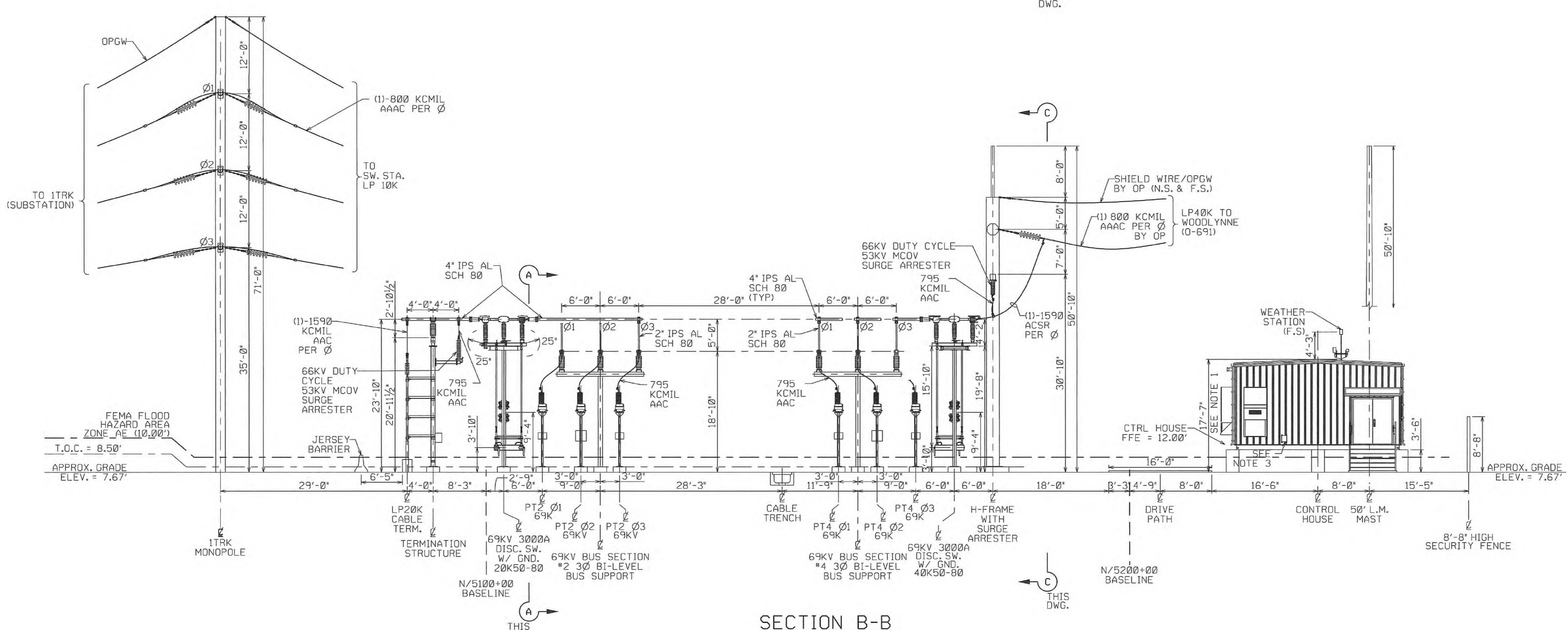
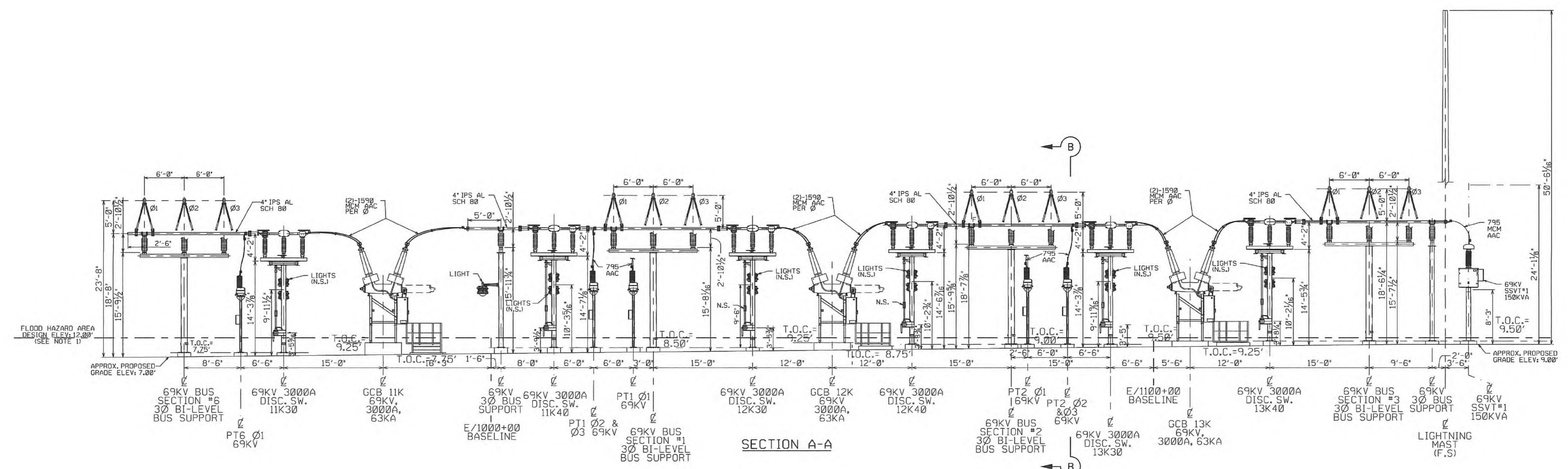
FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO. THIS DRAWING
THIS DRAWING SUPERSEDES NONE

JONATHAN M. COPA
Professional Engineer
10-28-24

REV	DATE	DESCRIPTION
A	10-19-24	ISSUED FOR PERMITTING

N.J. PROFESSIONAL ENGINEER
LIC. NO. 24GE0608400
C.O.A. NO. 24GA2886400

798280 A - 0Per



- NOTES:**
- CONTROL HOUSE HEIGHT IS APPROXIMATE AND SHALL BE FINALIZED BY BUILDING VENDOR.
 - ALL ELEVATIONS SHOWN ARE NAVD-88.
 - HVAC DISCONNECT TO BE LOCATED LOW ENOUGH ON EXTERIOR WALL TO BE ACCESSIBLE WITHOUT A PLATFORM.

- REFERENCE DRAWINGS:**
- ELECTRICAL KEY PLAN
 - ELECTRICAL SECTIONS SH 2

NO	DATE	ISSUED FOR PERMITTING	DESCRIPTION
A	10-18-24	ISSUED FOR PERMITTING	

JONATHAN M. COPA
 N.J. PROFESSIONAL ENGINEER
 L.C. NO. 24GE0600400
 C.O.A. NO. 24GA2806400

NO	DATE	DESCRIPTION	DSD	CKD	EXD	APD

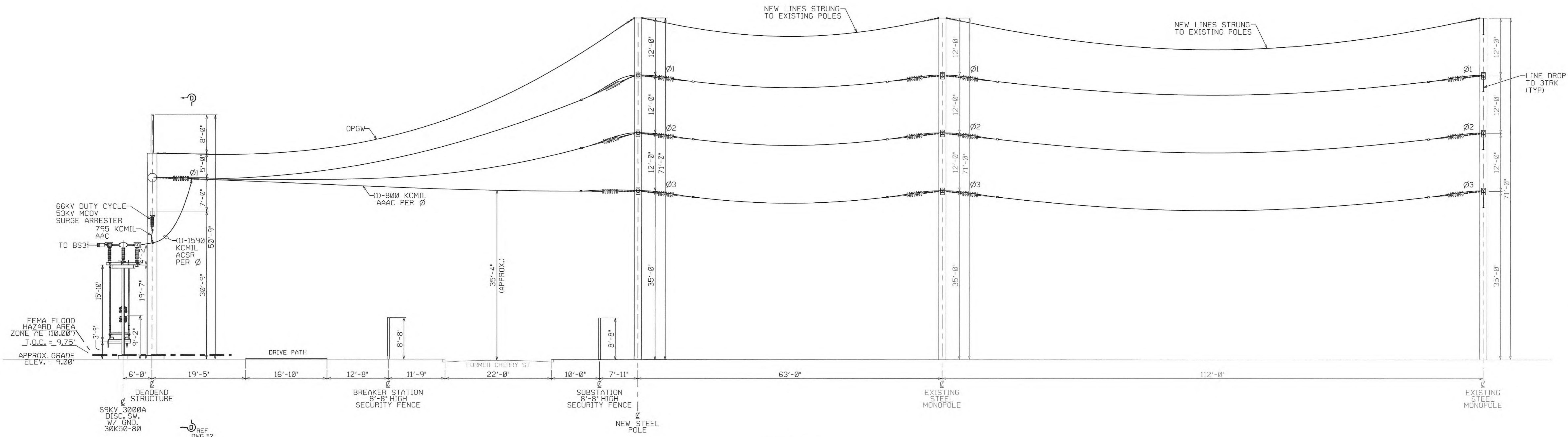
REVISION
LOCUST STREET BREAKER STATION
 69KV BREAKER STATION
 SECTIONS A-A, B-B, C-C, D-D

ARRANGEMENT SH 1 ELECTRICAL

PSEG
 PUBLIC SERVICE ELECTRIC AND GAS COMPANY
 ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN: J. HARVATH CHECKED: M. KLEIN SCALE: 1/8"=1'-0"
 DATE: 12/22/22 EXAMINED:
 WBS: 90LOCUSTVOLT APPROVED:

798283 A -0Per



SECTION E-E
SEE NOTE 2

LEGEND:

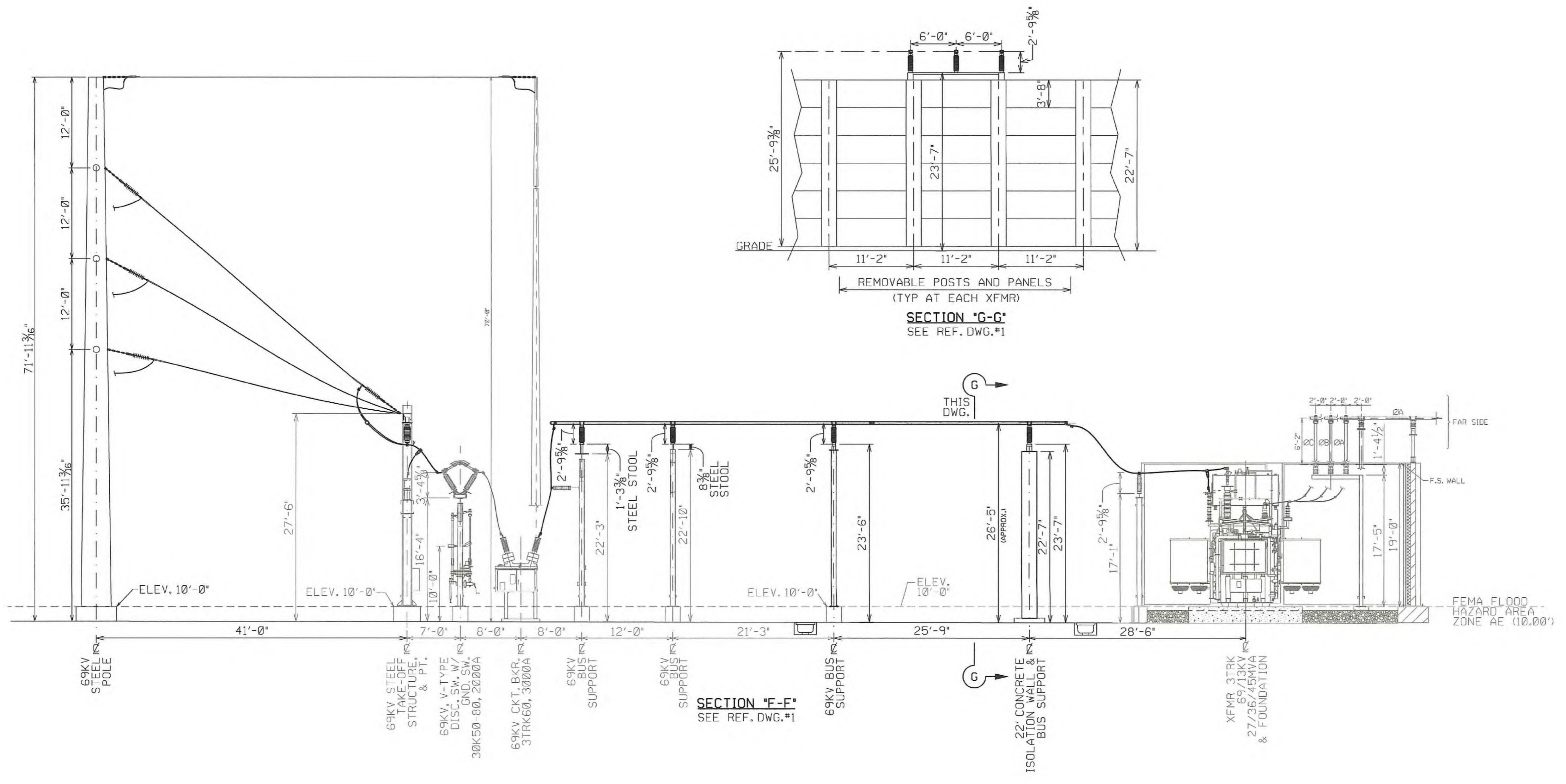
- EXISTING ASSETS
- NEW CONSTRUCTION SCOPE

NOTES:

1. ALL ELEVATIONS SHOWN ARE NAVD-88.
2. DIMENSIONS SHOWN ARE MEASURED AT AN ANGLED PERSPECTIVE THAT IS PARALLEL WITH THE TRANSMISSION LINE SPAN. DIMENSIONS ARE APPROXIMATE.

REFERENCE DRAWINGS:

1. ELECTRICAL KEY PLAN
2. ELECTRICAL SECTIONS SH 1



NO	DATE	DESCRIPTION	DSD	CKD	EXD	APD

REVISION
LOCUST STREET BREAKER STATION
 69KV BREAKER STATION
 SECTION E-E
 ARRANGEMENT SH 2 ELECTRICAL



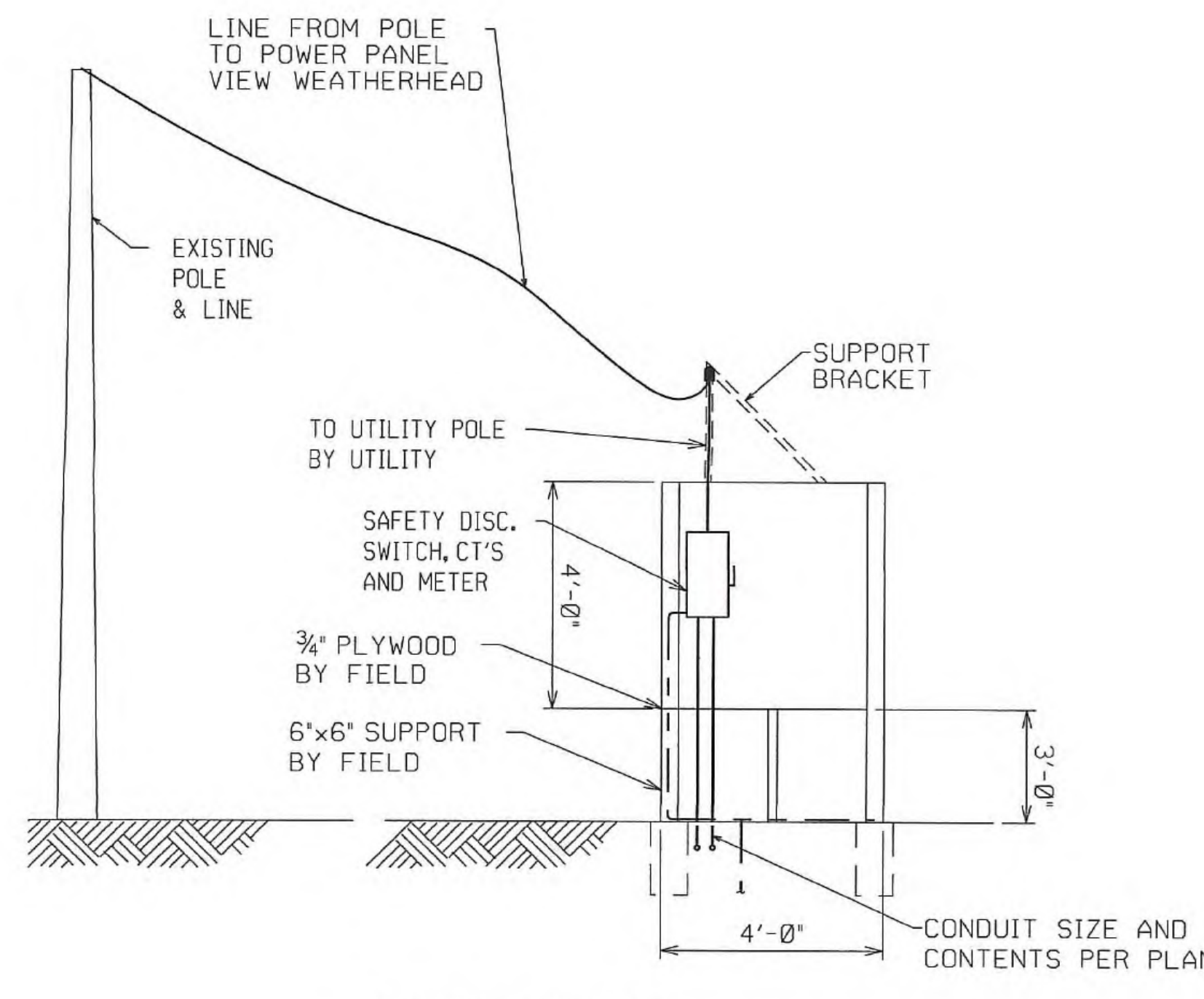
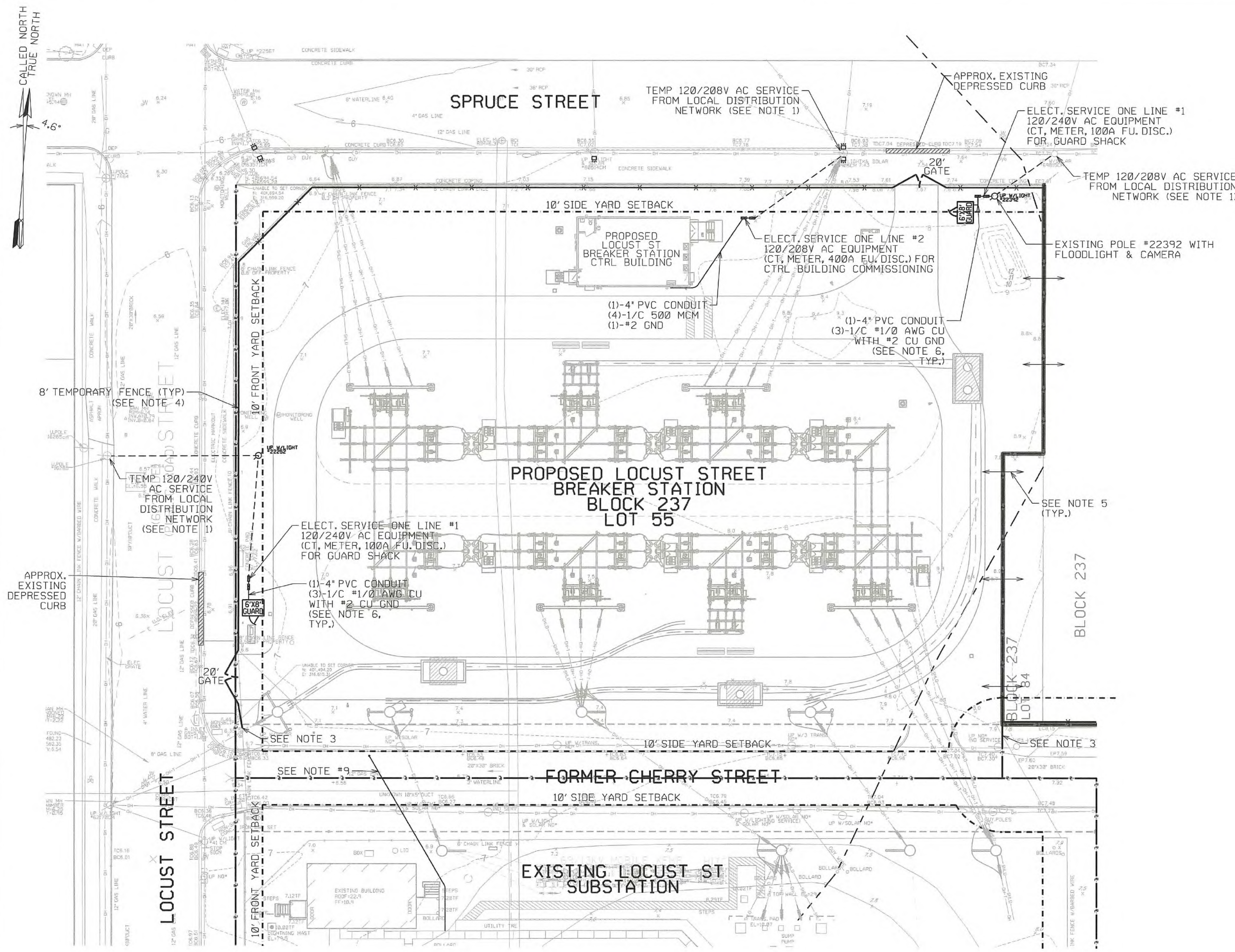
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
 ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN - J. HARVATH - CHECKED - M. KLEIN - SCALE - 3/8"=1'-0"
 DATE - 12/22/22 - EXAMINED -
 WBS - 90LOCUSTVOLT - APPROVED -

798284 A -ØPer

JONATHAN M. COPA
(Signature)
 10-28-24
 N.J. PROFESSIONAL ENGINEER
 LIC. NO. 24GE06005400
 C.O.A. NO. 24GA28065400

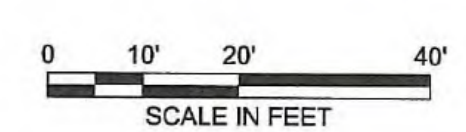
REVISION	DATE	DESCRIPTION



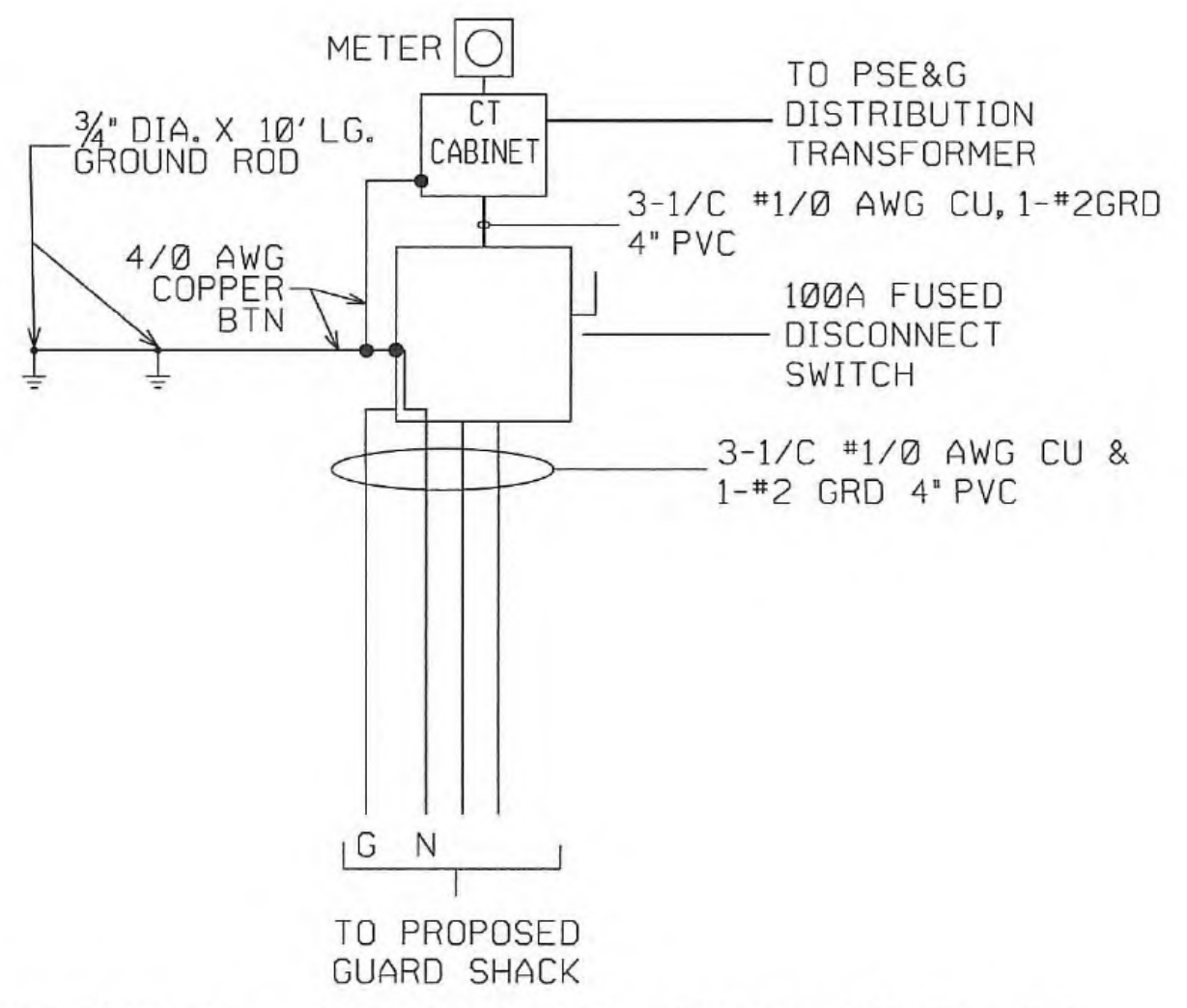
**ELEVATION
TEMPORARY CTRL BUILDING &
GUARD SHACK POWER**
ALL WIRES ARE 600V RATED
XHHW COPPER WIRES
(SUITABLE FOR WET LOCATION)
NOT TO SCALE
SEE ELECTRICAL SERVICE ONE LINES
FOR EQUIPMENT RATING

- LEGEND:**
- PSE&G PROPERTY BOUNDARY
 - LOT LINE
 - PROPERTY OWNED BY CITY OF CAMDEN
 - 8' TEMPORARY FENCE
 - SETBACK LINE
 - OVERHEAD ELECTRIC
 - FEMA FHA LINE
 - EXISTING WOOD POLE TO REMAIN DURING CONSTRUCTION
 - LIGHT, POLE-MOUNTED (SEE NOTE 9)

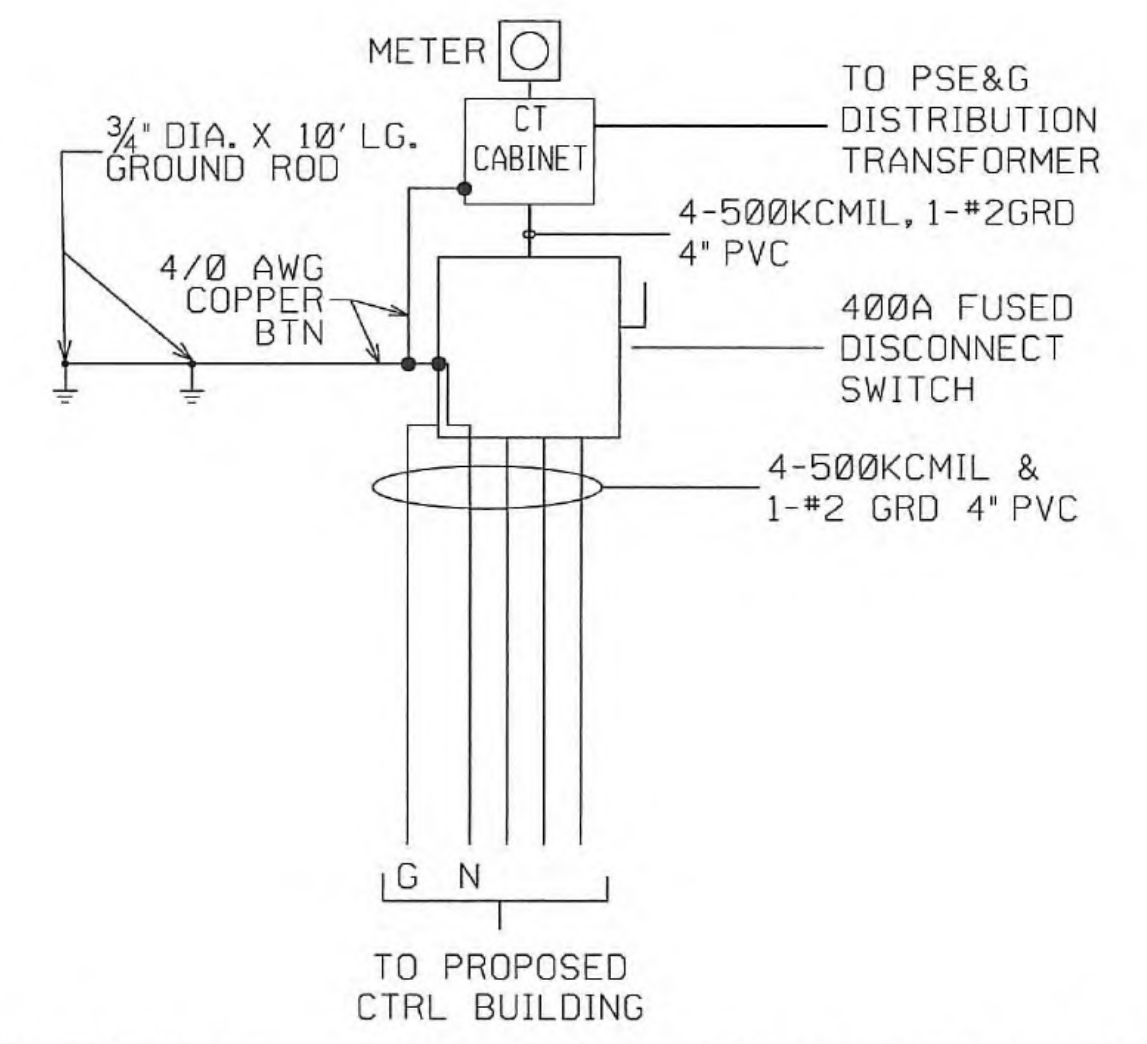
REFERENCE DRAWINGS:
1. ELECTRICAL KEY PLAN DWG. #798280-A



- NOTES:**
- PSE&G TO VERIFY SERVICE LOCATIONS.
 - FIELD TO ROUTE CONSTRUCTION SERVICE CONDUITS TO AVOID EXISTING UNDERGROUND COMMODITIES AND PROPOSED BELOW GRADE CONSTRUCTION.
 - CONNECT TEMPORARY FENCE TO EXISTING FENCE AT THESE LOCATIONS.
 - BREAKER STATION TO BE FENCED IN WITH EXISTING FENCE OR TEMPORARY FENCE THROUGHOUT ENTIRE CONSTRUCTION.
 - VEHICLES TO BE ABLE TO FREELY DRIVE BETWEEN LAYDOWN AREA AND LOCUST STREET BREAKER STATION
 - CONTRACTOR TO INSTALL STEEL PLATE OR EQUIVALENT COVERING TO PROTECT PVC CONDUITS.
 - CONTRACTOR TO RE-USE EXISTING LIGHTS IF CONDITION ALLOWS. ANY NEW LIGHTS THAT ARE REQUIRED SHALL BE HOLOPHANE LIGHTING PSLED-P3-40K-WVOLT-55-YMG-GYSDP-18KVMP-NR-05-43. LIGHTS SHALL BE MOUNTED APPROX. 20' ABOVE GRADE AND BE DIRECTED INWARDS TOWARD THE BREAKER STATION PROPERTY.
 - CONTRACTOR SHALL COORDINATE WITH PSE&G CORPORATE SECURITY TO REPRODUCE EXISTING CAMERA CONDITIONS (MOUNTING HEIGHT, ANGLE, WIRING, ETC.) TO THE EXTENT POSSIBLE.
 - EXISTING CAMERAS IN LOT 55 ARE WIRED FROM THE EXISTING SUBSTATION CONTROL HOUSE. CONTRACTOR TO RE-USE EXISTING CONDUITS ACROSS CHERRY ST OR INSTALL NEW CONDUIT AS SHOWN.



ELECTRICAL SERVICE ONE LINE #1
100A, 120/240V, 3 WIRE SERVICE
N.T.S.
TYPICAL (2) LOCATIONS



ELECTRICAL SERVICE ONE LINE #2
400A, 120/208V, 4 WIRE SERVICE
N.T.S.

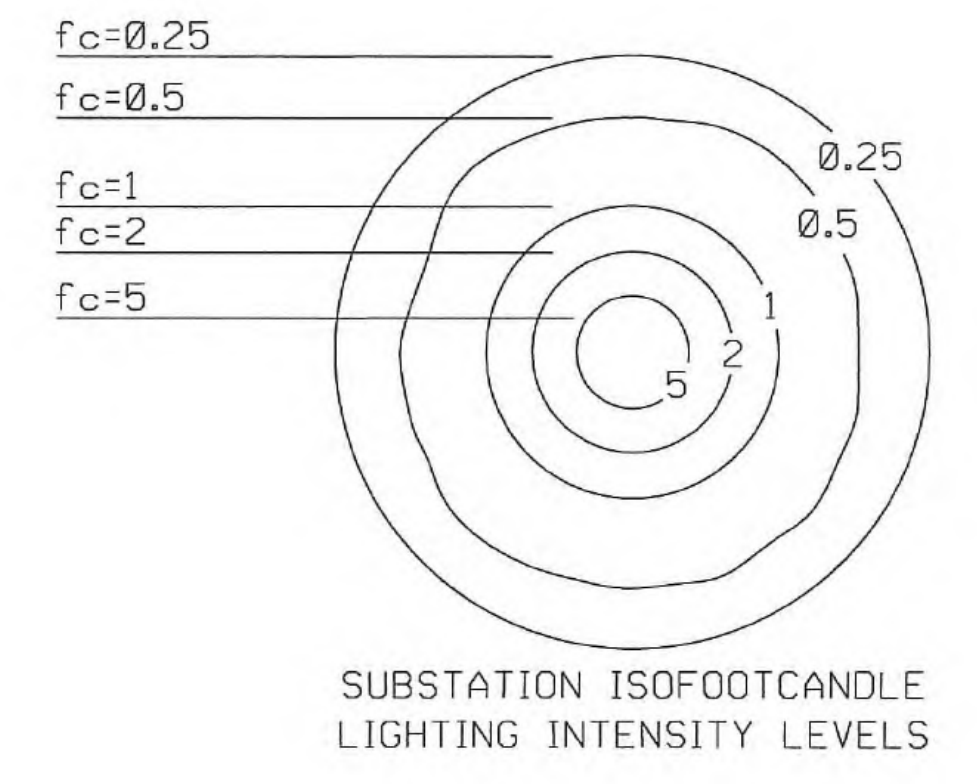
REV	DATE	DESCRIPTION
A	10-18-24	ISSUED FOR PERMITTING

JONATHAN M. COPA
Professional Engineer
10-28-24
N.J. PROFESSIONAL ENGINEER
LIC. NO. 24GE06008400
C.O.A. NO. 24GA28066400

NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						
LOCUST STREET BREAKER STATION TEMPORARY ELECTRICAL PLAN AND LAYDOWN AREA						
ARRANGEMENT			ELECTRICAL			
PSE&G						
PUBLIC SERVICE ELECTRIC AND GAS COMPANY ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK N. J.						
DRAWN - N. EHRESMAN CHECKED - M. KLEIN SCALE - 1\"/>						
DATE - 09/15/2023 EXAMINED -						
WBS - C.92302.LB.1.2.2 APPROVED -						
799544			A		-0Per	

FIXTURE SCHEDULE
SEE REF. DWG.#1 FOR LOCATIONS

LIGHTING FIXTURE	MANUFACTURER'S CATALOG NO./CUT SH.NO.	FIXTURE DESCRIPTION	LED WATTAGE & VOLTAGE	LUMENS NOMINAL	MTG HEIGHT	MOUNTING, ALL FIXTURES	QTY
TYPE #1	HOLOPHANE LTG PETROLUX LED PLED2 18000LM L5 MVOLT 40K UNM L/CORD DGXD	STANDARD UPLIGHT "LED" W/ LOCAL TIMER SWITCH	195W LED 120V	18000 LUMENS	8'-6"	FIELD DRILL PER HOLOPHANE FIXTURE NOTES & DETAILS	21
TYPE #2	HOLOPHANE LTG PETROLUX LED PLED2 8000LM L5 MVOLT 40K UNM L/CORD SB086 0V DGXD	STANDARD DOWNLIGHT "LED" W/ BUTTON PHOTOCELL & OCCUPANCY SENSOR	74W LED 120-277V	8000 LUMENS	8'-6"	FIELD DRILL PER HOLOPHANE FIXTURE NOTES & DETAILS	21
TYPE #3	LITHONIA WDG2-LED-P2SW-40K-80CRI-VV-MVOLT-SRM-PIRIFC3V-DOBXD	CONTROL BUILDING EXTERIOR LIGHTING FIXTURE	15W 120-277V	2023 LUMENS	12'-0"	SUPPLIED W/ CONTROL BUILDING SEE NOTE 6	4



SPRUCE STREET

LEGEND:

- UPLIGHT TYPE #1 & DOWNLIGHT TYPE #2 SEE DETAIL #1, REF. DWG.#2
- BUILDING WALLPACK TYPE #3
- AC RECEPTACLE
- UPLIGHT TYPE #1
- DOWNLIGHT TYPE #2
- DISC. SW MANUAL OPERATOR
- GND. SW MANUAL OPERATOR
- ALLOWABLE EXTENT OF 0.25fc LIGHTING LEVELS PER CITY OF CAMDEN, CH 870-243(10)

NOTES:

1. DOWN LIGHTS WILL BE ON FOR GENERAL ILLUMINATION AT NIGHT OR WHEN THE INTERNALLY WIRED OCCUPANCY SENSOR IS ACTIVATED.
2. fc = FOOT CANDLES
3. UPLIGHTS, DOWNLIGHTS & RECEPTACLES SHALL HAVE A SEPARATE CIRCUIT. SEE DETAIL 4, REF. DWG.#1.
4. LIGHTS TO BE PROVIDED WITH GLARE SHIELDS TO MINIMIZE LIGHT POLLUTION OUTSIDE OF THE PROPERTY LINE.
5. UP LIGHTS ARE SWITCHED AT LIGHT POSITIONS.
6. DOWN LIGHTS ARE TO BE PHOTOCELL CONTROLLED ON A DUSK TO DAWN CYCLE.
7. LIGHTING CONTOURS DEPICT DOWN LIGHTS ONLY AND NORMAL OPERATING CONDITIONS.
8. LIGHTING FIXTURE TYPE 1 (UPLIGHT) IS FOR MAINTENANCE USE ONLY AND IS NOT INCLUDED IN THE LIGHTING DISTRIBUTION PLAN CALCULATION.

REFERENCE DRAWINGS:

1. ELECTRICAL KEY PLAN DWG.#798280-A
2. BREAKER STATION LIGHTING DETAILS DWG.#798297-A

NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						

LOCUST STREET BREAKER STATION
69KV BREAKER STATION
LIGHTING DISTRIBUTION PLAN

ARRANGEMENT ELECTRICAL



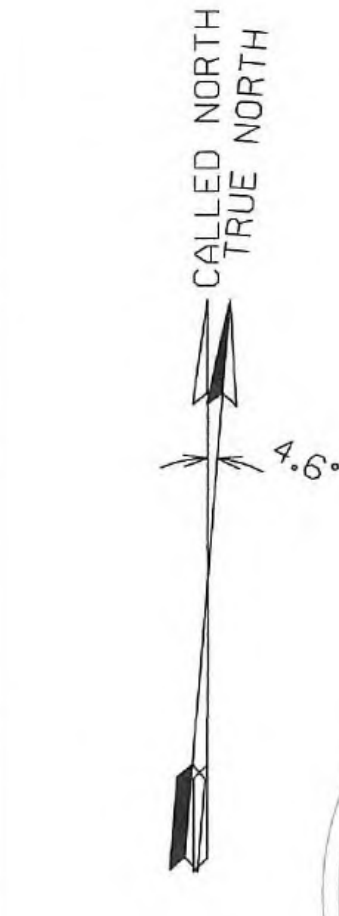
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK N. J.

DRAWN: J. MORALES CHECKED: J. BERDAN SCALE: 1"=10'-0"
DATE: 08/23/2023 EXAMINED:
WBS: C:92302.1.B.1.1.2.2 APPROVED:

JONATHAN M. COPA
N.J. PROFESSIONAL ENGINEER
LIC. NO. 24CE0608400
C.O.A. NO. 24CA28066400

REVISION DATE	DESCRIPTION
A 10-18-24	ISSUED FOR PERMITTING

FORMER CHERRY STREET R.O.W.



LOCUST STREET

FORMER CHERRY STREET R.O.W.

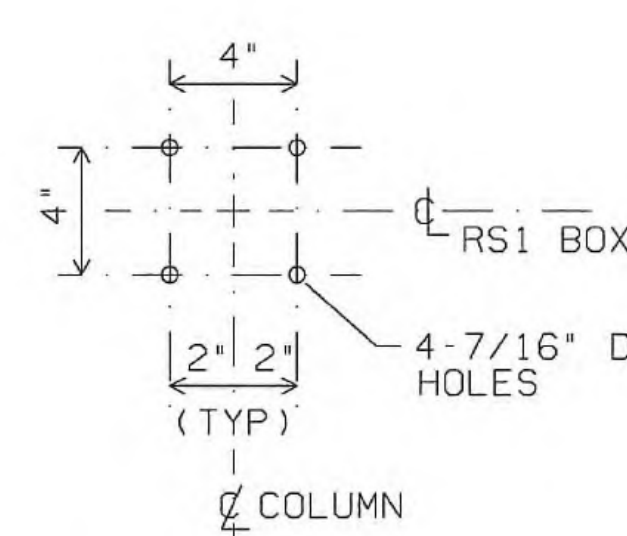
FIXTURE SCHEDULE

(ALL LIGHTING FIXTURES ARE EXISTING)

QTY	LIGHTING FIXTURE	MANUFACTURER'S CATALOG NO./CUT SH.#	FIXTURE DESCRIPTION	POWER VOLTAGE	HEIGHT
4	TYPE #1	GE-LIGHTING PF 4T12551A26X60B092	STANDARD FLOODLIGHT HIGH PRESSURE SODIUM W/ BUFFER PHOTOCELL	150W H.P.S. 120V	20'-0" ON POLES
1	TYPE #2	RUUD LIGHTING, Inc MFS4515-M	STANDARD FLOODLIGHT HIGH PRESSURE SODIUM W/ BUFFER PHOTOCELL	150W H.P.S. QUAD VOLT	20'-0" ON POLES
2	TYPE #3	RUUD LIGHTING, Inc NSF4525-M-P	STANDARD FLOODLIGHT HIGH PRESSURE SODIUM W/ BUFFER PHOTOCELL	250W H.P.S. QUAD VOLT	19' ON FIREWALLS
6	TYPE #4	RUUD LIGHTING, Inc E4507-1HP	WALL DOWNLIGHT HIGH PRESSURE SODIUM WITH BUFFER PHOTOCELL	70W H.P.S. 120V	15' ON FIREWALLS
3	TYPE #5	RUUD LIGHTING, Inc MGWC0507-1P	12" FULL CUTOFF WALLPACK HIGH PRESSURE SODIUM WITH BUFFER PHOTOCELL	70W H.P.S. 120V	15' ON FIREWALLS
6	TYPE #7	RUUD LIGHTING, Inc MW0510-1P	WALLPACK HIGH PRESSURE SODIUM WITH BUFFER PHOTOCELL	100W H.P.S. 120V	18' ON FIREWALLS
2	TYPE #8	RUUD LIGHTING, Inc MFS4515-M-P	STANDARD FLOODLIGHT HIGH PRESSURE SODIUM W/ BUFFER PHOTOCELL	150W H.P.S. QUAD VOLT	18' ON FIREWALLS
1	TYPE #6	HOLOPHANE SUIA15AHTLPR	GLOBELIGHT HIGH PRESSURE SODIUM, MAINTENANCE USE ONLY	150W H.P.S. 120V	8'-6"
2	TYPE #10	RUUD LIGHTING, Inc E4507-1HP	WALL DOWNLIGHT HIGH PRESSURE SODIUM WITH BUFFER PHOTOCELL	70W H.P.S. 120V	9'-8" ABOVE FIREWALL DOORS
1	TYPE #13	RUUD LIGHTING, Inc LFS4515-M	STANDARD UP FLOODLIGHT HIGH PRESSURE SODIUM LOCALLY TIMER SWITCH	150W H.P.S. QUAD VOLT	8'-0" MIN FIELD ADJ TILT
1	TYPE #14	RUUD LIGHTING, Inc LPR4515-1-P	AREA DOWN FLOODLIGHT HIGH PRESSURE SODIUM WITH BUFFER PHOTOCELL	150W H.P.S. 120V	8'-0" MIN 0° H
3	TYPE #15	RUUD LIGHTING, Inc MGWP0507-MP	CONTROL HOUSE ENTRANCE EZ WALLPAK HIGH PRESSURE SODIUM WITH BUTTON PHOTOCELL	70W H.P.S. QUAD VOLT	BLDG. FIELD OR BLDG. VENDOR
12	TYPE #16	LITHONIA TWAC7051201LP1	SWITCHGEAR EXTERIOR AND DOORS	70W H.P.S. 120 VOLT	13'-0"
1	TYPE #17	HOLOPHANE LTG PETROLUX LED PLED218L4K12UNNAGL5	STANDARD UPLIGHT "LED" W/ BUTTON PHOTOCELL & LOCALLY TIMER SWITCH	195W LED 120V	8'-0" MIN FIELD ADJ TILT
1	TYPE #18	HOLOPHANE LTG PET. LED PLED218L4K12UNNAGL5 MS162L0VWLP3US-GR	STANDARD DOWNLIGHT "LED" W/ BUTTON PHOTOCELL & OCCUPANCY SENSOR	74W LED 120-277V	8'-0" MIN 0° H



SUBSTATION ISOFOOTCANDLE LIGHTING INTENSITY LEVELS



JB DRILLING DETAIL (NOT TO SCALE)

REFERENCE DRAWINGS:

1. BREAKER STATION LIGHTING DISP. PLAN DWG. #798290-A

LEGEND:

— EXISTING LIGHTING CONTOURS

- - - PROPERTY LINE

NOTES:

1. fc = FOOT CANDLES
2. ALL LIGHTING FIXTURES WILL BE INSTALLED AS PER PSE&S SAFETY STANDARDS AND PROCEDURES. 3.1 "LIVE WORK MINIMUM APPROACH DISTANCES".
3. UP LIGHTS ARE SWITCHED AT LIGHT POSITIONS.
4. DOWN LIGHTS ARE TO BE PHOTOCELL CONTROLLED ON A DUSK TO DAWN CYCLE.
5. LIGHTING CONTOURS DEPICT DOWN LIGHTS ONLY AND NORMAL OPERATING CONDITIONS.
6. LIGHTING FIXTURE TYPE 5, 13 AND 17 (UPLIGHT) IS FOR MAINTENANCE USE ONLY AND IS NOT INCLUDED IN THE LIGHTING DISTRIBUTION PLAN CALCULATION.
7. NO PROPOSED LIGHTS ADDED TO SUBSTATION - ALL LIGHTING CONTOURS ARE PRODUCED FROM EXISTING LIGHTS. THIS PLAN REVISED TO REFLECT THE REMOVAL OF EQUIPMENT.

NO	DATE	DESCRIPTION	BY	CHKD	EXD	APPD
1	10/28/24	ISSUED FOR PERMITTING	JM	JK	HR	EO

REVISION

LOCUST STREET SUBSTATION
69/13KV
LIGHTING DISTRIBUTION PLAN

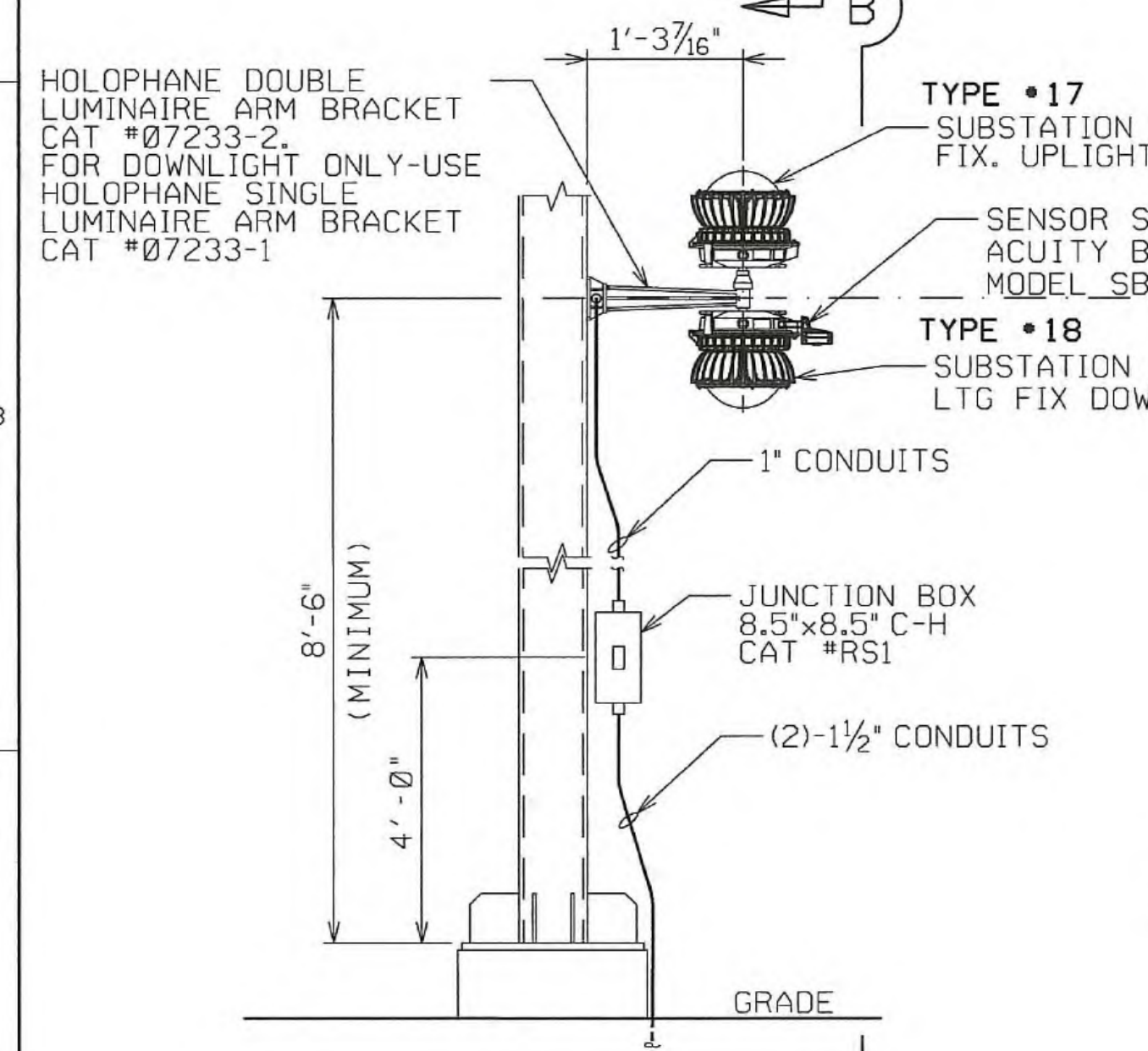
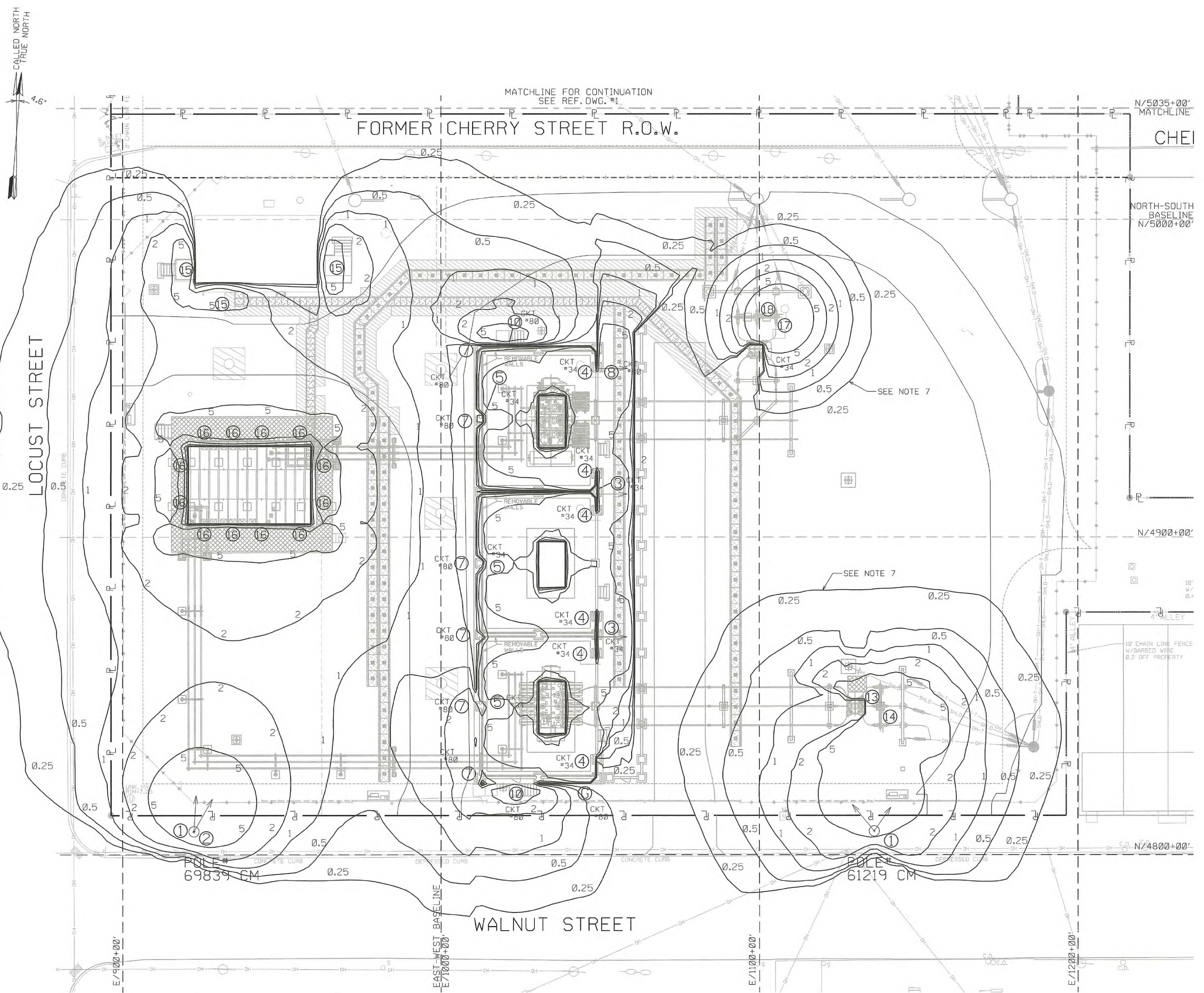
ARRANGEMENT ELECTRICAL



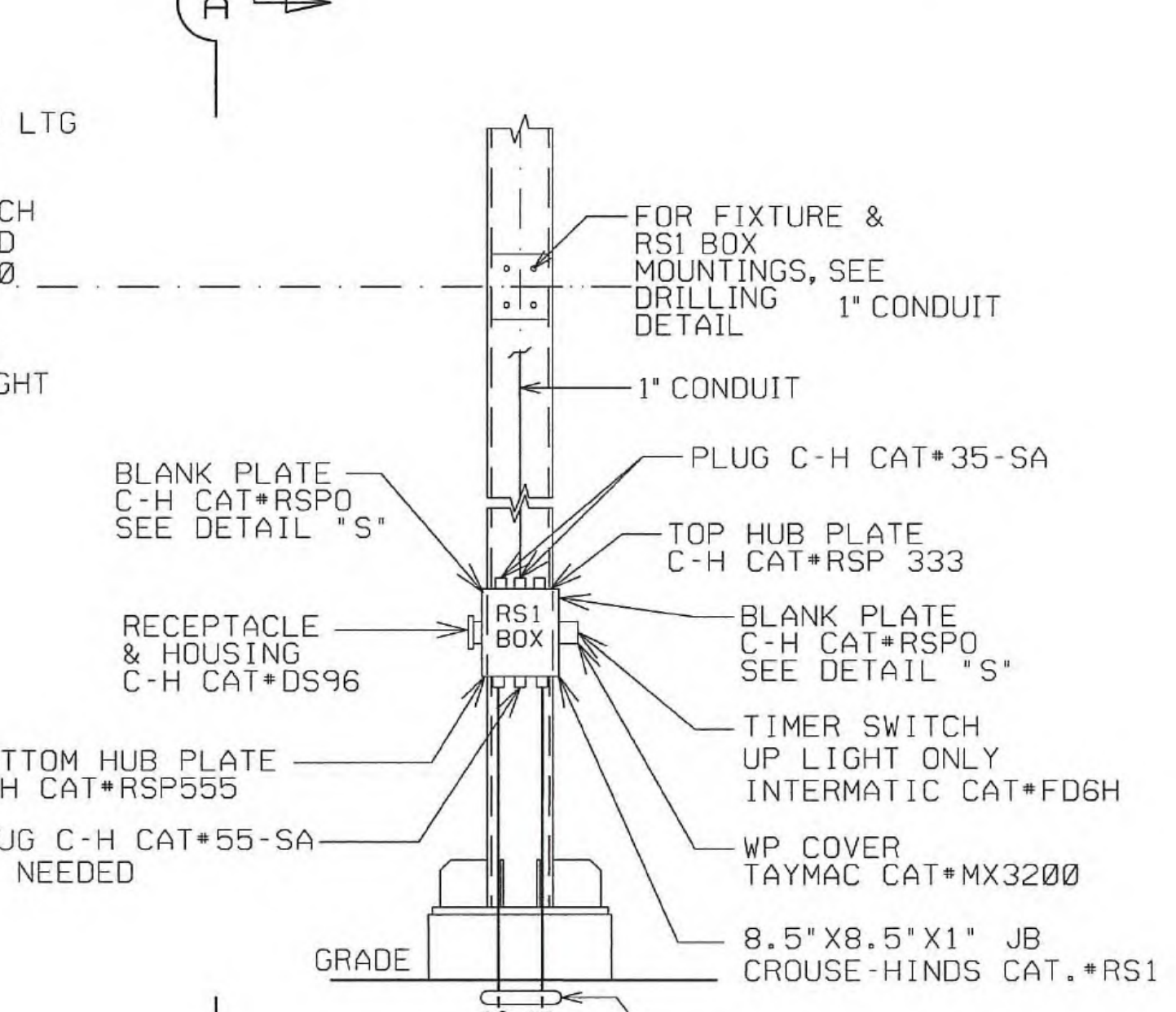
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK, N.J.

DRAWN: MA CHECKED: JK SCALE: 1"=20'-0"
DATE: 1/10/12 EXAMINED: HR
WBS: C-91061 APPROVED: EJO

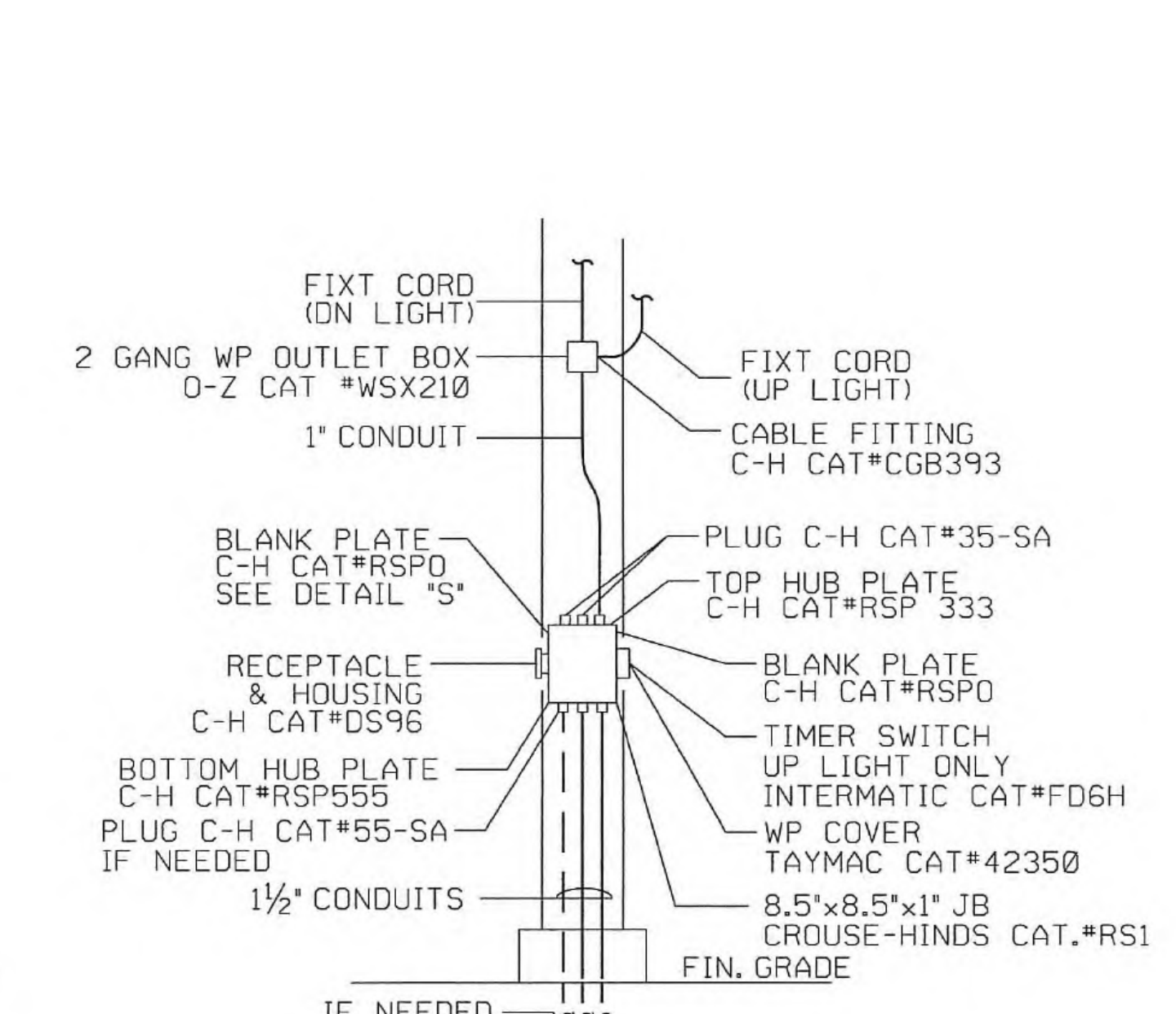
323530 A -6Per



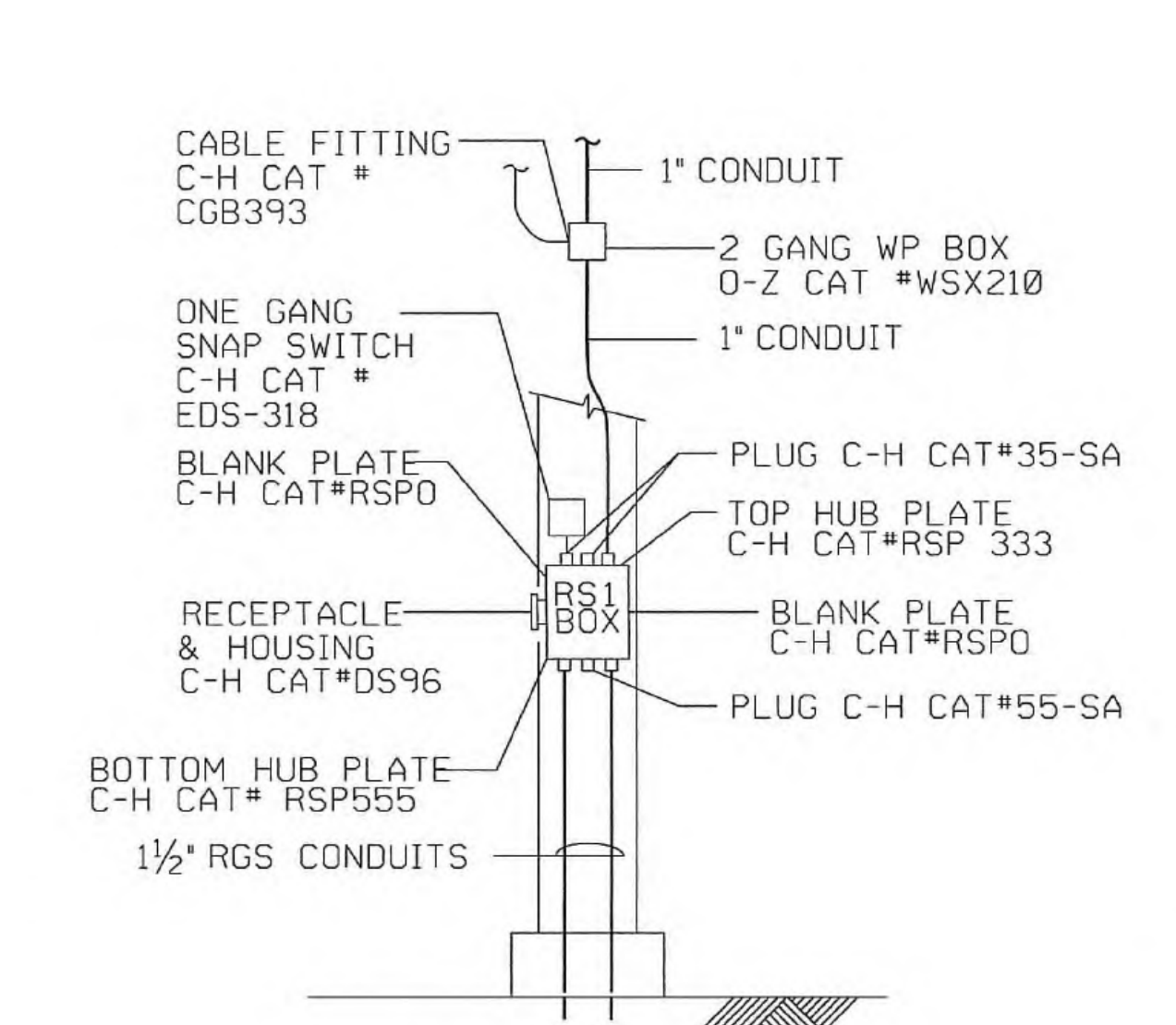
TYP. LIGHTING ASSEMBLY AT VERTICAL COLUMN (NOT TO SCALE)



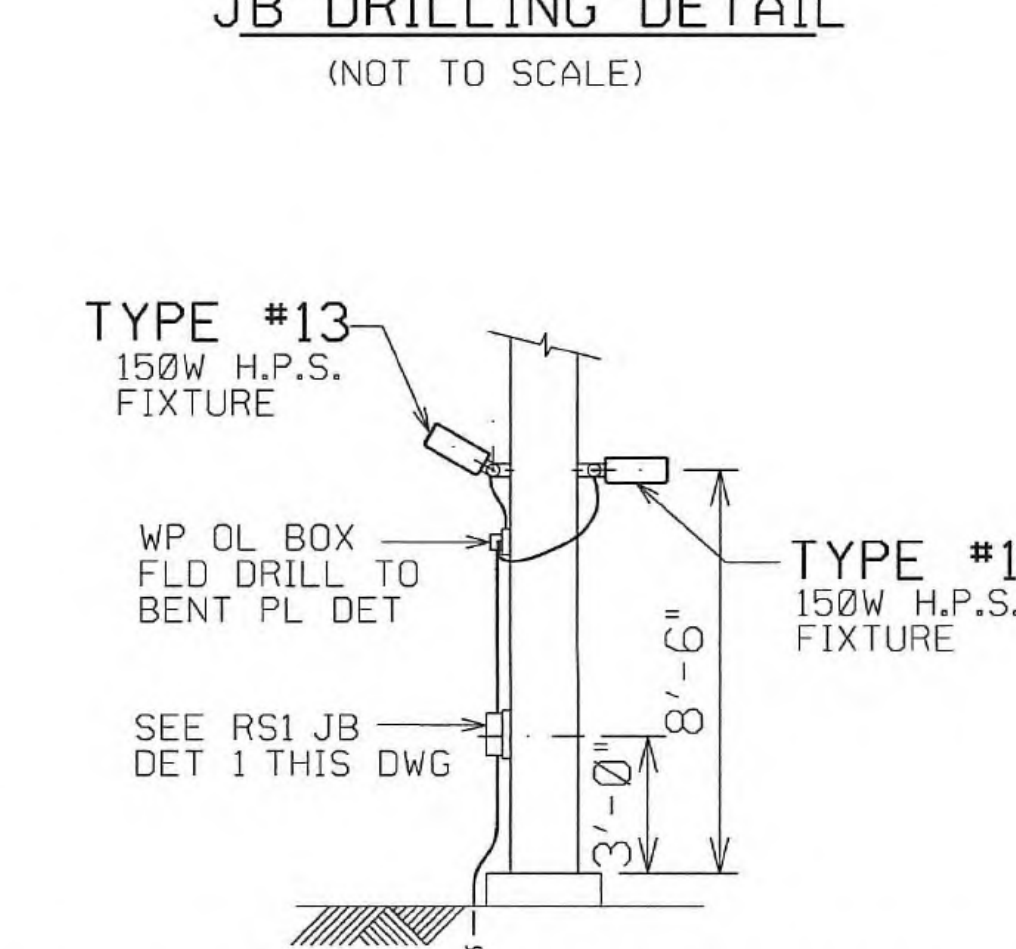
JB ASSEMBLY DETAIL 1 FOR RUUD FIXTURES (NOT TO SCALE)



JB ASSEMBLY DETAIL 2 TYPICAL BUS SUPPORT JB ASSEMBLY (NOT TO SCALE)



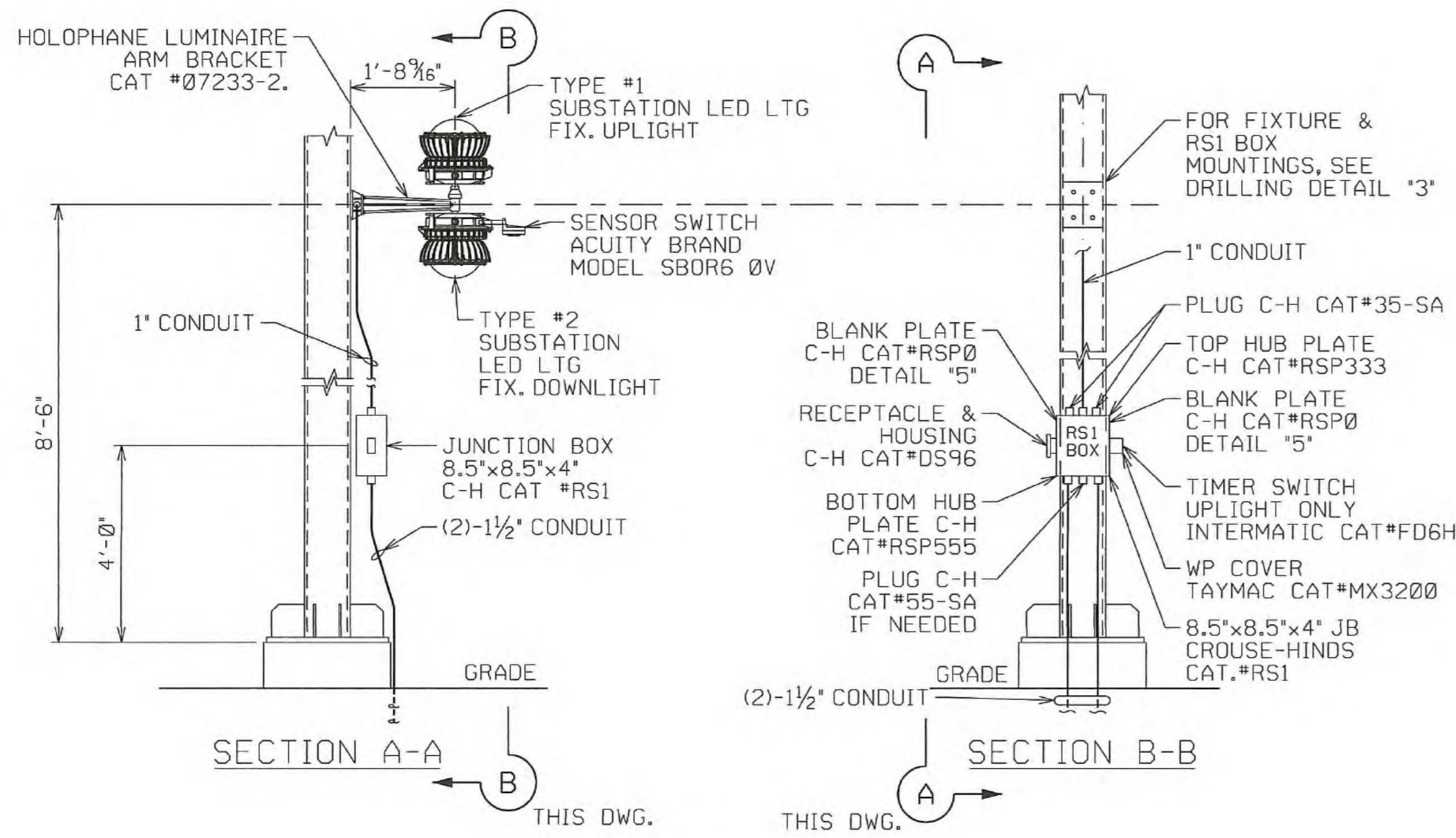
TYPICAL LIGHTING ARRANGEMENT AT STRUCTURES (NOT TO SCALE)



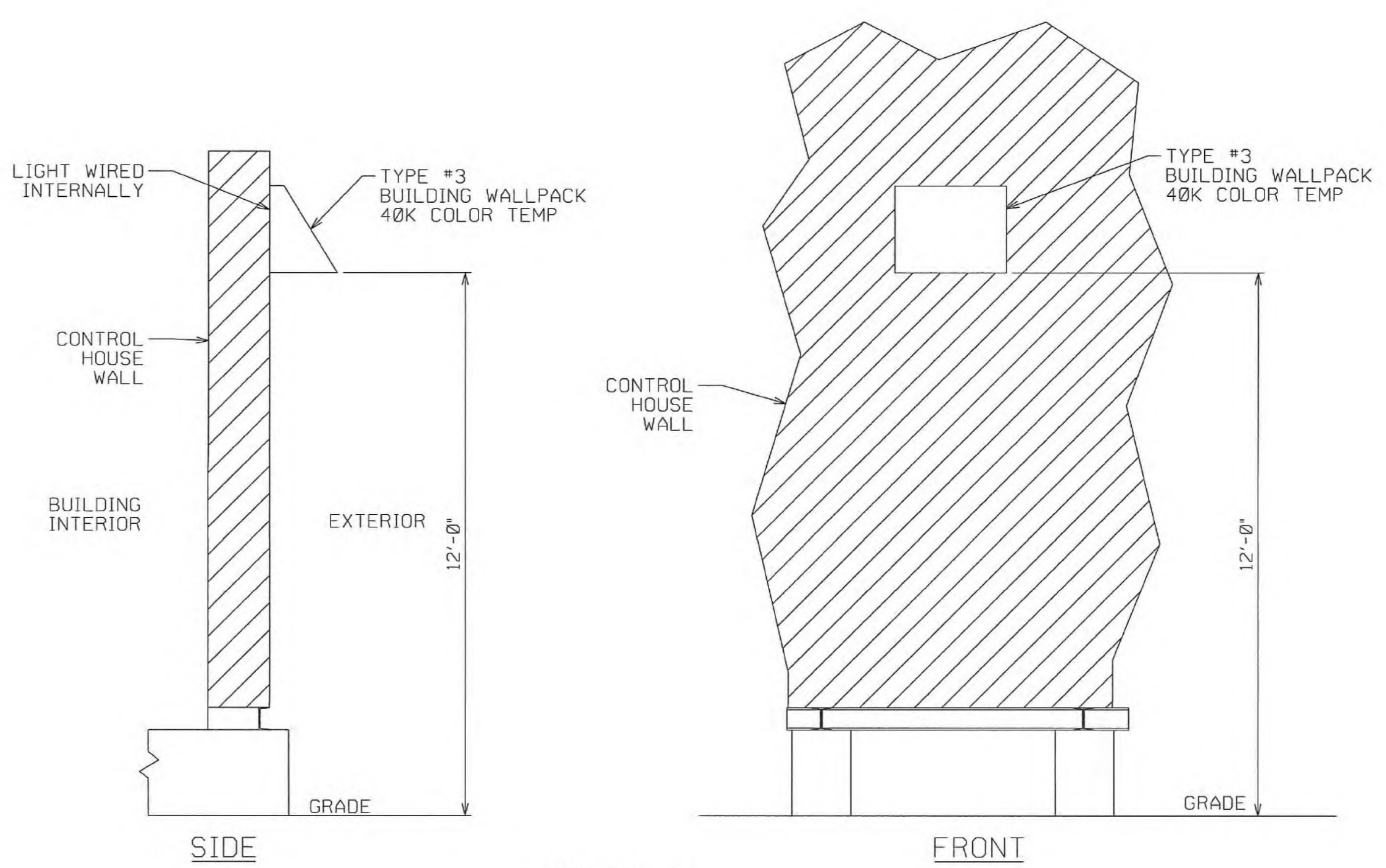
TYPICAL LIGHTING ARRANGEMENT AT STRUCTURES (NOT TO SCALE)

REV	DATE	DESCRIPTION
1	10-18-24	ISSUED FOR PERMITTING

JONATHAN M. COPA
Professional Engineer
10-28-24
N.J. PROFESSIONAL ENGINEER
LIC. NO. 24GE0600400
C.O.A. NO. 24GA20066400

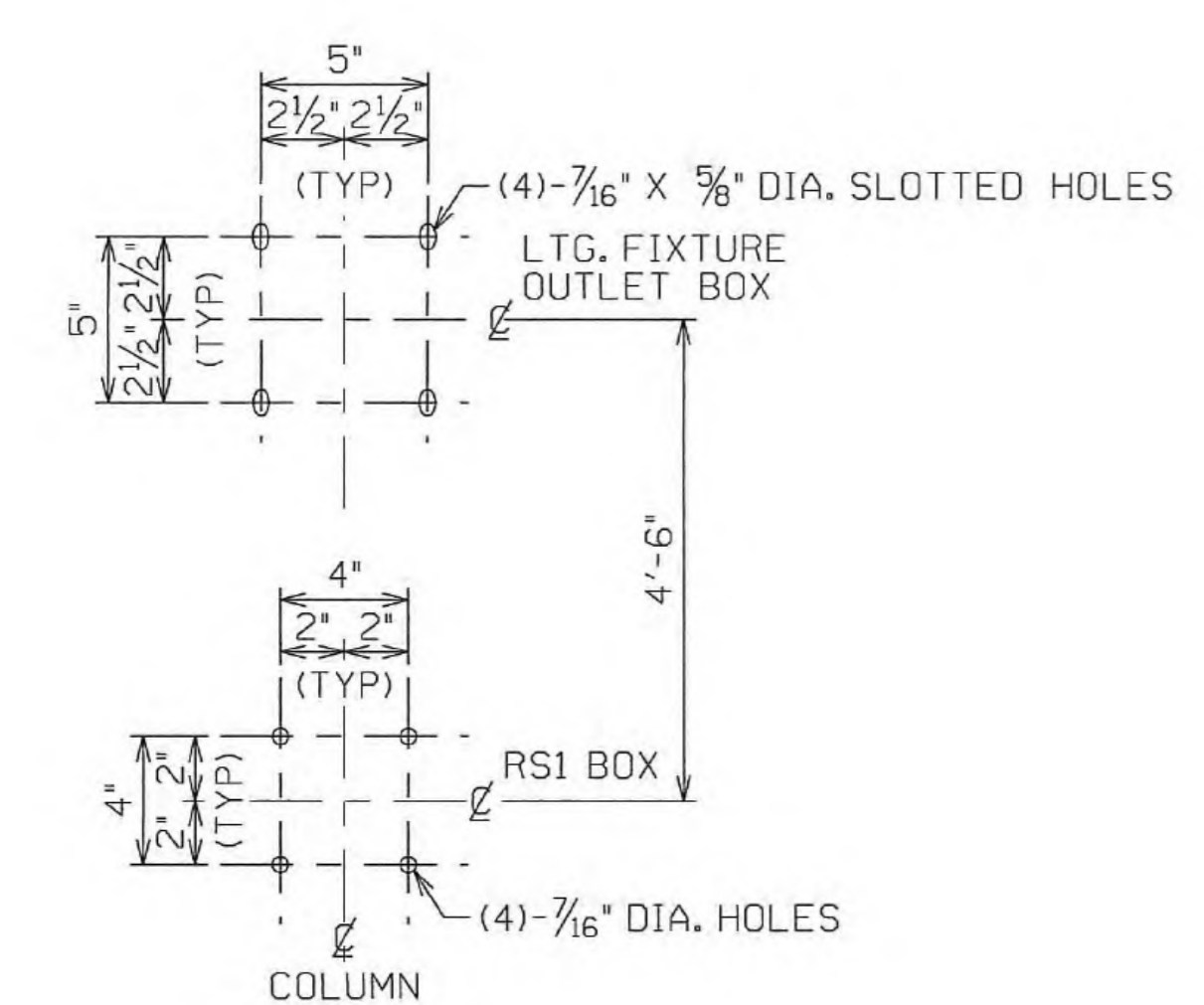


DETAIL 1
TYP. LIGHTING ASSEMBLY AT VERTICAL COLUMN
NOT TO SCALE
(TYPE #1 & #2)

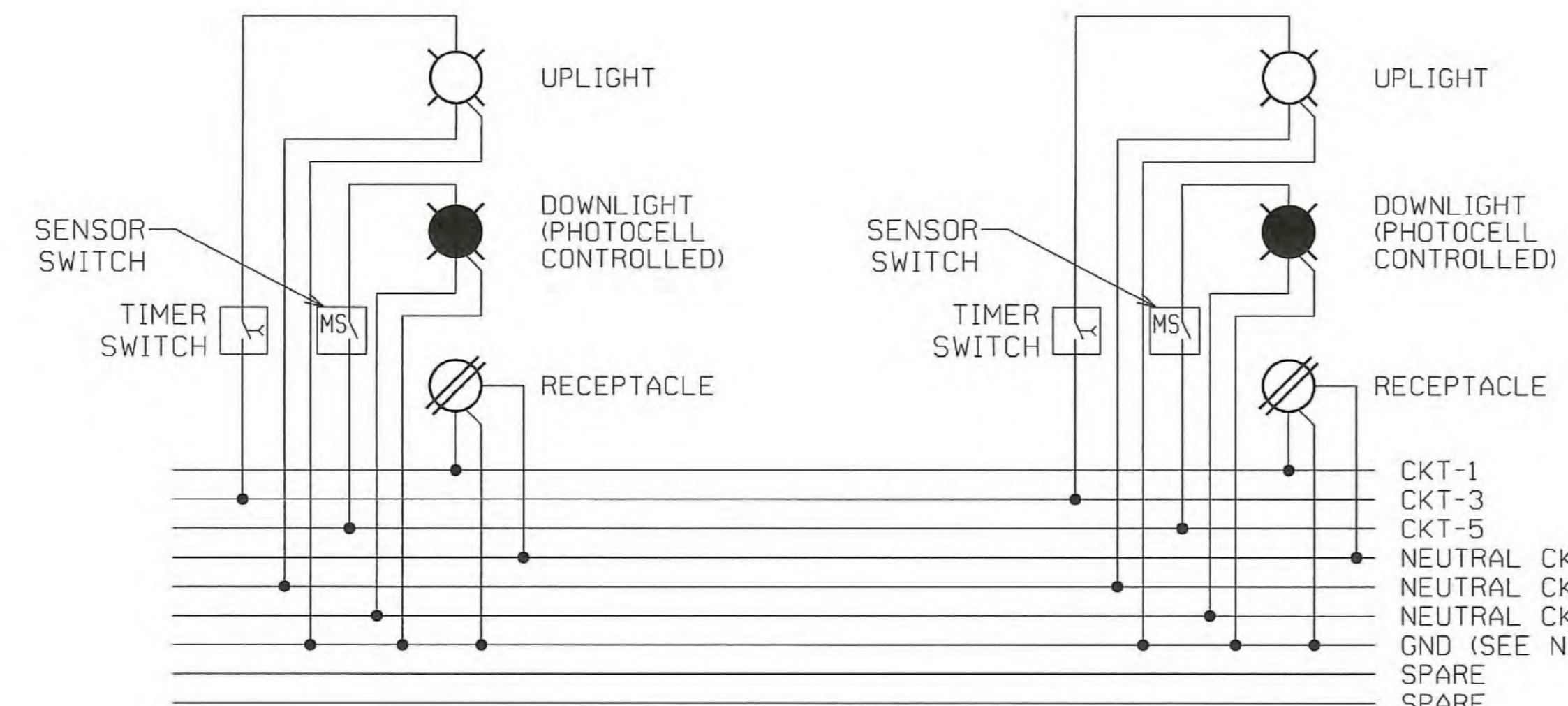


DETAIL 6
TYPE #3 WALLPACK LIGHT
N.T.S.

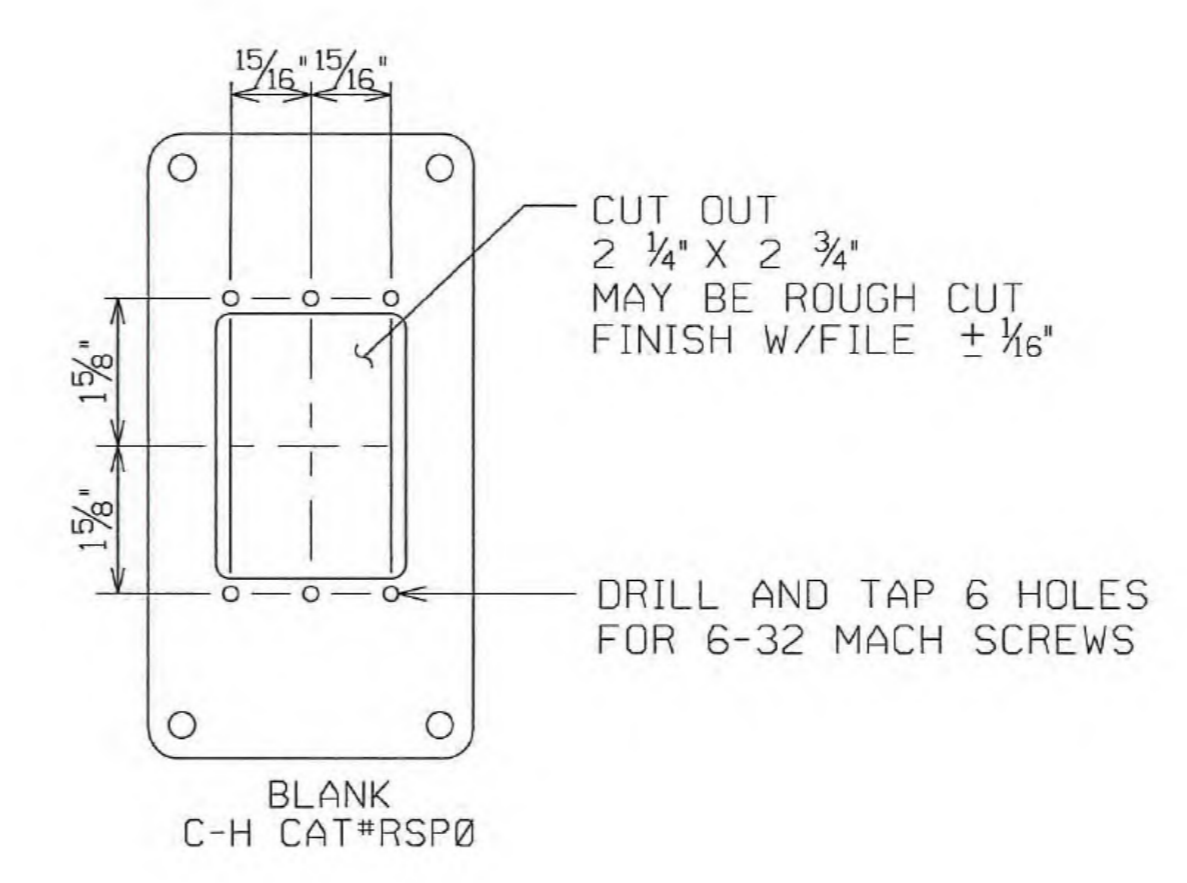
- LEGEND**
- UPLIGHT
 - DOWNLIGHT
 - RECEPTACLE
 - SENSOR SWITCH
 - TIMER SWITCH
 - BILL OF MATERIALS



DETAIL 3
JB & LIGHT FIXTURE DRILLING DETAIL
NOT TO SCALE



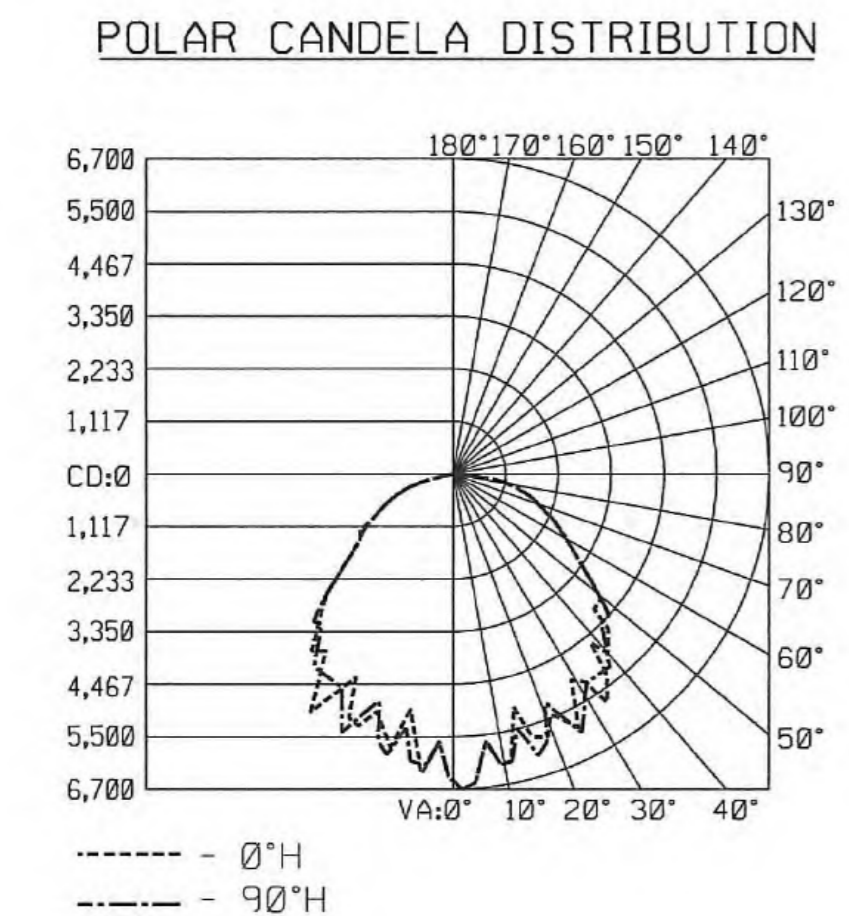
DETAIL 4
WIRING DIAGRAM FOR LIGHT TYPE #1 & #2 ONLY



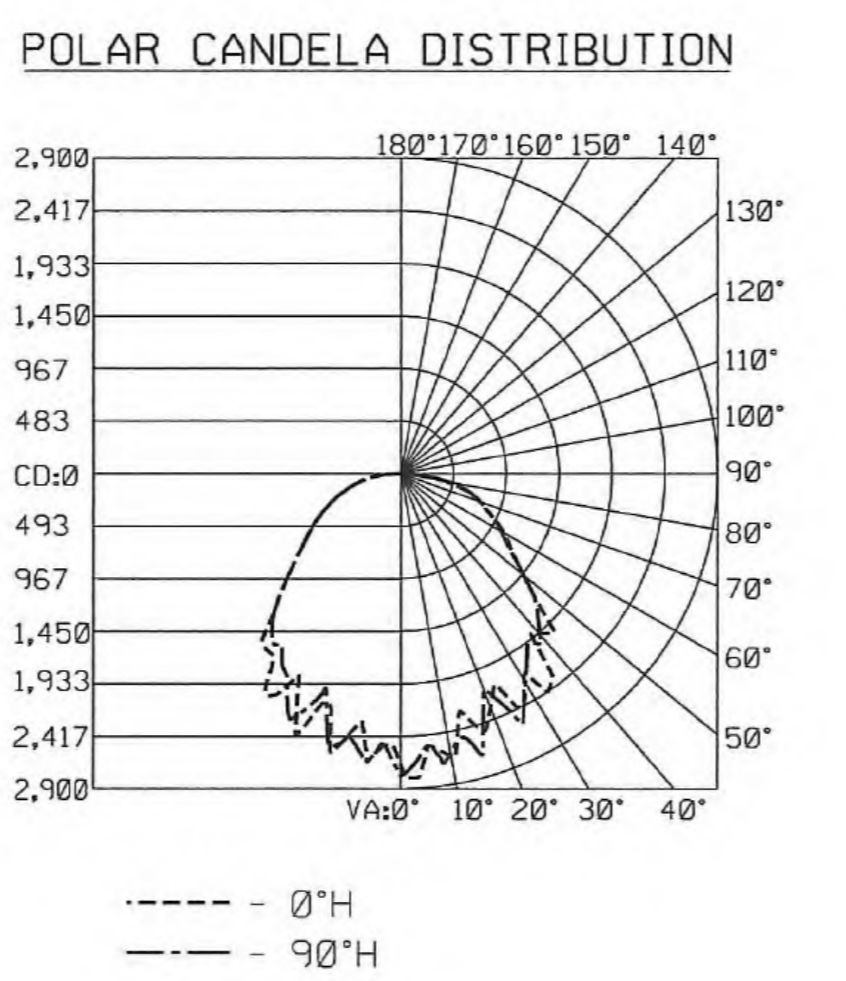
DETAIL 5
DRILLING DETAIL
NOT TO SCALE

- NOTES:**
- DOWN LIGHTS WILL BE ON FOR GENERAL ILLUMINATION AT NIGHT ON A DUSK TO DAWN CYCLE OR WHEN THE INTERNALLY WIRED OCCUPANCY SENSOR IS ACTIVATED.
 - MOUNTING HEIGHT OF TYPE #1 & #2 FIXTURES IS 8'-6".
 - FC = FOOT CANDLES
 - UPLIGHTS ARE SWITCHED AT LIGHT POSITIONS.
 - UPLIGHTS, DOWNLIGHTS & RECEPTACLES SHALL HAVE A SEPARATE CIRCUIT. SEE DETAIL 4, THIS DWG.
 - TYPE 3 LIGHTS ON CONTROL HOUSE ARE PROVIDED AND INSTALLED BY BUILDING MANUFACTURER, REFER TO THE VENDOR DRAWINGS FOR WIRING, MOUNTING, DETAILS, AND SPECIFICATIONS.
 - EQUIPMENT GROUNDING CONDUCTOR SHALL BE IDENTIFIED WITH GREEN TAPE.
 - LIGHTING FIXTURE TYPE #1 (UPLIGHT) IS FOR MAINTENANCE USE ONLY AND IS NOT INCLUDED IN THE LIGHTING DISTRIBUTION PLAN CALCULATION.
 - LIGHTING CONTOURS DEPICT DOWNLIGHTS ONLY AND NORMAL OPERATING CONDITIONS.

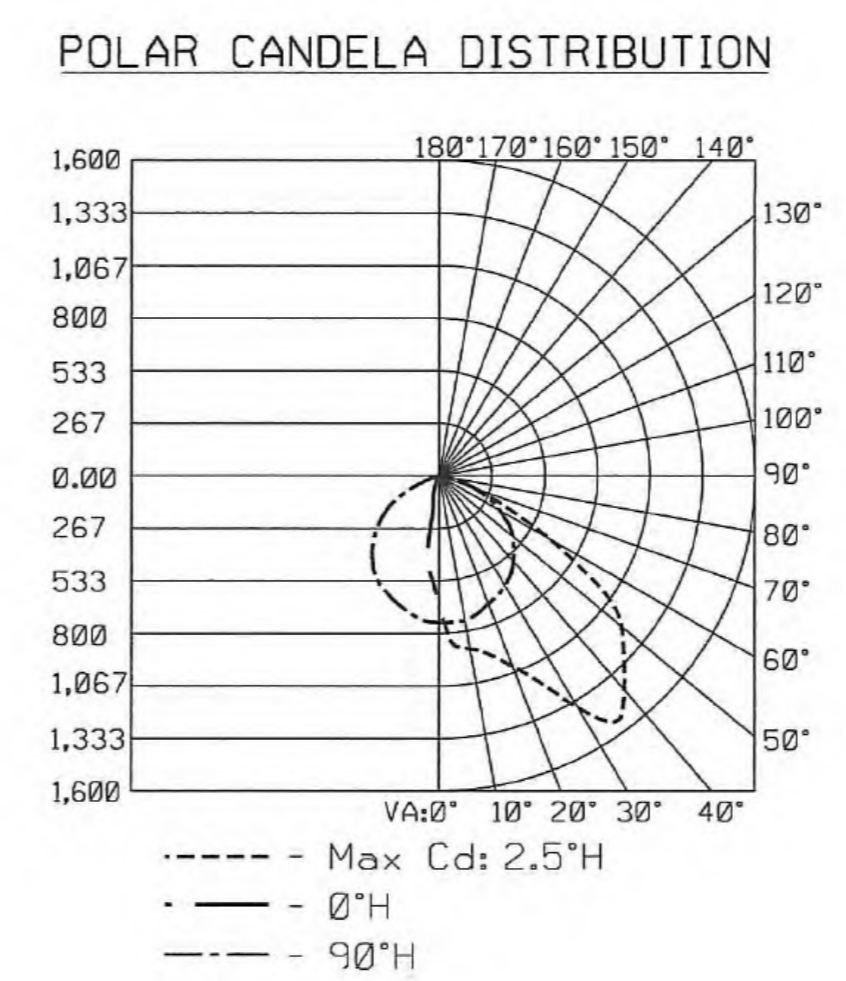
- REFERENCE DRAWINGS:**
- BREAKER STATION LIGHTING DISTRIBUTION PLAN DWG.#798290-A



TYPE #1
PETROLUX PLED2
1800LM L5
MVOLT 40K UNM
L/CORD DGXD
DISTANCE IN UNITS OF MOUNT HEIGHT (9'-0")



TYPE #2
PETROLUX PLED2
800LM L5 MVOLT
40K UNM L/CORD
SBOR6 0V DGXD
DISTANCE IN UNITS OF MOUNT HEIGHT (9'-0")



TYPE #3
LITHONIA WDG2-
LED-P25W-40K-80CRI-
VW-MVOLT-SRM-
PIRIFC3V-DBXD
DISTANCE IN UNITS OF MOUNT HEIGHT (20'-0")

FIXTURE SCHEDULE
SEE REF. DWG.#1 FOR LOCATIONS

LIGHTING FIXTURE	MANUFACTURER'S CATALOG NO./CUT SHLD.	FIXTURE DESCRIPTION	LED WATTAGE & VOLTAGE	LUMENS NOMINAL	MTG HEIGHT	MOUNTING, ALL FIXTURES	QTY
TYPE #1	HOLOPHANE LTG PETROLUX LED PLED2 1800LM L5 MVOLT 40K UNM L/CORD DGXD	STANDARD UPLIGHT 'LED' W/ LOCAL TIMER SWITCH	195W LED 120V	18000 LUMENS	8'-6"	FIELD DRILL PER HOLOPHANE FIXTURE NOTES & DETAILS	21
TYPE #2	HOLOPHANE LTG PETROLUX LED PLED2 800LM L5 MVOLT 40K UNM L/CORD SBOR6 BY DGXD	STANDARD DOWNLIGHT 'LED' W/ BUTTON PHOTOCELL & OCCUPANCY SENSOR	74W LED 120-277V	8000 LUMENS	8'-6"	FIELD DRILL PER HOLOPHANE FIXTURE NOTES & DETAILS	21
TYPE #3	LITHONIA WDG2-LED-P25W-40K-80CRI-VW-MVOLT-SRM-PIRIFC3V-DBXD	CONTROL BUILDING EXTERIOR LIGHTING FIXTURE	15W 120-277V	2823 LUMENS	12'-0"	SUPPLIED W/ CONTROL BUILDING SEE NOTE 6	4

FOR LIST OF REFERENCE DRAWINGS SEE DRAWING NO THIS DWG.
THIS DRAWING SUPERSEDES NONE
JONATHAN M. COPA
10-28-24
N.J. PROFESSIONAL ENGINEER
L.I.C. NO. 24GE06003400
C.O.A. NO. 24GA28066400

NO	DATE	DESCRIPTION	DWN	CKD	EXD	APD
REVISION						

LOCUST STREET BREAKER STATION
69KV BREAKER STATION
LIGHTING DETAILS
ARRANGEMENT ELECTRICAL

PSEG
PUBLIC SERVICE ELECTRIC AND GAS COMPANY
ELECTRIC DELIVERY COMPANY-ASSET RELIABILITY, NEWARK N.J.
DRAWN J. MORALES CHECKED I. BERDAN SCALE 1"=10'-0"
DATE 08/23/23 EXAMINED
WBS WBS*9DL0CUSTVOLT APPROVED
798297 A - 0Per

REVISION DATE DESCRIPTION
A 10-18-24 ISSUED FOR PERMITTING
EDD
THE SIGNATURE OF THE NEWLY APPLIED SEAL ASSUMES RESPONSIBILITY FOR THE CHANGES AS INDICATED BY THE FOLLOWING REVISION NUMBER: 01